

REGULAR MEETING OF THE ZONING ADMINISTRATOR
OF THE CITY OF VICTORVILLE

NOVEMBER 21, 2018
10:00 A.M.

DEVELOPMENT CONFERENCE ROOM
14343 CIVIC DRIVE

ANY INDIVIDUAL WITH A DISABILITY WHO REQUIRES REASONABLE ACCOMMODATIONS TO PARTICIPATE IN A ZONING ADMINISTRATOR'S MEETING MAY REQUEST ASSISTANCE AND/OR RECEIVE THE AGENDA IN AN ALTERNATIVE FORMAT BY CONTACTING THE DEVELOPMENT DEPARTMENT SECRETARY AT (760) 955-5135 NO LATER THAN SEVENTY-TWO HOURS PRIOR TO THE MEETING

CALL TO ORDER

PUBLIC HEARING

1. **MINOR CONDITIONAL USE PERMIT ADMN18-00127 – MARISCOS EL GUERO**

ENVIRONMENTAL – CONSIDERATION OF AN ENVIRONMENTAL EXEMPTION

PROJECT – A MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR ALCOHOL SALES (INCLUDING BEER, WINE, & DISTILLED SPIRITS) FOR ON-SITE CONSUMPTION AT AN EXISTING RESTAURANT

LOCATION – 12174 HESPERIA ROAD

PUBLIC COMMENTS

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PUBLIC HEARINGS

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ZONING ADMINISTRATOR STAFF REPORT

DATE: NOVEMBER 21, 2018 **AGENDA NO. 1**

CASE: ADMN18-00127

SUBJECT: A MINOR CONDITIONAL USE PERMIT WITH AN ENVIRONMENTAL EXEMPTION TO ALLOW FOR ALCOHOL SALES (INCLUDING BEER, WINE, & DISTILLED SPIRITS) FOR ON-SITE CONSUMPTION AT AN EXISTING RESTAURANT

APPLICANT: MARISCOS EL GUERO

LOCATION: 12174 HESPERIA ROAD

I. STAFF RECOMMENDATION:

Staff recommends that the Zoning Administrator conduct a public hearing, receive testimony regarding the proposed project and take the following actions:

- 1. Environmental Assessment** – Find the project categorically exempt per CEQA Section 15301 – Existing Facilities; and
- 2. Minor Conditional Use Permit** – Approve case ADMN18-00127 subject to the recommended conditions.

II. SUMMARY:

The applicant is requesting approval of a Minor Conditional Use Permit in order to allow for full service alcohol sales in conjunction with a proposed restaurant. The site is located on a stand-alone pad within a multi-tenant commercial center that has previously operated as a restaurant with alcohol sales. If approved, the site will cause the area to become over-concentrated with on-sale alcohol licenses as defined by the California Department of Alcoholic Beverage Control (ABC) since eight on-sale licenses are permitted and eight exist. However, if approved Staff has included Conditions that limit business hours and regulate alcohol sales as noted in the “Business Operations” discussion in accordance with previous Planning Commission and Zoning Administrator approvals in an effort to ensure the location remains a restaurant and does not transform into a bar/nightclub.

III. STAFF ANALYSIS:

1. Environmental Assessment.

California Environmental Quality Act (CEQA) Section 15301 allows a categorical exemption for projects involving the permitting of private structures involving no expansion of use. The use of a restaurant with alcohol sales for on-site consumption will not constitute an expansion of use as major construction activities or other

expansions are not proposed, and because the site was last occupied by a restaurant with alcohol sales.

2. Minor Conditional Use Permit.

Business Operations

- The submitted floor plan indicates a total of 217 seats split between booths, tables, and bar seating within the approximately 3,400 sq. ft. dining area (that also includes an indoor fire pit and themed décor/display area); while the remaining area of the 6,450 sq. ft. building consists of kitchen, storage, cooler, restrooms, and waiting/lobby areas.
 - Based on the typical restaurant operations along “Restaurant Row” and other areas (Attachment ‘B’), the Title 16 definition of a restaurant (see “Title 16” discussion below), the ABC description of type 47 “On Sale General – Eating Place” licenses, as well as previous approvals by the Planning Commission (i.e. Broken Saddle Saloon & Steakhouse), Staff has included Conditions 9 – 24, in an effort to ensure the operations do not morph into bar and/or nightclub atmosphere during late night hours. These conditions include limited hours of operation, use restrictions, and required ABC license type.

Title 16

- Title 16 defines a restaurant as a *“bona fide eating place whose predominant function is the service of food and where alcoholic beverages are incidental. Incidental in this context means a restaurant with alcohol sales totaling less than twenty-five (25%) percent of all gross sales.”* Although a restaurant (meeting the definition above) selling beer and wine only would be exempt from the requirement of a Conditional Use Permit as outlined in Section 16-3.07.020(a)(1) (attached), a Conditional Use Permit is required due to the proposals request for full alcohol sales.
- A Finding of Public Convenience or Necessity will be required to be made by the ABC since the site is located within a census tract that will become over-concentrated with “on-sale” ABC licenses since 8 “on-sale” licenses are permitted and 8 are currently active (Attachment ‘C’). Of the eight existing licenses, six are limited to beer & wine while the remaining licenses authorize beer, wine & distilled spirits. Since the proposal will provide beer, wine & distilled spirits for on-site consumption in a restaurant, and due to the limited number of establishments offering distilled spirits for on-site consumption in the subject census tract, Staff finds that the proposal will serve public convenience.
- Sixty-five off-street parking spaces are required pursuant to the Title 16 requirement of one space for every one-hundred square feet of floor area (6,450 sq. ft./100 sq. ft. = 65 spaces). Although only thirty spaces existing within the confines of the sites individual parcel, the location is within a larger commercial complex (which includes a reciprocal access/parking agreement between all parcels) that provides parking to fulfill the proposals parking needs as well as the parking requirements of other uses within the center. Therefore, due to existing shared parking within the center, Staff finds the available parking sufficient to meet the requirements of Title 16.

Site Condition

- The site is fully developed with street improvements, paved parking areas, landscaping, and underground utilities. Generally, the site is in satisfactory condition and does not require any maintenance measures at this time due to previous site approvals that rectified landscape maintenance issues.

