

REGULAR MEETING OF THE ZONING ADMINISTRATOR  
OF THE CITY OF VICTORVILLE

NOVEMBER 7, 2018  
10:00 A.M.

DEVELOPMENT CONFERENCE ROOM  
14343 CIVIC DRIVE

ANY INDIVIDUAL WITH A DISABILITY WHO REQUIRES REASONABLE ACCOMMODATIONS TO PARTICIPATE IN A ZONING ADMINISTRATOR'S MEETING MAY REQUEST ASSISTANCE AND/OR RECEIVE THE AGENDA IN AN ALTERNATIVE FORMAT BY CONTACTING THE DEVELOPMENT DEPARTMENT SECRETARY AT (760) 955-5135 NO LATER THAN SEVENTY-TWO HOURS PRIOR TO THE MEETING

CALL TO ORDER

PUBLIC HEARING

**1. CONDITIONAL USE PERMIT ADMN18-00115 – PACIFIC GAS & ELECTRIC CO.**

ENVIRONMENTAL – CONSIDERATION OF AN ENVIRONMENTAL EXEMPTION

PROJECT – A CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR A TEMPORARY STAGING AREA FOR A PACIFIC GAS & ELECTRIC COMPANY INSPECTION PROJECT THAT INCLUDES EQUIPMENT AND MATERIAL STAGING, OFFICE AREA, AS WELL AS TRUCK AND TRAILER PARKING FOR A PERIOD OF SIX MONTHS (JANUARY 1, 2019 - JUNE 30, 2019) ON PREVIOUSLY DISTURBED PROPERTY

LOCATION – APPROXIMATELY WEST OF AND ABUTTING THE INTERSECTION OF TURNER ROAD AND SEALS ROAD

**2. MINOR INTERIM USE PERMIT ADMN18-00119 – CORBEC GROUP**

ENVIRONMENTAL – CONSIDERATION OF AN ENVIRONMENTAL EXEMPTION

PROJECT – A MINOR INTERIM USE PERMIT TO ALLOW FOR THE SALE OF USED AUTOMOBILES ON A C-2 GENERAL COMMERCIAL ZONED PROPERTY WITH AN ENVIRONMENTAL EXEMPTION

LOCATION – 15393 SEVENTH STREET

PUBLIC COMMENTS

ADJOURNMENT

**THIS PAGE LEFT  
BLANK  
INTENTIONALLY**



# ZONING ADMINISTRATOR STAFF REPORT

---

**DATE:** NOVEMBER 7, 2018

**AGENDA NO. 1**

**CASE:** ADMN18-00115

**SUBJECT:** A CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR A TEMPORARY STAGING AREA FOR A PACIFIC GAS & ELECTRIC COMPANY INSPECTION PROJECT THAT INCLUDES EQUIPMENT AND MATERIAL STAGING, OFFICE AREA, AS WELL AS TRUCK AND TRAILER PARKING FOR A PERIOD OF SIX MONTHS (JANUARY 1, 2019 - JUNE 30, 2019) ON PREVIOUSLY DISTURBED PROPERTY

**APPLICANT:** PACIFIC GAS & ELECTRIC CO.

**LOCATION:** APPROXIMATELY WEST OF AND ABUTTING THE INTERSECTION OF TURNER ROAD AND SEALS ROAD

---

## **I. STAFF RECOMMENDATION:**

Staff recommends that the Zoning Administrator conduct a public hearing, receive testimony regarding the proposed project and take the following actions:

1. **Environmental Assessment** – Find the project categorically exempt per CEQA Section 15304(3) – Minor Alterations to Land; and
2. **Minor Conditional Use Permit** – Approve case ADMN18-00115 subject to the recommended conditions and find that:
  - (a) The proposed location of the conditional use is in accord with the objectives and requirements of the Development Code;
  - (b) The proposed location of the conditional use and the conditions under which it will be operated is consistent with the General Plan and will not be detrimental to the public health, safety, or welfare or materially injurious to uses, properties or improvements in the vicinity;
  - (c) The traffic generated by the proposed conditional use will not overload the capacity of the surrounding street system and will not create a hazard to public safety; and
  - (d) The proposed conditional use will comply with each of the applicable provisions of the Development Code.

## **II. SUMMARY:**

The applicant is requesting approval of this Minor Conditional Use Permit in order to allow for an outdoor temporary contactor storage yard for a period of six months, which exceeds the ninety consecutive days that can be approved administratively. The temporary storage yard will

be used by Pacific Gas & Electric Co. (PG&E) as a staging area, office space, and materials/equipment storage space for multiple gas line inspection projects taking place in the surrounding communities of Hinkley, Helendale, and Apple Valley. The subject use is permitted in the underlying M-2 (Heavy Industrial) Zone District, however, a Minor Conditional Use Permit is required in accordance with the Development Code due to the land uses extended temporary nature and lack of permanent site improvements. While the subject site does not include permanent improvements, the site has been heavily disturbed and graded from previous industrial uses with little natural vegetation, includes adequate access to the abutting Turner Road, and should not cause any permanent impacts to the site or the community as conditioned. Therefore, Staff supports the request as conditioned.

### **III. STAFF ANALYSIS:**

#### **1. Environmental Assessment.**

California Environmental Quality Act (CEQA) Section 15304(e) allows a categorical exemption for temporary land uses involving negligible or no permanent effects on the environment. Since the site is previously disturbed, graded, and has been used for industrial activities in the past, Staff finds the noted exemption applicable as the proposal involves negligible or no permanent effects on the environment as conditioned.

#### **2. Minor Conditional Use Permit.**

##### **Business Operations**

- The proposed yard will be used from January 1, 2019 through June 30, 2019 and includes primary operating hours of 6AM-6PM seven days a week. The site will also provide support to local projects 24 hours a day as needed.
- As noted in the Summary, the temporary storage yard will be used by PG&E as a staging area, office space, materials/equipment storage space for multiple gas line inspection projects taking place in the surrounding communities of Hinkley, Helendale, and Apple Valley. Office trailers, portable toilets, and parking areas will make up the office functions while equipment such as bulldozers, excavators, compactors, forklifts, and a generator will be maintained on-site. Additionally, diesel fuel, gasoline, and weld gas will be maintained on-site with some welding of equipment taking place on-site as needed (see Attachment 'B' for complete list). In order to ensure all materials and work performed on-site do not negatively affect the environment, Staff had include Condition 9, requiring approval from Lahontan Regional Water Quality Control Board and Mojave Desert Air Quality Management District prior to the site being operational.
- Staff has also included Condition 11, requiring the issuance of a Business License at the subject site as all businesses operating within City limits require such.

##### **Parking/Circulation**

- The Development Code requires 1 space for every employee during the highest shift change as well as 1 space for every 300 sq. ft. of administrative office area. Since the size of the proposed office trailer and number of employees at the subject site are unknown, Staff has included Condition 7, requiring off-street employee parking to be provided on-site in accordance with the noted requirements.

- The site is directly accessed from Turner Road and Seals Road traverses the site, which have the capacity to serve the site on a temporary basis as proposed. In order to ensure Seals Road remains unobstructed for access to neighboring properties, Staff has included Condition 8 requiring such.

#### **General/Site Information**

- Temporary uses such as this proposal are permitted to be administratively approved by the Zoning Administrator for up to 90 consecutive days, however, uses that exceed said allowance are required to obtain a Conditional Use Permit pursuant to Section 16-3.07.050(b) of the Development Code.
- The subject site is a City owned parcel and as such will require a signed lease agreement to be executed prior to that site being used in any capacity. Although negotiations are ongoing and should be completed prior to operations taking place on-site, Staff has included Condition 12 requiring an executed lease agreement to be in place prior to the use of the site.
- The site is surrounded on three sides by developed heavy industrial users (bulk industrial transportation, storage yard, and asphalt manufacturing/recycling) and undeveloped but previously disturbed property on the remaining side all zoned M-2. The subject use is not anticipated to negatively affect these neighboring land uses due to similar impacts with respect to the potential for noise, truck traffic, etc.