Required Findings

- In order to approve a Conditional Use Permit the Development Code requires that the Zoning Administrator make the following findings:
 - *The proposed location of the conditional use is in accord with the objectives and requirements of the Development Code.*
 - Comment: The underlying C-2 (General Commercial) zoning of the property conditionally permits full service alcohol sales in conjunction with a restaurant and the businesses sale of distilled spirits will serve public convenience. Therefore, the proposed location of the use is in accord with the objectives and requirements of the Development Code.
 - *The proposed location of the conditional use and the conditions under which it will be operated is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.*
 - Comment: The site has a General Plan designation of Commercial with a Zone District that conditionally allows for the proposed use. Additionally, the Vision for the Land Use Element of the General Plan notes that a “*Separation of incompatible land uses and integration of complementary ones*” and “*Locations for commercial uses with strong vehicular and pedestrian access*” are characteristics of the Vision for Victorville. Since the proposal is located over seven-hundred and fifty feet from the nearest sensitive land use (multi-family residential), and due to the sites location within a developed commercial center abutting a Super Arterial Roadway (Hesperia Road), Staff finds that the proposal is consistent with the General Plan and will not be detrimental to the public health, safety and welfare or materially injurious to uses, properties or improvements in the vicinity.
 - *The traffic generated by the proposed conditional use will not overload the capacity of the surrounding street system and will not create a hazard to public safety.*
 - Comment: Since the location was previously utilized as a restaurant with no major traffic impacts, and due to the sites location within a developed commercial center abutting Super Arterial Roadways (Bear Valley Road and Hesperia Road), the proposal will not overload the capacity of the surrounding street system and will not create a hazard to public safety.

- *The proposed conditional use will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16.*
 - Comment: The existing site is fully developed, including sufficient parking for the proposed use and improvements in accordance with current Municipal Code requirements. Additionally, full service alcohol sales in conjunction with a restaurant is listed as a conditional use within the underlying zoning of the site, and the proposal is not located near a sensitive land use. Therefore, Staff finds that the proposal will comply with each of the applicable provisions of the “Zoning and Land Use Requirements” chapter of Title 16.

IV. SITE CHARACTERISTICS:

	Existing Land Use	General Plan	Zoning	Specific Plan District
Site	Vacant Restaurant	Commercial	C-2T*	N/A
North	Multi-tenant Commercial Building	Commercial	C-2T*	N/A
South	Multi-tenant Commercial Building	Commercial	C-2T*	N/A
East	Multi-tenant Commercial Center	Commercial	C-2T*	N/A
West	Multi-tenant Commercial Building	Commercial	C-2T*	N/A

* The “T” or Transitional District was applied to these parcels in order to require Site Plan review and paleontological/archaeological monitoring prior to construction activities.

NUMBER OF RADIUS LETTERS MAILED: 9

Attachments:

- Attachment ‘A’ – Site and Floor Plans
- Attachment ‘B’ – City of Victorville Restaurant Operations
- Attachment ‘C’ – California Department of Alcoholic Beverage Control Information
- Attachment ‘D’ – Aerial Image

AJ

The Zoning Administrator’s action will be final unless appealed to the Planning Commission within ten days.

CONDITIONS OF APPROVAL
ADMN18-00127
November 21, 2018

Planning Conditions:

1. This approval is to allow for full service alcohol sales in conjunction with a restaurant located at 12174 Hesperia Road. Operating standards, including business hours, use restrictions, and California Alcoholic Beverage Control licensure type shall be as designated within the following Conditions of Approval. The Zoning Administrator may allow revised hours of operation and/or accessory uses not listed in this approval, providing the approved use does not change and the changes do not negatively affect the public health, safety, and welfare nor cause nonconformance with findings required by Section 16-3.02.050 of the Development Code.
2. The proposed use shall comply with all applicable development standards of Title 16.
3. The proposed development shall be in substantial conformity with the plans submitted as part of this conditional use permit, unless modification is required to comply with the applicable development standards of Title 16, and/or conditions of approval.
4. Any expansion of this proposed use beyond the scope of this conditional use permit shall require submission and approval of a conditional use permit modification or a new conditional use permit based upon the extent of the expansion.
5. Any change in use or implementation of a new use within the facility, which will require additional parking spaces resulting in non-compliance of Title 16 shall cause that use to be subject to Zoning Administrator and/or Planning Commission review and approval.
6. Approval of the Conditional Use Permit shall not abrogate the applicant from obtaining all necessary licenses for alcoholic beverage sales from the Department of Alcoholic Beverage Control.
7. Any non-compliance with this Conditional Use Permit and/or any subsequent Alcohol Beverage License's issued on the premises shall cause immediate revocation of this Conditional Use Permit and the user's Business License.
8. All landscaped areas shall be maintained in a neat, clean, orderly and healthful condition. This includes proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacement of plants when necessary and the regular watering of all plants. In addition, all landscaped areas shall be provided with a suitable permanent water system.
9. The hours of operation shall be limited to 11 a.m. to 11:00 p.m. Sunday thru Thursday, and 11:00 a.m. to 12:30 a.m. Friday and Saturday. Sales, service and consumption of alcoholic beverages shall cease 30 minutes before closing on each night. When a national holiday is celebrated on a Monday, then Sunday operational hours are permitted to match those of Friday and Saturday.
10. The subleasing or renting out of the entire facility is prohibited.

11. The restaurant shall not include a stage of any kind, unless approved on a temporary basis in conjunction with a Temporary Use Permit approved by the Zoning Administrator.
12. Alcoholic beverages are only to be sold and/or provided by the licensed business at the location. Outside alcohol provided by patrons or other vendors is prohibited.
13. Minors, under the age of 18 years, shall not be on the premises after 10pm, unless accompanied by their legal guardian.
14. A full food menu shall be available during business hours.
15. Alcohol sales shall total less than twenty-five (25%) of all gross sales on-site.
16. No live entertainment shall be offered within the business, including but not limited to bands, singers, karaoke, disc jockeys, dancers, or comedians, without first obtaining a discretionary modification to the Conditional Use Permit and/or Temporary Use Permit.
17. Exterior or off-site advertising intended to bring customers to the restaurant exclusively or primarily for the consumption of beer, wine or alcohol is prohibited except for advertising related to a champagne brunch.
18. The facility shall remain a restaurant and maintain a type 47 Department of Alcoholic Beverage Control license (bona fide eating place) at all times and not become strictly a bar.
19. Patrons who appear obviously intoxicated shall not be served any alcoholic beverages.
20. There shall be no "stacking" of alcoholic drinks, i.e., no server shall deliver more than one alcoholic drink at a time, to a single patron.
21. Employees shall be advised in writing by the Applicant and/or business owner that they are prohibited from consuming any alcoholic beverages during their work shift, and that the penalty for doing so may be suspension or termination of their employment.
22. An incident log shall be maintained at the licensed premises on a continual basis with at least one year of entries and be readily available for inspection by a police officer. The log is for recording any physical altercations, injuries, and objectionable conditions that constitute a nuisance occurring in, on, or at the licensed premises, including the immediately adjacent area that is owned, leased, or rented by the licensee. The log will indicate date, time, description of incident, and action taken. "Objectionable conditions that constitute a nuisance" means disturbance of the peace, public drunkenness, drinking in public, harassment of passersby, gambling, prostitution, loitering, public urination, lewd conduct, drug trafficking, or excessive loud noise.
23. Install a closed circuit television system capable of readily identifying facial features, and stature of all patrons entering the establishment during hours of operation. Cameras are to be recorded and a minimum of a 9-day library of events shall be kept and available for inspection by the Victorville Police Department.
24. Special events and/or any use proposed outdoors shall be required to obtain Temporary Use Permit or Conditional Use Permit Modification at the discretion of the City Planner.

25. All proposed signs, including any freestanding signage, shall comply with Title 16. The applicant shall be required to submit a sign package for review and must gain approval by the Planning Commission prior to approval of any signage proposed which is inconsistent with Title 16. All signs shall be subject to Planning Staff review and approval prior to obtaining a building permit.
26. All proposed temporary signage shall comply with Title 16. All temporary signs (grand openings, special sales, etc.) shall only be affixed to the suite they serve in accordance with an approved Temporary Sign Permit. Flags or other off-site signage is prohibited within multi-tenant developments.
27. The Applicant/Owner shall agree to defend, indemnify and hold harmless, the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City of Victorville or its agents, officers or employees to attack, set aside, void or annul this approval. The City of Victorville shall promptly notify the applicant of any such claim, action or proceeding, and the City of Victorville shall cooperate fully in the defense.

Fire Conditions:

28. Shall comply with all current Building and Fire Code requirements based on occupancy classification.

Building Conditions:

29. This project shall comply with all building codes in effect at the time of plan submittal.
30. The scope of work indicated will require accessibility upgrades to be included in accordance with Section 11B-202 of the California Building Code.
31. Plan check fees for this project will be due, and shall be paid in full, upon submittal of plans to the Building Division. The Building Division may be contacted at (760) 955-5100 for an estimation of these fees. Actual amount owed will be determined upon submittal of the plans at the building counter.

ATTACHMENT 'A'

GENERAL NOTES

A. ALL WALLS SEPARATING FOOD SERVICE AREAS FROM DINING AND TOILET ROOM AREAS SHALL BE FULLY INSULATED WITH SOUND INSULATED BATTS. ALL BATTS SHALL BE WIRED IN PLACE.

B. PROVIDE SOUND INSULATION BATTS AS NOTED ABOVE IN PARTITION SEPARATING THE MEN'S AND WOMEN'S RESTROOMS. LAY SOUND INSULATION BATTS CONTINUOUS IN ATTIC SPACE TO COVER THE DRYWALL CEILING ABOVE THE RESTROOM (TYP.).

C. CONTRACTOR TO VERIFY ALL PLUMBING PIPE, WASTE AND VENT SIZES PRIOR TO CONSTRUCTION.

D. PROVIDE A ROOM CAPACITY SIGN. IT SHALL BE POSTED HAVING SIX (6) INCH LETTERING AND BE CONTRASTING IN COLOR.

E. WALLS SHALL EXTEND 24" BEYOND THE STRIKE EDGE OF EXTERIOR DOORS, AND 18" BEYOND THE STRIKE EDGE OF INTERIOR DOORS.

F. FLOOR OR LANDING SHALL NOT BE MORE THAN 1" BELOW THRESHOLD.

G. MAXIMUM EFFORT TO OPEN DOORS SHALL NOT EXCEED 8.5 LBS. TO HANDICAPPED ACCESSIBLE DOORS SHALL BE NO LESS THAN 36" IN WIDTH WITH A CLEAR WIDTH OF 32".

H. ALL HANDICAPPED ACCESSIBLE DOORS SHALL BE PROVIDED WITH HANDICAPPED ACCESSIBLE HARDWARE.

I. ALL HANDICAPPED ACCESSIBLE DOORS SHALL BE PROVIDED WITH HANDICAPPED ACCESSIBLE HARDWARE.

J. OWNER TO SUBMIT SIGN DRAWINGS AND DETAILS TO BUILDING DEPARTMENT APPROVAL PRIOR TO INSTALLATION, SEPARATE PERMIT REQUIRED.

K. ADDRESS NUMBERS SHALL BE CONTRASTING INTERNALLY OR EXTERNALLY ILLUMINATED AND ALIGNED AND HORIZONTALLY, WHEN POSSIBLE, THEY SHALL BE PLACED ON THE RIGHT SIDE OF THE BUILDING BEING FACED. THE NUMBERS SHALL BE 6" HIGH WHEN UP TO 50' FROM CURB LINE, 12" HIGH WHEN UP TO ONE 100' FROM CURB LINE, AND 24" HIGH IF OVER 100' FROM CURB LINE. THE NUMBERS ARE TO BE VISIBLE FROM THE STREET BEING FACED. UNIT OR SPACE NUMBERS SHALL BE 6" HIGH AND PLACED OVER THE PRIMARY UNIT ENTRANCE.

L. REFER TO PLUMBING CONSULTANTS DRAWINGS FOR FIXTURES AND SPECIFICATIONS.

M. REFER TO MECHANICAL DRAWINGS FOR ALL MECHANICAL REQUIREMENTS AND SPECIFICATIONS.

N. REFER TO ELECTRICAL CONSULTANTS DRAWINGS FOR ALL ELECTRICAL REQUIREMENTS AND SPECIFICATIONS.

O. DRAWING AND SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY. SPECIFIC INFORMATION MAY BE FOUND ON EITHER OR BOTH.

P. LAYOUT OF WORK
EXERCISE PROPER PRECAUTION TO VERIFY ALL EXISTING CONDITIONS AND LAYOUT OF WORK. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
CONTRACTOR IS RESPONSIBLE FOR ANY ERROR RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTION. SUCH ERROR WILL NOT BE CONSIDERED SUBSEQUENTLY AS A BASIS FOR EXTRA COMPENSATION.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT WORK, ALL LINES, MEASUREMENTS OF THE BUILDING, UTILITIES, AND OTHER WORK EXCLUDED UNDER THE CONTRACT.
SHOULD A CONTRACTOR FIND DISCREPANCIES IN, OR OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS, OR SHOULD HE BE IN DOUBT AS TO THEIR MEANING, HE SHALL AT ONCE NOTIFY THE ARCHITECT.
Q. EXAMINATION
ANY DISCREPANCIES, ERRORS OR OMISSIONS DISCOVERED IN THE CONTRACT DOCUMENTS BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH RELATED WORK, OTHERWISE THE CORRECTION OF SUCH ITEMS IS THE RESPONSIBILITY OF THE CONTRACTOR.
R. CODES AND STANDARDS
ALL WORK, MATERIALS AND INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH ALL ORDINANCES, STATE AND LOCAL BUILDING CODES, LATEST EDITION.
DESIGN LOADS, LOADS AND CODE RESTRICTIONS FOR ALL DESIGN CONSIDERATIONS SHALL CONFORM TO THE LOCAL AND STATE CODES, AND ALL GOVERNING CODES.
S. SUB-CONTRACTORS
SUB-CONTRACTORS SHALL VISIT THE SITE OF THE WORK PRIOR TO SUBMISSION OF THEIR BIDS, AND FAMILIARIZE THEMSELVES WITH THE WORKING CONDITIONS AND THE EXTENT OF THE WORK. SUBMISSION OF A PROPOSAL OR BID ACKNOWLEDGES FULL RESPONSIBILITY FOR FURNISHING A COMPLETE AND FUNCTIONAL SYSTEM. NO CHANGES IN CONTRACT WILL BE MADE TO ACCOMMODATE OR ALLOW EXTRA FUNDS FOR ANY OMISSION WHICH RESULTS FROM A FAILURE TO THOROUGHLY MAKE THE EXAMINATION.