#### **Required Findings**

- In order to approve a Conditional Use Permit the Development Code requires that the Zoning Administrator make the following findings pursuant to Section 16-3.02.050.
  - *The proposed location of the conditional use is in accord with the objectives and requirements of the Development Code.*
    - Comment: The underlying M-2 zoning of the property permits the subject storage yard and the Development Code also allows for temporary uses for the period proposed with approval of a Conditional Use Permit. Additionally, the site is bordered by industrial districts on all sides and the use will not negatively affect existing or future businesses the M-2 Zone District due to its limited duration of operations. Therefore, the proposed location of the use is in accord with the objectives and requirements of the Development Code.
  - *The proposed location of the conditional use and the conditions under which it will be operated is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.*
    - Comment: The site has a General Plan designation of Heavy Industrial with a Zone District that allows for the proposed use. The land use descriptions outlined in Table LU-2 in Land Use Element of the General Plan states heavy industrial districts “...are more specialized in nature and require special consideration in terms of use of the property as well as impacts on adjacent properties.” Since the subject site is surrounded by heavy industrial zoned property on all sides and developed on three sides with land uses that incur

similar impacts, Staff finds that the proposal is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.

- *The traffic generated by the proposed conditional use will not overload the capacity of the surrounding street system and will not create a hazard to public safety.*
  - Comment: Since the proposed use will mainly utilize typical daytime hours of operation, which are similar to existing industrial uses in the vicinity that operate without overloading the capacity of the roadways, the proposal is not anticipated to overload the surrounding street system or include impacts greater than those that the existing uses would generate during peak hours. Additionally, the site abuts and is accessed via Turner Road, a Collector Roadway, in a sparsely developed area of the City, which has the ability to serve the traffic created by the use on a temporary basis as proposed.
- *The proposed conditional use will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16.*
  - Comment: The existing site is undeveloped, however, due to the temporary nature of the proposal full site improvement are not required as they may negatively impact the potential for future development. Additionally, the use is listed as permitted the underlying zoning of the site, and the proposal will not negatively affect the existing uses in the vicinity. Therefore, Staff finds that the proposal will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16.

**IV. SITE CHARACTERISTICS:**

	<b>Existing Land Use</b>	<b>General Plan</b>	<b>Zoning</b>	<b>Specific Plan District</b>
Site	Vacant	Heavy Industrial	M-2	N/A
North	Industrial/Materials Transportation	Heavy Industrial	M-2	N/A
South	Asphalt Plant	Heavy Industrial	M-2	N/A
East	Contractor Storage	Heavy Industrial	M-2	N/A
West	Vacant	Heavy Industrial	M-2	N/A

**NUMBER OF RADIUS LETTERS MAILED: 6**

Attachments:

- Attachment ‘A’ – Site Plan and Vicinity Map
- Attachment ‘B’ – Equipment and Material Storage List
- Attachment ‘C’ – Aerial Image

AJ

THE ZONING ADMINISTRATOR’S ACTION WILL BE FINAL UNLESS APPEALED TO THE PLANNING COMMISSION WITHIN TEN DAYS.

CONDITIONS OF APPROVAL  
ADMN18-00115  
November 7, 2018

**Planning Conditions:**

1. This Conditional Use Permit allows for the temporary operation of an equipment/materials storage and staging yard for gas line inspection/repair projects associated with Pacific Gas & Electric Company for a period of six months beginning January 1, 2019 on property located west of and abutting the intersection of Turner Road and Seals Road (APN 0472-101-49). This approval includes temporary office functions and primary hours of operation from 6AM-6PM daily with limited support provided to projects as needed 24 hours a day. The Zoning Administrator may allow revised hours of operation, accessory or revised services not listed in this approval, and an extended conditional use permit duration, providing the approved use does not change and the changes do not negatively affect the public health, safety, and welfare nor cause nonconformance with findings required by Section 16-3.02.050 of the Development Code.
2. The proposed improvements and use shall comply with all applicable development standards of Title 16.
3. The proposed improvements and use shall be in substantial conformity with the plans submitted as part of this application, unless modification is required to comply with the applicable development standards of Title 16 and/or conditions of approval.
4. Any expansion of this proposed use beyond the scope of this conditional use permit shall require submission and approval of a site plan modification or a new conditional use permit based upon the extent of the expansion.
5. Any change in use or implementation of a new use within the facility, which will require additional parking spaces resulting in non-compliance of Title 16, shall cause that use to be subject to Zoning Administrator review and approval.
6. All proposed temporary signage shall comply with Title 16. All temporary signs (grand openings, special sales, etc.) shall only be affixed to the suite they serve in accordance with an approved Temporary Sign Permit. Flags or other off-site signage is prohibited within multi-tenant developments.
7. The applicant shall provide 1 space for every employee during the highest shift change as well as 1 space for every 300 sq. ft. of administrative office area in accordance with Title 16 standards. Compliance can be verified during field inspection by Planning Staff prior to the commencement of operations on-site.
8. Seals Road shall remain open and unobstructed during the entire duration of permitted operations on-site. Additionally, access along this roadway shall be repaired as needed if the equipment associated with the storage yard damages or otherwise restricts access to this roadway.

9. The applicant shall obtain written approval and/or abide by all rules and regulations established by the for the Lahontan Regional Water Quality Control Board and the Mojave Desert Air Quality Management District for all operations and equipment/materials storage on-site as applicable.
10. The applicant/developer shall be responsible for obtaining all necessary permits from any affected regulatory agencies.
11. The applicant shall obtain a City of Victorville Business License prior to operations commencing on-site.
12. A lease agreement between the applicant and the City of Victorville shall be executed and in place prior to the placement of any materials and/or equipment on-site.
13. The Applicant/Owner shall agree to defend, indemnify and hold harmless, the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City of Victorville or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Victorville shall promptly notify the applicant of any such claim, action or proceeding, and the City of Victorville shall cooperate fully in the defense.

**Engineering Conditions:**

14. The project operator shall submit a copy of a Storm Water Pollution Prevention Plan that has been approved by the State Water Resources Control Board to the City Development Department.
15. An adequate dust palliative shall be applied to the site to prevent dust and sand to be blown beyond the project property.
16. The project operator shall restore the site to its original condition as approved by the City, after the use of the property is done.

**Building Conditions:**

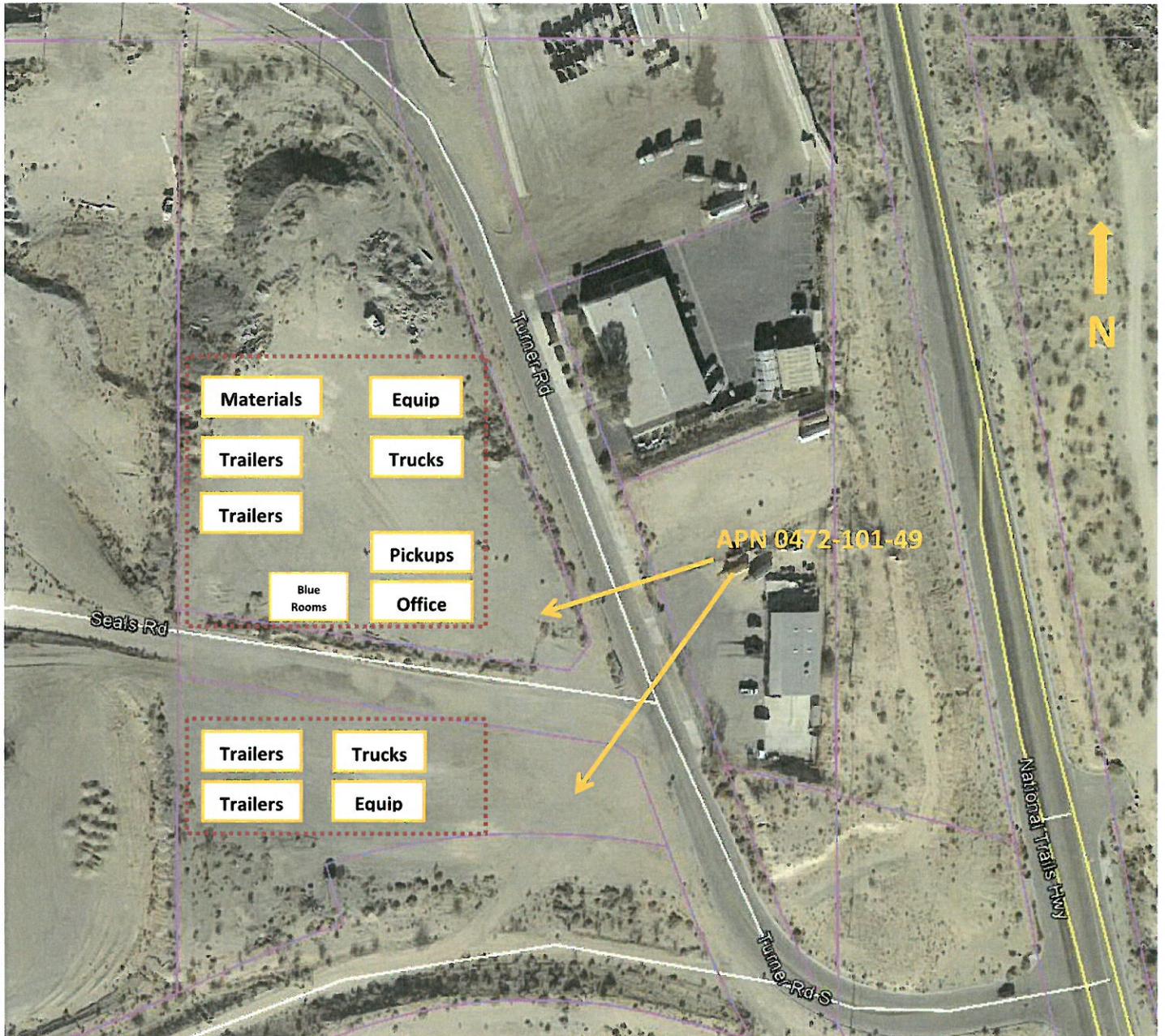
17. The project shall comply with all building codes in effect at the time of plan submittal.
18. Plan check fees for this project will be due, and shall be paid in full, upon submittal of plans to the Building Division. The Building Division may be contacted at (760) 955-5100 for an estimation of these fees. Actual amount owed will be determined upon submittal of the plans at the building counter.