PROJECT INFORMATION

PROJECT NAME: MARISCOS EL CUERO RESTAURANT

OWNER: VINCE AND NICOLE MURCIO

PROJECT DESCRIPTION: RESTAURANT / BAR

PROJECT LOCATION: 12174 HESPERIA RD, VICTORVILLE, CA, 92392

LEGAL DESCRIPTION: A.P.N.: 3091251-19

LOCAL MUNICIPAL: VICTORVILLE, CA

APPLICABLE CODES: 2018 CALIFORNIA BUILDING CODE, 2018 CALIFORNIA PLUMBING CODE, 2018 CALIFORNIA MECHANICAL CODE, 2018 CALIFORNIA ELECTRICAL CODE, 2018 CALIFORNIA ENERGY CODE, 2018 CALIFORNIA GREEN BUILDING STANDARDS CODE

ZONING: C2

OCCUPANCY: A-2

CONSTRUCTION TYPE: EXISTING S.B. (TENANT IMPROVEMENT)

TOTAL SQUARE FOOTAGE - GROSS FLOOR AREA: 6,450 S.F. (BUILDING)

SITE AREA: 0.899 ACRES

NO. OF STORIES: ONE

AREA TABULATION	UNIT # / OCCUPANCY	FLOOR AREA / OCCUPANT LOAD FACTOR	(PER TABLE A, 2013 C.P.C.)	TOTAL OCCUPANT LOAD	TOTAL FOR EACH SEX
DINING AREA 217 TOTAL SEATS		3,380 SQ. FT.			
STORAGE & COOLER		471 SQ. FT.			
KITCHEN AREA		818 SQ. FT.			
WAITRESS STATION		234 SQ. FT.			
BAR #1		211 SQ. FT.			
BAR #2		375 SQ. FT.			
RECEPT. / LOBBY		331 SQ. FT.			
HORIZ. CIRCULATION		217 SQ. FT.			
RESTROOMS		413 SQ. FT.			
TOTAL AREA OF IMPROVEMENT		6450 SQ. FT.			

OCCUPANT LOAD TABLE (PER TABLE 1004.1.2 - 2013 C.B.C.) - EXITS

UNIT # / OCCUPANCY	FLOOR AREA / OCCUPANT LOAD FACTOR	NO. OF OCCUPANTS	NO. OF EXITS REQUIRED	NO. OF EXITS PROVIDED
DINING AREA	3,380 SQ. FT. / 15 =	225	48 + 2	2
KITCHEN AREA	1,062 SQ. FT. / 200 =	5	48 + 1	1

NOTE: AREA TABULATION IS MEASURED FROM INSIDE SURFACE OF WALL FOR OCCUPANCY PURPOSES ONLY.

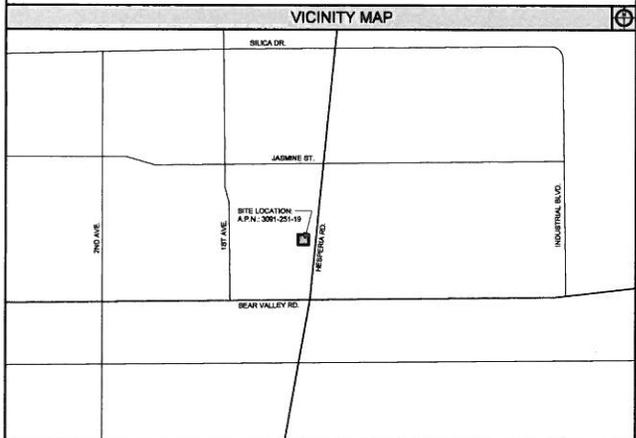
NOTE: AREA TABULATION IS MEASURED FROM INSIDE SURFACE OF WALL FOR OCCUPANCY PURPOSES ONLY.

1 SINGLE OCCUPANCY RESTROOM REQUIRED PER REC. 422.2 2013 C.P.C. (SEE BELOW)

422.2 SEPARATE FACILITIES
SEPARATE TOILET FACILITIES SHALL BE PROVIDED FOR EACH SEX.
(1) RESIDENTIAL INSTALLATIONS

(2) IN OCCUPANCIES WITH A TOTAL OCCUPANT LOAD OF 10 OR LESS INCLUDING CUSTOMERS AND EMPLOYEES, ONE TOILET FACILITY, DESIGNED FOR USE BY NO MORE THAN ONE PERSON AT A TIME, SHALL BE PERMITTED FOR USE BY BOTH SEXES.

(3) IN BUSINESS AND MERCANTILE OCCUPANCIES WITH A TOTAL OCCUPANT LOAD OF 50 OR LESS INCLUDING CUSTOMERS AND EMPLOYEES, ONE TOILET FACILITY, DESIGNED FOR USE BY NO MORE THAN ONE PERSON AT A TIME, SHALL BE PERMITTED FOR USE BY BOTH SEXES.



SHEET INDEX

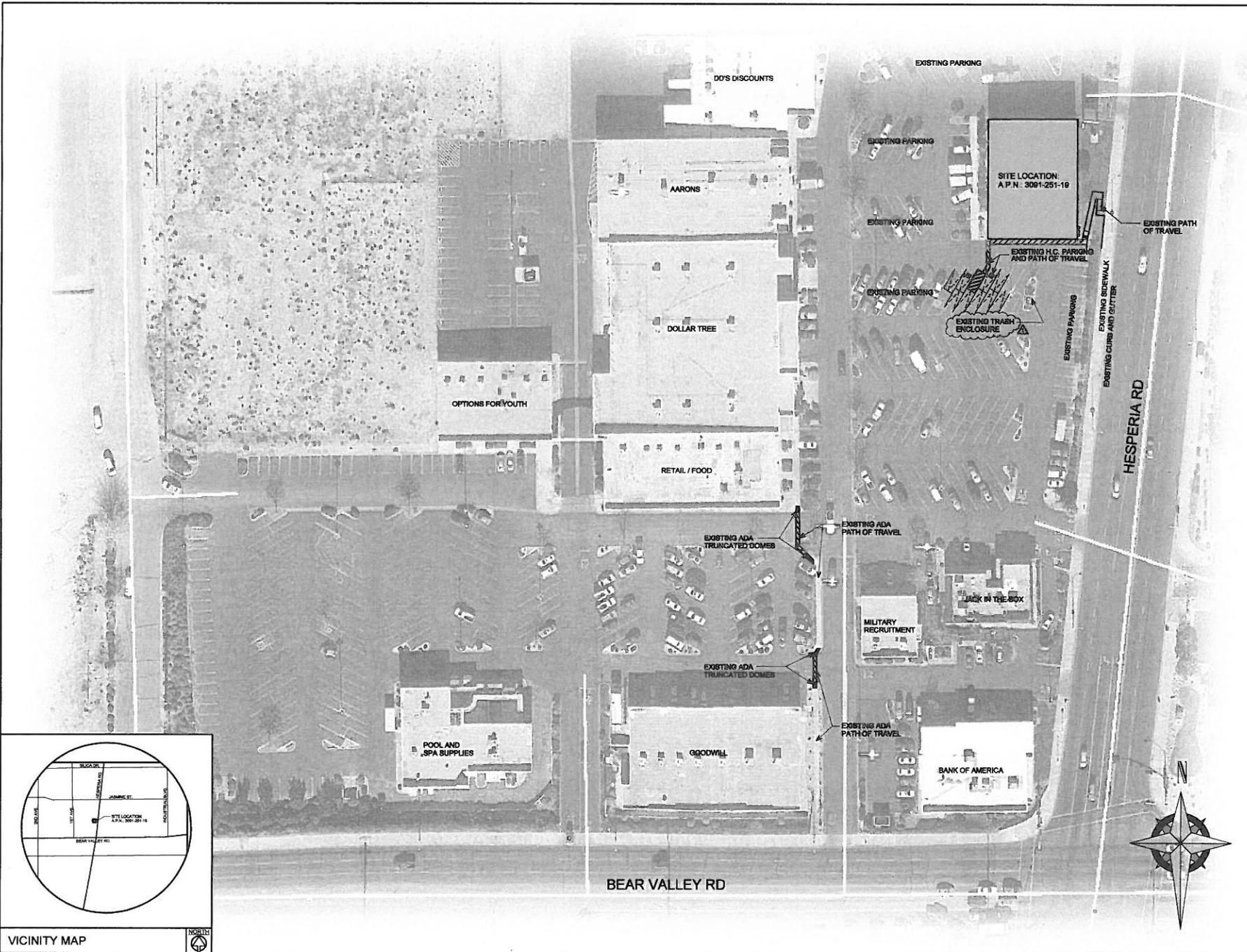
NO.	DESCRIPTION
T-1.0	TITLE SHEET
SP-1.0	OVERALL SITE PLAN (REFERENCE ONLY)
SP-1.1	SITE PLAN
A-1.0	FLOOR PLAN
A-3.0	EQUIPMENT / ROOM FINISH SCHEDULE
MECHANICAL	
M-1.0	H.V.A.C. LAYOUT
M-2.0	HOOD SPECIFICATIONS & CALCULATIONS
M-3.0	HOODS 1&2 PLAN VIEW
M-4.0	EXHAUST SPECIFICATIONS & CALCULATIONS
M-5.0	HOOD SUPPRESSION DETAILS
M-6.0	MAKE UP AIR & A/C DETAILS
M-7.0	WIRE DIAGRAM & SPECIFICATIONS
PLUMBING	
P-2.0	D.W.V. LAYOUT

PROJECT CONTACTS

ARCHITECT
OMEGA DESIGN GROUP
15972 BEAR VALLEY ROAD
VICTORVILLE, CA, 92395
TEL - (760) 955-6629
FAX - (760) 955-7790
CONTACT - MICHAEL P. WAUHOB

OWNER / CONTACT
VINCE AND NICOLE MURCIO
10289 SMITH RD, PHELAN CA 92371
(760) - 669 - 4956





VICINITY MAP



OVERALL SITE PLAN (REFERENCE ONLY)

SCALE: N.T.S.

OMEGA
DESIGN GROUP
 ARCHITECT
 MICHAEL P. WAUHOBB - ARCHITECT
 CIVIL ENGINEER
 LICENSE NO. 44888
 10000 BURNING TREE DRIVE
 SUITE 100
 VICTORVILLE, CA 92403
 WWW.OMEGADSGROUP.COM

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 ARCHITECT © 2019
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 SOLE PROPERTY OF OMEGA DESIGN GROUP
 ANY AND ALL OTHERS THAT FOR WHOM THEY
 HAVE PROVIDED SHALL BE RESPONSIBLE
 ALL PLANS AND INFORMATION HEREIN SHALL
 COMPLY WITH THE C.E.C., 9014 C.E.C.
 PLUMBING AND MECHANICAL CODES AND
 CALIFORNIA ELECTRICAL CODE AND THE
 CALIFORNIA BUILDING OFFICIALS PRACTICE CODE
 TABLE REVISIONS DATE
 E.H.B. SUBMITTAL AUGUST 2018
 E.H.B. COMMENTS AUGUST 2018



WARNING!
 ANY STRUCTURAL, MECHANICAL, OR
 ELECTRICAL WORK SHOWN ON THESE
 PLANS SHALL BE DONE IN ACCORDANCE WITH
 ALL APPLICABLE CODES AND REGULATIONS
 APPROVED BY THE ARCHITECT

PROJECT FOR:
MARISCO'S EL GUERO
- ESTILO NAYARIT -
 CONTRACT: VINCE MARCO
 10000 BURNING TREE DRIVE
 SUITE 100
 VICTORVILLE, CA 92403
 (951) 948-1988
 SITE INFORMATION:
 13TH HESPERIA RD, VICTORVILLE, CA 92282
 2021.01.01.001.018

SHEET NAME
OVERALL SITE PLAN
(REFERENCE ONLY)
 PROJECT NUMBER
 MARISCO-19-18
 SCALE
 N.T.S.
 DRAWN BY
 D.G.S. TEAM
 CHECKED BY
 M.P.W. JML
 SHEET NUMBER

SP-1.0

OF 18 SHEETS
 DRAWING FILE
 MARISCO-19-18

GENERAL NOTES

SUB-CONTRACTORS SHALL VISIT THE SITE OF THE WORK PRIOR TO SUBMISSION OF HIS BID, AND FAMILIARIZE HIMSELF WITH THE WORKING CONDITIONS AND THE EXACT NATURE AND EXTENT OF THE WORK. SUBMISSION OF A PROVISIONAL OR BID ACKNOWLEDGMENT FULLY CONSENTS TO THE CONTRACTOR'S OBLIGATION TO VISIT THE SITE AND TO INVESTIGATE THE CONTRACT. CONTRACT WILL BE MADE TO ACCOMMODATE OR ALLOW EXTRA FUNDS FOR ANY OMISSION WHICH RESULTS FROM A FAILURE TO THROUGHLY MAKE THE EXAMINATION.

ALL SUSPENDED CEILING SYSTEM IS EXISTING. ALL LIGHT FIXTURES ARE EXISTING. SOME MINOR ADJUSTING WILL BE NECESSARY PER TENANT IMPROVEMENT PLAN. REPLACE ANY BURNT OUT LAMPS OR DAMAGED CEILING TILES AS NECESSARY.

SUSPENDED CEILING SHALL COMPLY WITH CURRENT C.B.C.