**Fire Conditions:**

19. Shall comply with all current Building and Fire Code requirements based on occupancy classification.

# ATTACHMENT A

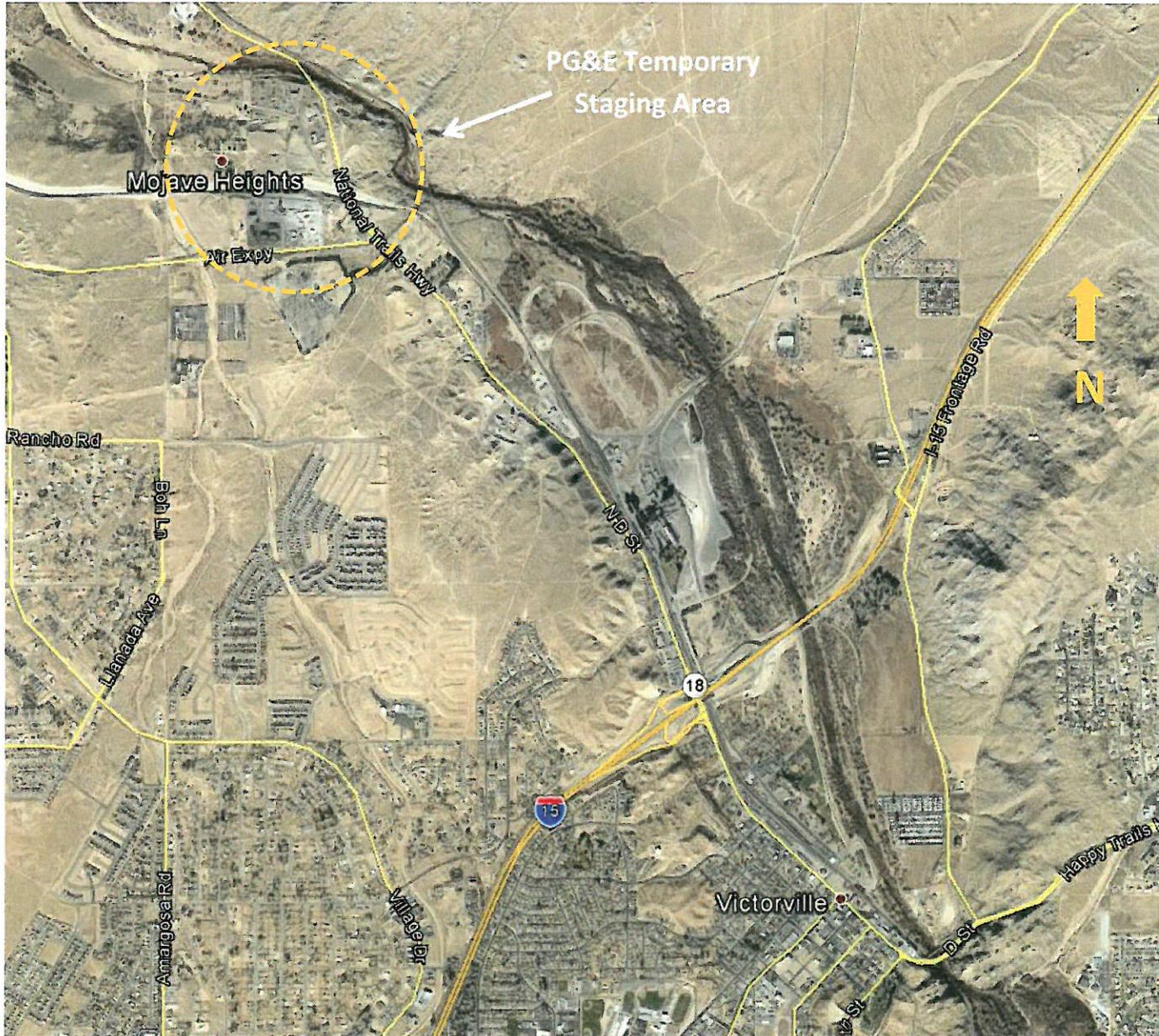
## SITE PLAN



### PG&E Co. Temporary Staging Area on APN 0472-101-49 (17553 Turner Road, Victorville, CA)

#### Statement of Operations:

Temporary staging area will have 24/7 presence in support of the nearby gas inline inspection project. The main operating hours will be Monday thru Sunday from 6:00 am to 6:00 pm. Purpose of laydown area is for staging equipment, materials, office, parking, trucks and trailers. Temporary staging area needed from 01/01/19 to 06/30/19.



**Vicinity Map**

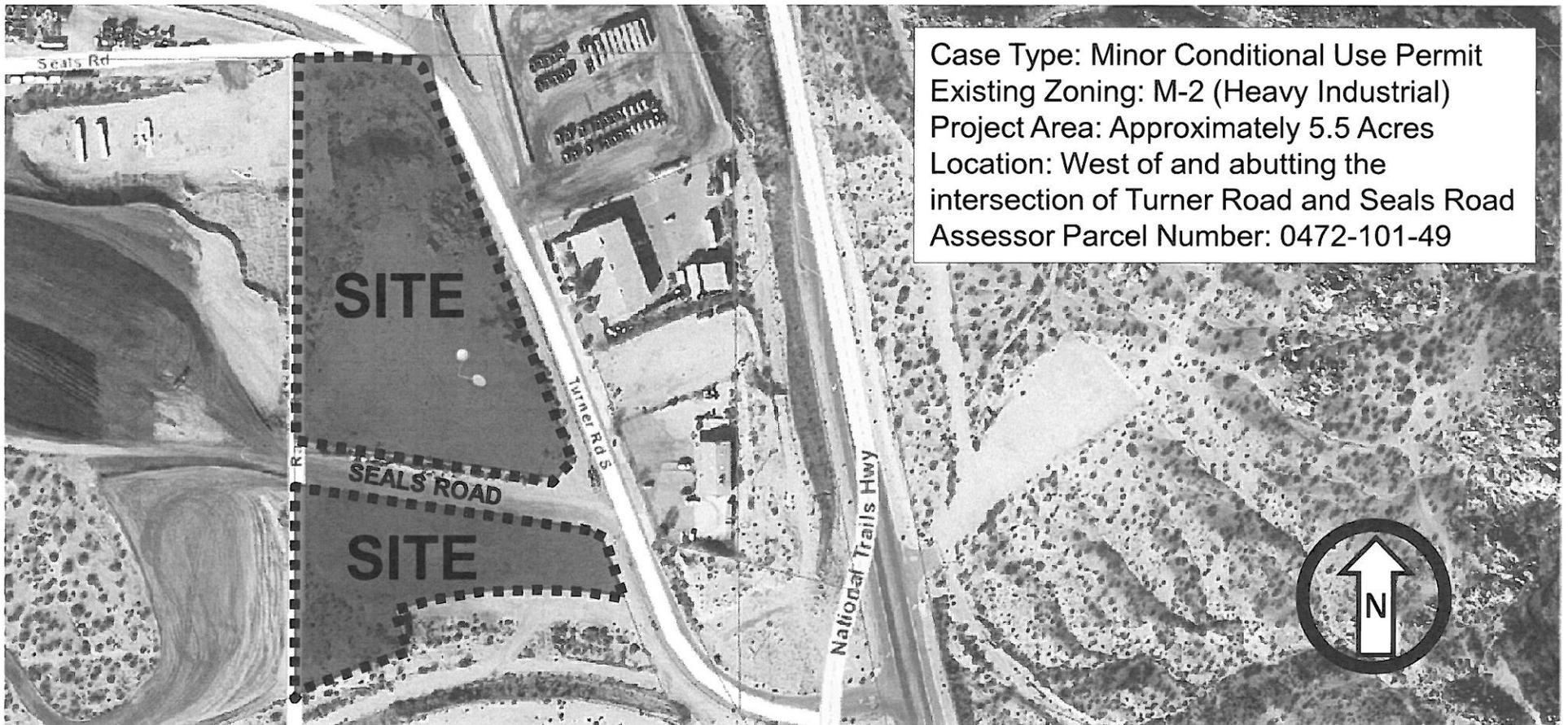
PG&E Temporary Staging Area on APN 0472-101-49

# ATTACHMENT B

Trailer - Gooseneck	1
Light Plant	8
Generator - XL 50-56 kW	1
Forklift - 6TN (Cat TL1255)	1
Truck - Water 3,250-4250 GAL	1
Trailer - Low Boy 20 TN	4
Truck - Semi Tractor 3 to 4 Axle	1
ATV - 2 Man	2
Container - 8x40	6
30 yd Dumpster (emptied 2x per month)	2
Office Trailer	2
Porta Johns - ADA	1
Porta Johns - Hitch n Go	8
Porta Johns - Standard Unit	1
Dozer - D4	2
Vibrator Roller - CB14	1
Truck - Water 3,250-4250 GAL	3
Truck - 5-12cy Dump	2
Loader 914	2
Excavator - 312	2
Compactor - Vibraplate .	2
Compactor - Jumping Jack	2
Weld Rigs	4
Frac Tanks	4

# ATTACHMENT C

# CASE: ADMN18-00115



**THIS PAGE LEFT  
BLANK  
INTENTIONALLY**



# ZONING ADMINISTRATOR STAFF REPORT

---

**DATE:** NOVEMBER 7, 2018 **AGENDA NO. 2**

**CASE:** ADMN18-00119

**SUBJECT:** A MINOR INTERIM USE PERMIT TO ALLOW FOR THE SALE OF USED AUTOMOBILES ON A C-2 GENERAL COMMERCIAL ZONED PROPERTY WITH AN ENVIRONMENTAL EXEMPTION

**APPLICANT:** CORBEC GROUP

**LOCATION:** 15393 SEVENTH STREET

---

## **I. STAFF RECOMMENDATION:**

Staff recommends that the Zoning Administrator take the following actions:

1. **Environmental Assessment** – Find the project categorically exempt per CEQA Section 15301 – Existing Facilities; and
2. **Minor Interim Use Permit** – Approve Minor Interim Use Permit ADMN18-00119, subject to the recommended Conditions of Approval and pursuant to City Council Policy (CP-11-05) find the use:
  - i. Similar to other permitted uses within the zone district;
  - ii. Find the use is a good fit
  - iii. Find there are no negative impacts to the surrounding area.

## **II. SUMMARY:**

The applicant is requesting approval of this Interim Use Permit to allow for a used automobile sales facility, including an accessory insurance brokerage business, on a vacant lot that was recently improved to allow for a battery sales business. The battery sales business chose to locate at another lot nearby, while all required improvements were installed on the subject lot excepting for a new pole sign cabinet.

The subject lot will be within the updated Old Town Specific Plan boundary with a Mixed-Use Community Anchor Overlay designation. While this designation does not allow for used car sales, the current C-2 General Commercial zoning designation does not as well. However, Staff believes the use is an acceptable interim use since the lot has been vacant since 2010 and was previously a used car sales business.

## **III. STAFF ANALYSIS:**

### **1. Environmental Assessment.**

CEQA Section 15301 allows a categorical exemption from CEQA requirements for the operation, repair, maintenance, permitting, leasing or licensing of public or private structures

involving negligible or no expansion of use. The use of the site for used auto sales will not constitute an expansion of use as no major construction activities or expansions/modifications to the buildings are proposed. Additionally, interior alterations (i.e. tenant improvements) are permissible pursuant to the noted CEQA Section.

## 2. Minor Interim Use Permit.

### Site Condition

- As mentioned, the existing site has recently been improved for a battery sales business under Site Plan ADM17-00023 to become in conformance with Title 16. Those improvements included a new parking lot, closing a driveway along Seventh Street, a new trash enclosure, new landscaping, building renovations and demolitions of a roof sign and a canopy. Upon a site inspection, the only outstanding condition that remained for occupancy was the pole sign. The previous applicant had worked with Staff to design a battery shaped sign cabinet, including a Route 66 logo. The cabinet was not installed, therefore the previous condition will remain and the applicant will need to design an acceptable Route 66/Old Town Specific Plan sign cabinet or remove the pole sign altogether prior to occupancy.

### Parking

- The site requires three parking spaces (550 sq. ft./200 = 3) for the office and contains six parking spaces on-site, not including the two additional spaces within the indoor bay area. The parking appears sufficient for the use as most auto sales will be done online and the insurance business will be by appointment. However, the applicant has not indicated what area on the site will be used for auto display area. Consequently, there is not much area for display on the triangular lot. Staff has included a condition to ensure any auto sales display area will not be within drive aisles or within required parking spaces.

### Old Town Specific Plan/ C-2 Zoning

- As mentioned, the use is not permitted within the new Mixed-Use Community Anchor Overlay designation of the Old Town Specific Plan or the current C-2 General Commercial designation. However, the site has been vacant for eight years and was previously a used car lot from 2005 until 2010. Although the Specific Plan does not speak to interim uses, it does speak to vacancies and the goal of re-occupying vacant buildings. Therefore, Staff sees no issues with the Interim Use Permit during this beginning development stage of the Old Town Specific Plan.

## 3. City Council Policy Findings

- An interim use is permitted if the proposed use meets the requirements of the City Council Policy for Interim Uses (CP-11-05). Staff finds that the proposed use at this location does meet the requirements of the Council Policy as discussed in the following section.
  - Basis of Need:  
The proposal is located on property that has been vacant for eight years despite a battery business applying to occupy the site in 2015. Seventh Street in general has had an occupancy issue, particularly in and near Old Town. Therefore, based upon the circumstances noted above, Staff finds the site meets the basis of need requirement as the proposed users can effectively occupy the site and provide services to the area.

- Required Findings:
  - i) The proposed use is 'similar' to other permitted uses within the zone in regards to:
    - Hours of Operation – Typical daytime (10am – 6pm) and early evening business hours that are not uncommon for commercial uses in the area.
    - Parking Needs/Requirements – Adequate parking on-site in accordance with Title 16 standards.
    - Traffic Impacts – There will be no change to the traffic patterns, therefore there will be no impacts.
    - Occupancy Patterns – The previous use prior to the vacancy will remain unchanged.
    - Noise – Because no auto repair will be performed on site, the noise level will be similar to other commercial uses.
    - Environmental Impacts – The use should not produce any negative environmental impacts.
    - Required Licensing/Permits – Any required permits (DMV etc.) can be obtained during the plan check phase of the entitlement, including for the sign.
  - ii) The proposed use is a 'good fit' in regards to:
    - Existing Structures – There has been the recent demolition of some structures on site and the minor maintenance of the existing building as well as a new trash enclosure. They are compatible with the surrounding buildings.
    - Existing Site Development/Conditions – The site has recently been improved as discussed above.
    - Compatibility with Adjacent Existing & Permitted Uses – The proposal is located in close proximity to other used vehicle businesses and is not within the downtown core (Forrest to 'D' Street).
  - iii) The proposed use presents no negative impacts to any of the following:
    - Public Interest – The use will not have a negative impact on public interest as site is currently a vacant building which attracts the homeless.
    - Public Health, Safety, and Welfare – No negative impacts as conditioned.
    - Economic Vitality of the Area – Allowing the business to operate through an IUP will keep occupancy within the Old Town area.
    - Neighboring Businesses and Residents – No negative impacts are expected as a result of this business because neighboring businesses automotive and commercial. Additionally, no residential property is located adjacent to the use.
    - Overall Integrity of the Center, District or Area – The use will not negatively affect the integrity of the area and as Old Town redevelops, the use may relocate due to commercial demand.
    - Does not Contribute to Over-Concentration – N/A

**IV. SITE CHARACTERISTICS:**

	<b>Existing Land Use</b>	<b>General Plan</b>	<b>Zoning</b>	<b>Specific Plan District</b>
Site	Vacant	Specific Plan*	Specific Plan*	Mixed-Use Community Anchor Overlay
North	Commercial	Specific Plan*	Specific Plan*	Mixed-Use Community Anchor Overlay
South	School (Vacant)	Specific Plan*	Specific Plan*	Community Anchor
East	School (Vacant)	Specific Plan*	Specific Plan*	Community Anchor
West	Tire Shop	Specific Plan*	Specific Plan*	Mixed Use Service

\* Old Town Specific Plan

**NUMBER OF RADIUS LETTERS MAILED: 23**

MJS

Attachments:

Attachment A – Site Plan

Attachment B – Aerial Image

THE ZONING ADMINISTRATOR’S ACTION WILL BE FINAL UNLESS APPEALED TO THE PLANNING COMMISSION WITHIN TEN DAYS.