ALL H.V.A.C. EQUIPMENT IS EXISTING. ALL SUPPLY AND RETURN AIR SYSTEMS ARE EXISTING. SOME MINOR RELOCATING MAY BE NECESSARY PER TENANT IMPROVEMENT PLAN.

EXISTING STOREFRONT GLASS - ALL STOREFRONT DOORS & WINDOWS ARE EXISTING - NO MODIFICATIONS HAVE BEEN MADE.

NO SO. FOOTING HAS BEEN ADDED AND NO EXTERIOR GLAZING HAS BEEN MOORED, THEREFORE NO TITLE OR EXISTING CALLS SHALL BE REQUIRED.

ALL P.O.B. REGISTERERS SHALL BE ELECTRONICALLY LINKED TOGETHER.

WHERE COUNTERS AT CASH REGISTER AND ARE PROVIDED FOR SALES TO THE PUBLIC, AT LEAST ONE PORTION OF THE COUNTER SHALL BE 36" IN LENGTH WITH A MAXIMUM HEIGHT OF 36" ABOVE THE FINISHED FLOOR.

ACCESSIBILITY NOTES

NO ABRUPT CHANGES IN ELEVATION ALONG THE EXISTING PATH OF TRAVEL (SHOWAL - THE ROUTE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED A 1/4" IN SLOPE SHALL VERIFY).

CONTROLS & SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RESPIRABLE OUTLETS, APPLIANCES OR COOLING, HEATING AND VENTILATION EQUIPMENT, SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX NOR LESS THAN 12" MEASURED FROM THE BOTTOM OF THE OUTLET BOX TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORMS - C.B.C. SEC. 11B-300

C.B.C. 11B-803.3 WHERE TOWEL, SANITARY NAPKIN, WASTE RECEPTACLES, DISPENSERS AND OTHER EQUIPMENT AND CONTROLS ARE PROVIDED, AT LEAST ONE OF EACH TYPE SHALL BE LOCATED ON AN ACCESSIBLE ROUTE, IF ALL OPERATING PARTS, INCLUDING CONTROLS, WITHIN 48" FROM THE FLOOR.

C.B.C. 11B-404.2.5. DOOR OPENING FORCE - JUDICIOUS FIRE DOORS SHALL HAVE THE MIN. OPENING FORCE ALLOWED BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY - NOT TO EXCEED 15 POUNDS - OTHER THAN REQUIRED FIRE DOORS, INTERIOR DOORS SHALL HAVE A MAXIMUM OPENING FORCE OF 5 POUNDS.

OTHER THAN REQUIRED FIRE DOORS, EXTERIOR DOORS SHALL HAVE A MAXIMUM OPENING FORCE OF 5 POUNDS.

THE ENTRANCE DOORS LEADING TO THE PROPOSED AREA OF ADDITION COMPLY WITH THE HANCOCK ACCESS REQUIREMENTS - INSPECTOR TO VERIFY.

AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES FROM A LEVEL LANDING ON EACH SIDE OF A DOOR EXTENDING 8" ON DIRECTION OF DOOR SWING AND 24" IN OPPOSITE DIRECTION OF DOOR SWING, MEASURED BY DOOR CLEARANCE PER 11B-404.2.4.1

PROVIDE TACTILE BARRIERS PER C.B.C. SEC. 11B-705. TACTILE EXIT SIGNS SHALL BE IN THE FOLLOWING LOCATIONS:

TACTILE EXIT SIGNS SHALL BE IN THE FOLLOWING LOCATIONS:

1. LOCATED OUTSIDE EACH MAIN ENTRY ROUTE SHALL IDENTIFY EACH GRADE LEVEL EXIST. EXIT DOOR.

2. LOCATED OUTSIDE EACH MAIN ENTRY ROUTE SHALL IDENTIFY EACH EXIST. EXIT DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE AN EXIT SIGN.

FIRE NOTES

FIRE SPRINKLER SYSTEM WILL REQUIRE MODIFICATION UNDER SEPARATE SUBMITTAL.

FIRE ALARM SYSTEM WILL REQUIRE MODIFICATION UNDER SEPARATE SUBMITTAL.

SMOKE / DUCT SYSTEM WILL REQUIRE MODIFICATION UNDER SEPARATE SUBMITTAL IF ANY APPLIANCES ARE CHARGED OR RELOCATED.

SEATING CALCULATIONS

DINING	TABLE QTY.	SEATS	TOTAL
BAR #1	YES	15 (H.C.)	17
BAR #2	YES	6	10
3-TOPS (28 x 32")	11	32	32
4-TOPS (28 x 36")	21	82 (H.C.)	84
4-8 TOPS (28 x 36")	5	20	20
4 PERSON BENCH SEATING	18	64	64
DINING TOTAL			217

DRY / LIQUOR STORAGE AREA

DRY STORAGE

18" x 48" RACKS (TYP. OF 1) = 90" OF LIN. FEET
 18" x 48" RACKS (TYP. OF 2) = 240" OF LIN. FEET
 18" x 72" RACKS (TYP. OF 3) = 360" OF LIN. FEET
 TOTAL LIN. FEET = 690" (H.C.) (H.C.)