## CONDITIONS OF APPROVAL

ADMN18-00119 - A MINOR INTERIM USE PERMIT TO ALLOW FOR THE SALE OF USED AUTOMOBILES ON A C-2 GENERAL COMMERCIAL ZONED PROPERTY WITH AN ENVIRONMENTAL EXEMPTION ON PROPERTY LOCATED AT 15393 SEVENTH STREET

November 7, 2018

### **Planning Conditions:**

1. This approval is to allow for an Interim Use Permit that includes a used automobile sales business and an insurance business on a recently improved but vacant lot within the new Old Town Specific Plan located at 15393 Seventh Street.
2. The proposed development shall comply with all applicable development standards of Title 16 and the Old Town Specific Plan.
3. The proposed development shall be in substantial conformity with the plans submitted as part of this application, unless modification is required to comply with the applicable development standards of Title 16, the Old Town Specific Plan, and/or conditions of approval.
4. Any change in use or implementation of a new use within the facility, which will require additional parking spaces resulting in noncompliance with the parking standards of Title 16 or the Old Town Specific Plan, shall cause that use to be subject to Planning Commission review and approval.
5. The applicant/owner shall not park any automobile display vehicles within the designated required parking area (3 spaces) or within any required fire or drive aisle lane. Off-site display parking is not permitted.
6. The applicant shall redesign the pole sign by removing the existing cabinet and replacing the square cabinet with an approved Route 66 themed molded cabinet. The sign chosen must be a Route 66 design and be approved by the Zoning Administrator prior to permit issuance. The rectangular sign shown in the plans does not meet this criterion.
7. All proposed signs, including any freestanding signage, shall comply with Title 16 and the the Old Town Specific Plan. The applicant shall be required to submit a sign package for review and must gain approval by the Planning Commission prior to approval of any signage proposed which is inconsistent with Title 16, the the Civic Center Community Sustainability Plan. All signs shall be subject to Planning Staff review and approval prior to obtaining a building permit.
8. All proposed temporary signage shall comply with Title 16 and the Old Town Specific Plan. All temporary signs (grand openings, special sales, etc.) shall only be affixed to the building in accordance with an approved Temporary Sign Permit.
9. All landscaped areas shall be maintained in a neat, clean, orderly and healthful condition. This includes proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacement of plants when necessary and the regular watering of all plants. In addition, all landscaped areas shall be provided with a suitable permanent water system.

10. The applicant/developer shall be responsible for obtaining all necessary permits from any affected regulatory agencies.
11. The Applicant/Owner shall agree to defend, indemnify and hold harmless, the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City of Victorville or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Victorville shall promptly notify the applicant of any such claim, action or proceeding, and the City of Victorville shall cooperate fully in the defense.
12. The project shall comply with all Federal, State and local laws and policies, including: the California Government Code (including the Planning, Zoning and Development Laws), Environmental Quality Act (CEQA), Subdivision Map Act, International Building Code, Green Code, Fire Code; and, Victorville General Plan and Municipal Code; unless permitted to deviate through provisions of such, or through adopted mitigation measures, conditions of approval, or the plans themselves.

**Engineering Conditions:**

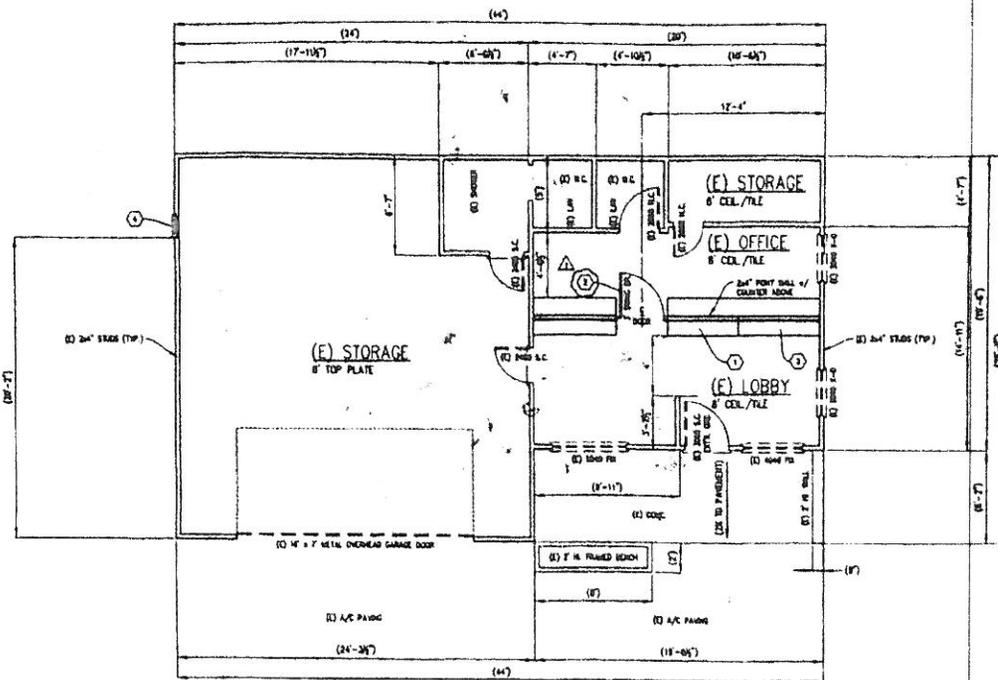
13. A reduced pressure backflow device per City standard W-39 must be installed behind the domestic water meter serving the site.

**Building Conditions:**

14. The project shall comply with all building codes in effect at the time of plan submittal.
15. All unpermitted structures on the site shall be removed or permitted prior to occupancy.
16. The scope of work indicated will require accessibility upgrades to be included in accordance with Section 11B-202 of the California Building Code.
17. Plan check fees for this project will be due, and shall be paid in full, upon submittal of plans to the Building Division. The Building Division may be contacted at (760) 955-5100 for an estimation of these fees. Actual amount owed will be determined upon submittal of the plans at the building counter.

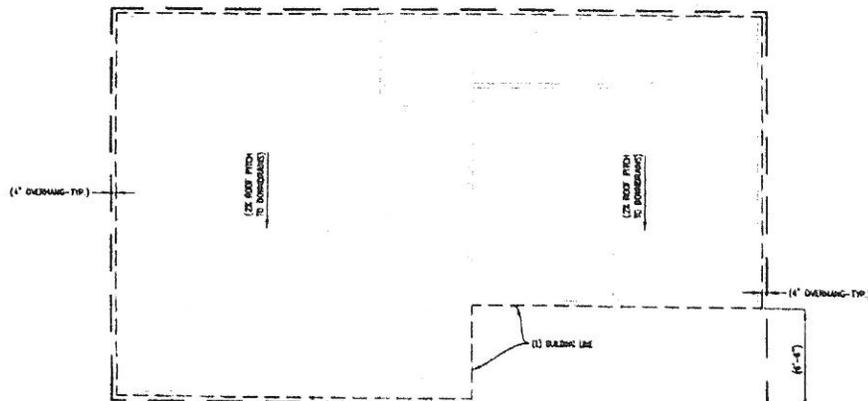
**Fire Conditions:**

18. Shall comply with all current Building and Fire Code requirements based on occupancy classification.
19. Interior/exterior Fire Department access roadways/fire lanes shall be required per Fire Department Standard. Fire Department access roadways providing access to the building(s) in this project shall be a minimum of 26' wide and shall be directly adjacent to the longest side of the building. If gates installed, must comply with Fire Department Standards. The existing width of any fire lane on site shall be maintained. New or existing structures will not be permitted to reduce this width.



### FLOOR PLAN

EXISTING, WITH IMPROVEMENTS



### ROOF PLAN

EXISTING, NO IMPROVEMENTS

#### FLOOR PLAN HEX NOTES

NO.	DESCRIPTION
1	INSTALL NEW SALES/SERVICE COUNTER IN LOBBY (LOCATION SHOWN IS APPROX.)
2	8'-0" BRUSH DOOR AT COUNTER. DOOR SHALL OPEN BOTH WAYS AND SHALL NOT HAVE ANY LATCHING DEVICE.
3	20'-24" A.D.A. SALES/SERVICE COUNTER (LOCATION SHOWN IS APPROXIMATE).
4	EXISTING 200 AMP ELECTRICAL PANEL.

#### PLEASE NOTE:

THIS PLAN SET AND ALL INFORMATION CONTAINED HEREIN IS THE SOLE PROPERTY OF O.T.L. BUILDERS, INC. ANY UNAUTHORIZED REPRODUCTION OF THIS PLAN SET OR USE OF ANY INFORMATION CONTAINED HEREIN FOR ANY OTHER USE IS STRICTLY PROHIBITED.

#### FLOOR PLAN NOTES:

- 1.) FLOOR PLAN SHOWN IS EXISTING, WITH EXCEPTION OF SALES/SERVICE COUNTER IMPROVEMENTS SHOWN.
- 2.) SEE A. LOCATION OF PROPOSED SALES/SERVICE COUNTERTOP, FLIP-UP COUNTERTOP, AND A.D.A. SALES/SERVICE COUNTER ARE APPROXIMATE.

PLANS SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.

#### ROOF PLAN NOTES:

- 1.) ROOF PLAN SHOWN IS EXISTING. NO IMPROVEMENTS ARE PROPOSED.
- 2.) ALL EXISTING ROOF SIGNS, IF ANY, SHALL BE REMOVED.

**O.T.L.**  
BUILDERS, INC.  
15393 7TH STREET, VICTORVILLE, CA 92395  
A.P.N. 0478-134-39  
TEL. (714) 333-3337

#### RESPONSIBLE DESIGNER:

*M. De Vay*  
SIGNATURE DATE 03-24-18

MARK DE VAY, OWNER  
OF THE LEVEL BUILDERS, INC.  
28334 HIGHWAY 10, STE. 430-434  
APPLE VALLEY, CA 92307  
TEL. (714) 333-3337

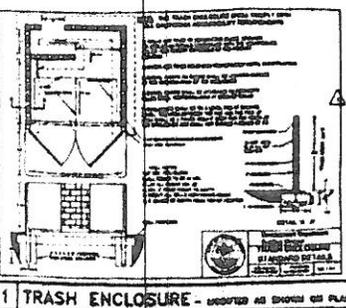
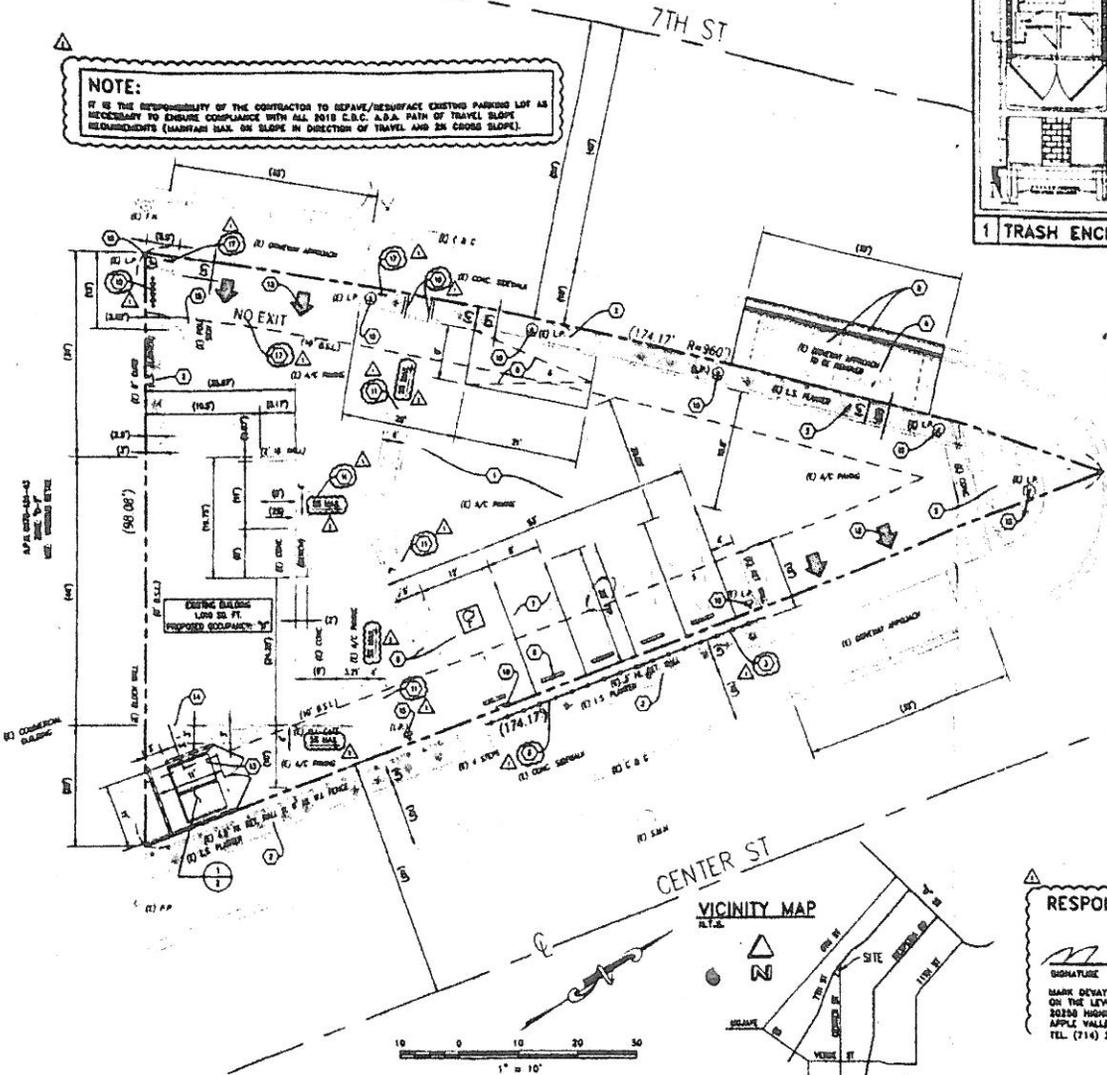
DATE REVISION	DATE

DRAWN BY: O.T.L.  
CHECKED BY: O.T.L.  
SCALE: 1/4" = 1'-0"  
FLOOR PLAN  
& ROOF PLAN

SHEET NO.

5  
OF 6

**NOTE:**  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPAVE/RESURFACE EXISTING PARKING LOT AS NECESSARY TO ENSURE COMPLIANCE WITH ALL 2015 C.B.C. A.D.A. PATH OF TRAVEL SLOPE REQUIREMENTS (MAINTAIN MAX. 5% SLOPE IN DIRECTION OF TRAVEL AND 2% CROSS SLOPE).



SITE PLAN HEX NOTES	
NO.	DESCRIPTION
1	REPAIR / RE-PAVE EXISTING A.C. PAVEMENT AS NECESSARY.
2	INSTALL NEW LANDSCAPING IN EXISTING PLANTERS (SEE SHEET 1A).
3	REPLACE EXISTING WOOD RAILING w/ 4" UNIFORM CONCRETE PER CITY STD.
4	REMOVE EXISTING DRIVEWAY APPROACH.
5	CONSTRUCT SIDEWALK/CURB/GUTTER PER CITY STANDARDS.
6	6" CONCRETE WHEEL STOP PER CITY STANDARDS.
7	8' x 20' PARKING SPACE w/ 4" WIDE WALK STEPS BETWEEN SPACES - PER CITY STD.
8	STD. 6" x 21" PARKING SPACE w/ 4" WIDE WALK STEPS - PER CITY STD.
9	A.S.A. VAN-ACCESSIBLE PARKING STALL WITH STEPS AND UNIVERSAL SYMBOL.
10	A.S.A. PARKING STALL SIGN w/ UNIVERSAL SYMBOL.
11	PEDESTRIAN PATH OF TRAVEL ACCESSIBLE ROUTE TO BLDG PER CITY ENCLOSEURE - MAINTAIN MAX. SLOPE OF 5% IN THE DIRECTION OF TRAVEL & 2% CROSS SLOPE.
12	DIRECTIONAL ARROWS PER CITY STANDARDS.
13	TRASH ENCLOSURE PER CITY STANDARDS (MODIFIED). PROVIDE CONCRETE PAD AT ENCLOSURE w/ 2% MAX. SLOPE MATCH EXISTING BUILDING SLOPE. SEE DET. 1/3.
14	EXISTING 300 AMP ELECTRICAL PANEL.
15	POLE SIGN SHALL BE APPROVED BY THE ZONING ADMINISTRATOR AND PERMITTED SEPARATELY PRIOR TO CONSTRUCTION.
16	EXISTING LIGHTPOLE TO REMAIN - TYP. OF 8.
17	"NO EXIT" LETTERING PER FIGURE 20-20 OF CURRENT CALIFORNIA UNIFORM BUILDING CODE.
18	INSTALL REDUCED PRESSURE BACKFLOW DEVICE PER CITY STD. - SEE DET. 4/1.
19	REMOVE PORTION OF EXISTING LANDSCAPE PLANTER/CURBS AS INDICATED FOR PATH OF TRAVEL FROM STREET. INSTALL NEW PAVEMENT & CURBS PER CITY STD. ON SIDES OF PATH OF TRAVEL AS SHOWN.