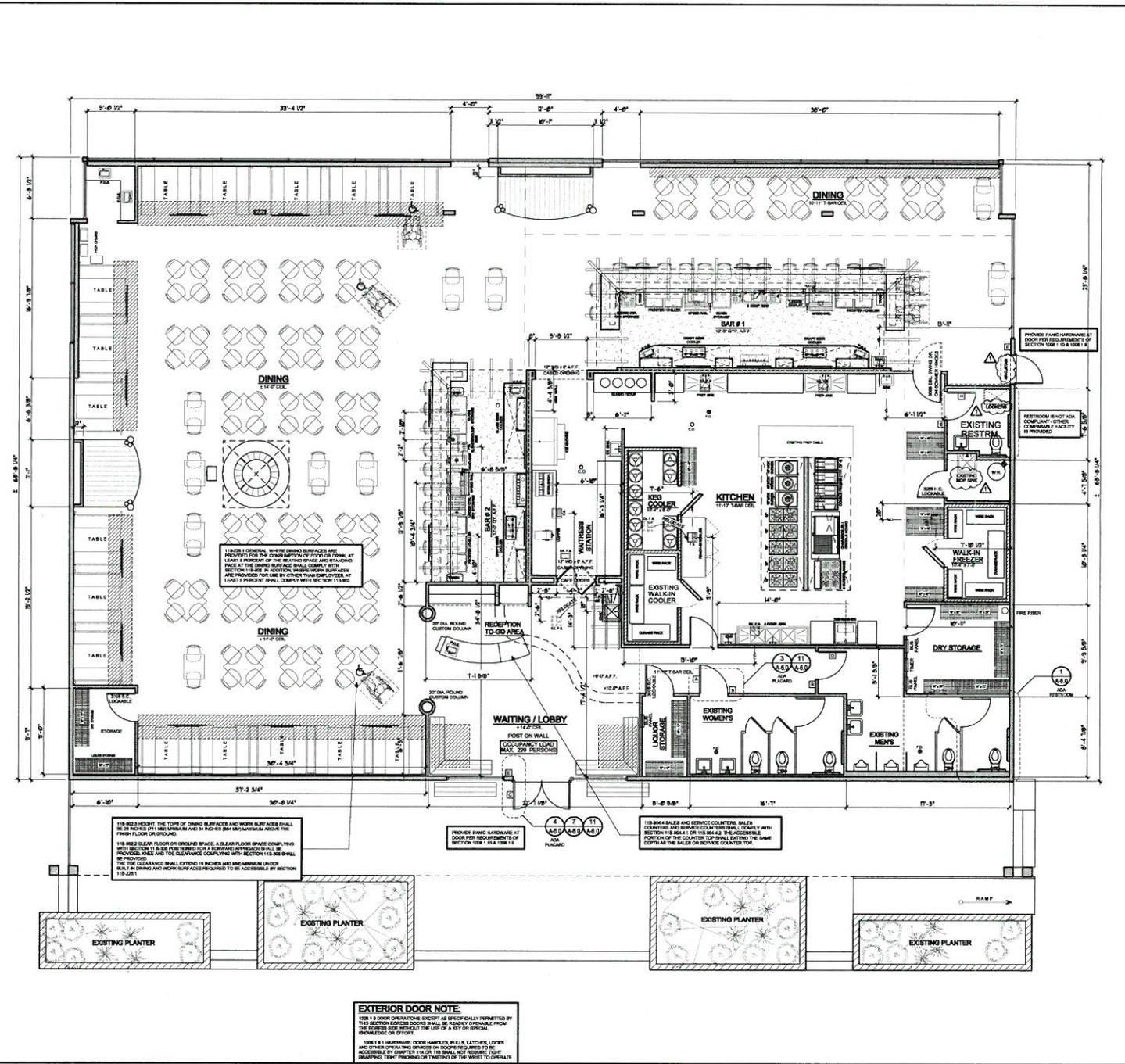
LIQUOR STORAGE

18" x 48" RACKS (TYP. OF 1) = 48" OF LIN. FEET
 18" x 72" RACKS (TYP. OF 2) = 120" OF LIN. FEET
 TOTAL LIN. FEET = 168" (H.C.) (H.C.)

FIXTURE	QTY.	UNITS	TOTAL	FIXTURE	QTY.	UNITS	TOTAL
W.C. (PUBLIC)	8	2.5	15	W.C. (PUBLIC)	8	2.5	15
URINAL (PUBLIC)	3	2	6	URINAL (PUBLIC)	3	2	6
LAV (PUBLIC)	8	1	8	LAV (PUBLIC)	8	1	8
MOP SINK	1	1.5	2.25	MOP SINK	1	1.5	2.25
HAND SINK	4	2	8	HAND SINK	3	2	6
HAND SINK (PUB.)	1	2	2	BAR SINK	1	1.5	1.5
BAR SINK	1	1	1	DISHWASHER	1	1.5	1.5
DISHWASHER	1	1.5	1.5	3 COMP. SINK	2	3	6
3 COMP. SINK	2	3	6	PREP. SINK	2	2	4
PREP. SINK	2	2	4	ICE MACHINE	1	1	1
ICE MACHINE	1	1	1	SODA MACHINE	1	1	1
SODA MACHINE	1	1	1	WASHER	1	4	4
TOTAL	87.6	TOTAL	87.6				

AREA TABULATION

AREA	FIXTURE DIFFERENCE	0 UNITS
DINING AREA	3,430	SQ. FT.
217 TOTAL SEATS		
STORAGE & COOLER	471	SQ. FT.
KITCHEN AREA	834	SQ. FT.
WAITRESS STATION	240	SQ. FT.
BAR #1	375	SQ. FT.
BAR #2	237	SQ. FT.
RECEPT / LOBBY	331	SQ. FT.
HORIZ. CIRCULATION	217	SQ. FT.
RESTROOMS	413	SQ. FT.
TOTAL AREA OF IMPROVEMENT	6,548	SQ. FT.



OMEGA DESIGN GROUP
 MICHAEL P. WAHOB ARCHITECT
 11717 HERSHMAN RD., VICTORVILLE, CA 92292
 TEL: 951-251-1818
 WWW.OMEGADBSIGNGROUP.COM

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 ARCHITECT: MICHAEL P. WAHOB
 PROJECT NO. 10/19

ALL PLANS AND INFORMATION HEREIN ARE THE SOLE PROPERTY OF MICHAEL P. WAHOB ARCHITECT. ANY USE OTHER THAN THAT FOR WHICH THEY WERE PREPARED SHALL BE AT THE USER'S RISK.

ALL PLANS AND INFORMATION HEREIN SHALL COMPLY WITH THE CALIFORNIA BUILDING CODE, CALIFORNIA ELECTRICAL CODE AND THE CALIFORNIA MECHANICAL ENGINEERING CODE.

DATE / REVISIONS DATE
 8/18 SUBMITTAL AUGUST 2010
 8/19 COMMENTS AUGUST 2010

WARNING!
 ANY STRUCTURAL, ENGINEERING, OR MECHANICAL OPERATIONS FROM THE PLANS SHALL BE DONE AND WRITTEN APPROVAL FROM THE ARCHITECT.

PROJECT FOR:
 MARISCO'S EL GUERO
 - ESTILO NAYARIT -
 CONTRACT: VINCE MARCO
 (OWNER: 951-251-1818) 10/19
 11717 HERSHMAN RD., VICTORVILLE, CA 92292
 P.O. BOX 180118-18

SHEET NAME
 FLOOR PLAN

PROJECT NUMBER
 MARCO-10-18

SCALE
 1/4" = 1'-0"

DRAWN BY
 O. G. YEAM

CHECKED BY
 M.P.H. P.H.S.

SHEET NUMBER
 A-1.0

OF 13 SHEETS
 DRAWING FILE
 MARCO-10-18

FLOOR PLAN BUILDING TYPE: ∇ OCCUPANCY GROUP: A-2 SCALE: 1/4" = 1'-0"

ATTACHMENT 'B'

Operating hours of restaurants along "Restaurant Row"
(The area abutting Amargosa Road just south of Bear Valley Road)

Restaurant	Hours – Sunday - Thursday	Hours Friday - Saturday
Chili's	11 a.m. to 11 p.m.	11 a.m. to Midnight
Applebee's	11 a.m. to Midnight	11 a.m. to 1 a.m.
Carino's	11:30 a.m. to 10 p.m.	11 a.m. to Midnight
Roadhouse	11 a.m. to 10 p.m.	11 a.m. to 11 p.m.
Pancho Villa's	11 a.m. (9 a.m. Sunday) to 10 p.m.	11 a.m. to 1 a.m.

Operating hours of other restaurants abutting Interstate 15.