**PLEASE NOTE:**  
 THIS PLAN IS NOT A SURVEY. IF AN APPROVED GRADING PLAN IS REQUIRED FOR THE CONSTRUCTION OF ON-SITE AND OFF-SITE IMPROVEMENTS, AND THERE ARE DISCREPANCIES BETWEEN THIS SITE PLAN AND THE APPROVED GRADING PLAN, THEN THE APPROVED GRADING PLAN WILL TAKE PRECEDENCE.  
 THIS PLAN IS NOT A SURVEY. IF AN APPROVED GRADING PLAN IS REQUIRED FOR THE CONSTRUCTION OF ON-SITE AND OFF-SITE IMPROVEMENTS, AND THERE ARE DISCREPANCIES BETWEEN THIS SITE PLAN AND THE APPROVED GRADING PLAN, THEN THE APPROVED GRADING PLAN WILL TAKE PRECEDENCE.

SITE PLAN LEGEND	
---	PROJECT / SITE BOUNDARY
---	EXISTING STREET CENTERLINE
---	EXISTING BUILDING
---	EXISTING CONCRETE
○	EXISTING LIGHTPOLE (TO REMAIN)
---	EXISTING BLOCK WALL / RETAINING WALL
---	EXISTING 6" H. W.L. FENCE
○	EXISTING FIRE HYDRANT
---	EXISTING POWER POLE
---	EXISTING SANITARY SEWER MANHOLE
---	PROPOSED CONCRETE
---	PROPOSED LANDSCAPING (SEE SHEETS 1A-1 & 1B-1)
○	NOTED EXISTING

SITE PLAN NOTES:	
1.)	ALL LANDSCAPING AREAS SHALL BE PLANTED IN CONFORMANCE WITH SECTION 16-3.24.030 OF THE CITY OF VICTORVILLE DEVELOPMENT CODE.
2.)	ALL EXPOSED DIRT WITHIN PLANTER AREAS SHALL BE COVERED WITH A MINIMUM OF 3/4" DECORATIVE ROCK OVER A PERMEABLE WEED BARRIER.
3.)	ALL LANDSCAPE AREAS SHALL BE MAINTAINED IN A NEAT, CLEAN, ORDERLY & HEALTHY CONDITION. THIS INCLUDES PROPER PRUNING, MOISTURE OF LAWN, WEEDING, REMOVAL OF LITTER, FERTILIZING, REPLACEMENT OF PLANTS WHEN NECESSARY AND THE REGULAR WATERING OF ALL PLANTS. IN ADDITION, ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH A SUITABLE WATERING SYSTEM.
4.)	ALL PARKING STALLS SHALL BE A MINIMUM 20' IN LENGTH AND SHALL UTILIZE WHEEL STOPS.
5.)	THE ACCESSIBLE PARKING STALL SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND SHALL BE PROVIDED WITH ACCESSIBLE PARKING STALL SIGNAGE. THIS SIGNAGE SHALL BE A VAN ACCESSIBLE STALL. THE ACCESSIBLE STALL AND ACCESSIBLE SHALL HAVE A MAXIMUM SLOPE OF 2% IN EITHER DIRECTION.
6.)	ALL EXISTING ROOF SIGNS, IF ANY, SHALL BE REMOVED.
7.)	ALL EXISTING EXTERIOR SECURITY BARS, IF ANY, SHALL BE REMOVED FROM WINDOWS AND DOORS.
8.)	ALL EXISTING DRIVEWAY GATES, COLLARS, AND CHAINS ALONG THE PARKING LOT PERIMETER, IF ANY, SHALL BE REMOVED AND SHALL NOT BE REPLACED.
9.)	ALL EXISTING WALKS (IF ANY) BETWEEN EXISTING LIGHTPOLES AND EXISTING BUILDING SHALL BE REMOVED AND SHALL NOT BE REPLACED.
10.)	EXISTING DOUBLE-SIDED POLE SIGN TO BE MODIFIED TO INCLUDE APPROVED ROUTE 94-THREEWAY WALKWAY ACCESS ON EACH SIDE AND PURSUANT TO THE APPROVAL OF THE ZONING ADMINISTRATOR PER SEPARATE PERMIT.

**RESPONSIBLE DESIGNER:**  
 SIGNATURE: *M. De Vey* DATE: 03-24-16  
 MARK DE VAY, OWNER  
 ON THE LEVEL, INC., INC.  
 20250 HIGHWAY 10, STE. 430-454  
 APPLE VALLEY, CA 92307  
 TEL: (714) 232-4387

**CALIFORNIA BATTERIES, INC.**  
 15393 7TH STREET, VICTORVILLE, CA 92395  
 APN 0478-134-39

**SITE PLAN**  
 SHEET NO. 2 OF 6

PROJECT / SITE ANALYSIS:	PARKING TABULATION:	AREA TABULATION:	PLAN NOTE:
<b>GENERAL DESCRIPTION:</b> *N. 0478-134-39 SUBDIVISION OF BRONSON TRACT APPROXIMATELY 30 FEET OF LOT 7 MEASURED RIGHT ANGLE TO NORTH LINE THEREOF, D ALL OF LOT 8, 9 & 10 OF BLOCK 7.	<b>REQUIRED:</b> PROPOSED USE: RETAIL ESTABLISHMENT, RESTAURANTS OR BUSINESSES NOT LISTED (SEC. 16-3.21.030) 1 SPACE PER 200 SQ. FT. OF FLOOR AREA 1,019 SQ. FT. / 200 = 5 REQUIRED <b>PROVIDED:</b> 5' x 30' STANDARD SPACES.....4 8' x 21' STANDARD SPACES.....1 8' x 20' A.D.A. SPACES.....1 TOTAL SPACES PROVIDED.....6	SIZE: 0.18 ACRES NET (8,008 SQ. FT.) AREA (SQ. FT.) 1,019 % OF TOTAL 12.0 % STRUCTURE 1,019 SQ. FT. A/C PAVING 4,833 SQ. FT. 61.3 % LANDSCAPING 840 SQ. FT. 10.7 % TOTAL LOT AREA (NET) 8,008 SQ. FT. 100 % OFFSITE AREA (LANDSCAPING IN CENTER STREET S/W): 378 SQ. FT.	THIS PLAN IS NOT A SURVEY. IF AN APPROVED GRADING PLAN IS REQUIRED FOR THE CONSTRUCTION OF ON-SITE AND OFF-SITE IMPROVEMENTS, AND THERE ARE DISCREPANCIES BETWEEN THIS SITE PLAN AND THE APPROVED GRADING PLAN, THEN THE APPROVED GRADING PLAN WILL TAKE PRECEDENCE.

CORBEC GROUP CORPORATION

-DBA: OLD TOWN AUTO SALES

-DBA: CORBEC TRUCKING AND COMMERCIAL INSURANCE

Project Description:

Address 15393 7<sup>th</sup> St Victorville CA 92395

Business operation hours will be 10:00 AM – 6:00 PM

The intended use at this property shall not cause a negative impact on the surrounding business. CORBEC GROUP CORPORATION within its business entities listed above, intends on contributing and becoming true members of the community. The goal is integration and becoming a part of a historic part of this city. Furthermore CORBEC GROUP CORPORATION will be residing its business in a vacant property that has held that status for a few years. Ownership has also remodeled and touched up the property. CORBEC GROUP CORPORATION's residence will bring an extra level of safety since vacant lots can many times harbor the homeless or can become easy drop spots for criminal activity.

---

CORBEC GROUP CORPORATION

-DBA: OLD TOWN AUTO SALES

-DBA: CORBEC TRUCKING AND COMMERCIAL INSURANCE

Project Description:

Address 15393 7<sup>th</sup> St Victorville CA 92395

Business operation hours will be 10:00 AM – 6:00 PM

Intended property use will be as the construction was intended. Services provided at the address listed above shall be Used Auto Sales and Insurance Brokerage. Lot use is intended to display and exhibit used cars for sale. The office facilities will serve as administration offices and sales center for the vehicles listed for sale. Garage use is intended to be for vehicle storage during non-business hours. The office will also have the proposed purpose of serving as an insurance brokerage office which will function under a valid California State Property & Casualty Insurance License. Operating areas and systems within the office for both services shall remain independent and separate.

The general parking needs for the business will not extend further than the outlined interior perimeter of the business including the lot. No exterior parking space is expected to be needed. For CORBEC GROUP CORPORATION DBA OLD TOWN AUTO SALES the maximum number of customers at any one time is not expected to exceed more than 2 parties (party being composed of 1-3 people) at any one time based on the process of online sales and appointment system that will allow the facilitation of operations. As a separate operation, CORBEC GROUP CORPORATION DBA CORBEC TRUCKING AND COMMERCIAL INSURANCE, is expected to have a maximum of 1 party (party being composed of 1-3 people) at any one time. CORBEC GROUP CORPORATION DBA CORBEC TRUCKING AND COMMERCIAL INSURANCE will operate primarily online and over the phone. In office inquiries will consist mostly if not entirely on appointment basis.

By structuring the appropriate sales and appointment measures, there is an expectation of no evident traffic impact. Within the property, traffic flow will circulate south east with entrance on 7<sup>th</sup> Street and exit on Center St.

Occupancy shall remain regular by any standard with arrival normally between 9:45 AM to 9:50 AM to prepare for opening a 10:00 AM and departure at 6:10 PM to 6:15 PM after closing time at 6:00 PM. Regular occupancy is not expected to exceed maximum occupancy. The regular duration of meetings with customers is expected to be within an hour.

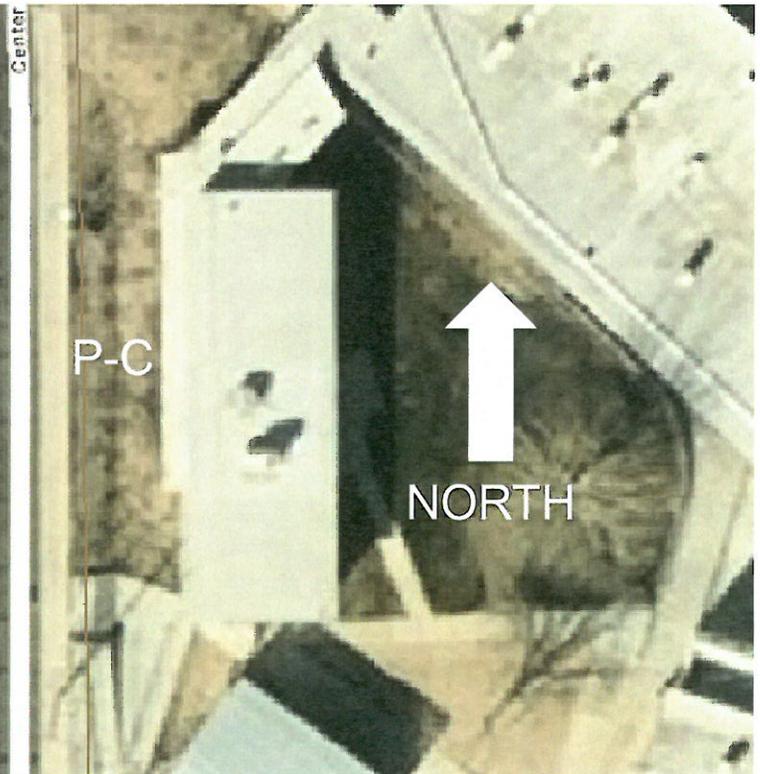
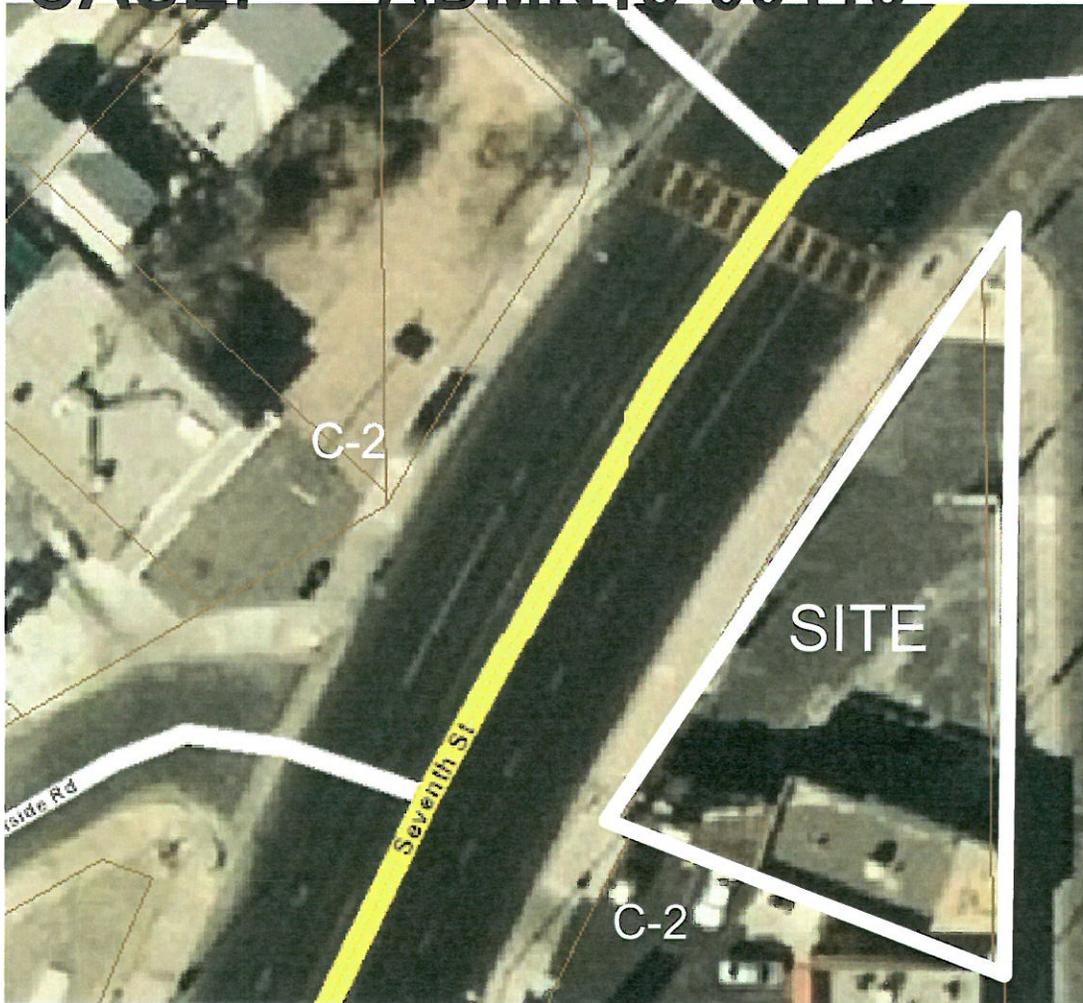
The expected noise impact for CORBEC GROUP CORPORATION DBA OLD TOWN AUTO SALES is of a regular used car dealership with no extraordinary disturbances during regular business hours and zero noise impact during non-business hours.

The expected noise impact for CORBEC GROUP CORPORATION DBA CORBEC TRUCKING AND COMMERCIAL INSURANCE is of regular insurance brokerage offices with a zero impact excepted during both business hours and during non-business hours.

\*There is no expected environmental impact for either entity.\*

# CASE: ADMN18-00119

Case Type: Interim Use Permit  
Existing Zoning: C-2 General Commercial  
Parcel Size: 0.19 Acres  
Location: 15393 Seventh Street  
Assessor Parcel No: 0478-134-39



**THIS PAGE LEFT  
BLANK  
INTENTIONALLY**



---

SUBJECT: PUBLIC COMMENTS ON PLANNING MATTERS

---

In compliance with the Brown Act, it is necessary for the Zoning Administrator to make available time for members of the public to address the Zoning Administrator on items of interest that fall within the Zoning Administrator's subject matter jurisdiction.

SW:ko