Restaurant	Hours – Sunday - Thursday	Hours Friday - Saturday
El Tio Pepe	11 a.m. (9 a.m. on Sun.) to 10 p.m.	11 a.m. to 11 p.m.
Marie Callender's	7 a.m. to 10 p.m.	7 a.m. to 11 p.m.
Olive Garden	11 a.m. to 10 p.m.	11 a.m. to 11 p.m.
Red Lobster	11 a.m. to 10 p.m.	11 a.m. to 11 p.m.
Steer N' Stein	11 a.m. to 9 p.m.	11 a.m. to 9 p.m.
Tilted Kilt	11 a.m. to 11 p.m. (Sun. – Wed.)	11 a.m. to 2 a.m. (Thurs. – Sat.)

Staff notes that all restaurants included in the charts above abut Interstate 15, and therefore are tailored to serve patrons traveling through the region as well as local residents. Additionally, all restaurants noted above began operations prior to the current alcohol sales standards.

Operating hours of other restaurants within the immediate vicinity of the proposal.

Restaurant	Hours – Sunday - Thursday	Hours Friday - Saturday
Toto's Mexican Food	9 a.m. to 9 p.m.	9 a.m. to 9 p.m.
Soya Sushi	11:30 a.m. to 9:30 p.m. (weekdays)	Noon to 9 p.m. (weekends)
Yoshi Sushi	11 a.m. to 10 p.m. (9 p.m. on Sun.)	11 a.m. to 10 p.m.

ATTACHMENT 'C'

DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL
NUMBER OF LICENSES AUTHORIZED
BY CENSUS TRACT

County Name	County Population	County Ratio On Sale	County Ratio Off Sale	Census Tract #	Census Tract Population	On Sale	Off Sale
SAN BERNARDINO	2,174,938	1,254	1,425	97.08	5,221	4	3
SAN BERNARDINO	2,174,938	1,254	1,425	97.09	6,356	5	4
SAN BERNARDINO	2,174,938	1,254	1,425	97.10	7,120	5	4
SAN BERNARDINO	2,174,938	1,254	1,425	97.11	9,401	7	6
SAN BERNARDINO	2,174,938	1,254	1,425	97.12	5,978	4	4
SAN BERNARDINO	2,174,938	1,254	1,425	97.13	7,063	5	4
SAN BERNARDINO	2,174,938	1,254	1,425	97.14	3,606	2	2
SAN BERNARDINO	2,174,938	1,254	1,425	97.15	8,260	6	5
SAN BERNARDINO	2,174,938	1,254	1,425	97.16	6,974	5	4
SAN BERNARDINO	2,174,938	1,254	1,425	97.17	4,018	3	2
SAN BERNARDINO	2,174,938	1,254	1,425	98.00	5,017	4	3
SAN BERNARDINO	2,174,938	1,254	1,425	99.04	10,960	8	7
SAN BERNARDINO	2,174,938	1,254	1,425	99.05	7,575	6	5
SAN BERNARDINO	2,174,938	1,254	1,425	99.06	4,941	3	3
SAN BERNARDINO	2,174,938	1,254	1,425	99.08	4,817	3	3
SAN BERNARDINO	2,174,938	1,254	1,425	99.10	4,653	3	3
SAN BERNARDINO	2,174,938	1,254	1,425	99.11	6,456	5	4
SAN BERNARDINO	2,174,938	1,254	1,425	99.12	4,762	3	3
SAN BERNARDINO	2,174,938	1,254	1,425	99.13	6,068	4	4
SAN BERNARDINO	2,174,938	1,254	1,425	100.04	8,437	6	5
SAN BERNARDINO	2,174,938	1,254	1,425	100.09	3,511	2	2
SAN BERNARDINO	2,174,938	1,254	1,425	100.10	6,446	5	4
SAN BERNARDINO	2,174,938	1,254	1,425	100.11	5,221	4	3
SAN BERNARDINO	2,174,938	1,254	1,425	100.12	4,877	3	3
SAN BERNARDINO	2,174,938	1,254	1,425	100.13	8,022	6	5
SAN BERNARDINO	2,174,938	1,254	1,425	100.14	4,800	3	3
SAN BERNARDINO	2,174,938	1,254	1,425	100.15	5,434	4	3
SAN BERNARDINO	2,174,938	1,254	1,425	100.16	5,584	4	3
SAN BERNARDINO	2,174,938	1,254	1,425	100.17	14,798	11	10
SAN BERNARDINO	2,174,938	1,254	1,425	100.18	7,068	5	4
SAN BERNARDINO	2,174,938	1,254	1,425	100.19	5,235	4	3
SAN BERNARDINO	2,174,938	1,254	1,425	100.20	7,471	5	5
SAN BERNARDINO	2,174,938	1,254	1,425	100.21	6,437	5	4
SAN BERNARDINO	2,174,938	1,254	1,425	100.22	4,084	3	2
SAN BERNARDINO	2,174,938	1,254	1,425	100.23	5,949	4	4
SAN BERNARDINO	2,174,938	1,254	1,425	100.24	5,359	4	3
SAN BERNARDINO	2,174,938	1,254	1,425	100.25	7,405	5	5
SAN BERNARDINO	2,174,938	1,254	1,425	100.26	10,495	8	7
SAN BERNARDINO	2,174,938	1,254	1,425	103.00	3,846	3	2
SAN BERNARDINO	2,174,938	1,254	1,425	104.02	8,442	6	5
SAN BERNARDINO	2,174,938	1,254	1,425	104.09	3,018	2	2
SAN BERNARDINO	2,174,938	1,254	1,425	104.10	3,105	2	2
SAN BERNARDINO	2,174,938	1,254	1,425	104.11	6,752	5	4
SAN BERNARDINO	2,174,938	1,254	1,425	104.12	7,720	6	5
SAN BERNARDINO	2,174,938	1,254	1,425	104.13	5,979	4	4
SAN BERNARDINO	2,174,938	1,254	1,425	104.15	5,682	4	3





California Department of Alcoholic Beverage Control
Active On-Sale Retail Licenses

Save As CSV

For the County of SAN BERNARDINO and the Census Tract of 100.26

Report as of: 11/14/2018

Rows Per Page: 25

Reload

Total Licenses: 9

Page 1 of 1

Click on column header to sort

	License Number	Status	License Type	Orig. Iss. Date	Expir. Date	Primary Owner	Business Name	Premises Addr.	Geo Code
1	308259	ACTIVE	41	06/30/1995	05/31/2019	MAGANA, ROGELIO D	TOTOS MEXICAN RESTAURANT	12142-46 HESPERIA RD VICTORVILLE, CA 92392 Census Tract: 0100.26	3612
2	419007	ACTIVE	41	12/20/2004	11/30/2018	KIM, TAE SUK	SOYA JAPANESE RESTAURANT	12209 HESPERIA RD, STE 2F VICTORVILLE, CA 92395 Census Tract: 0100.26	3612
3	481692	ACTIVE	47	06/08/2010	05/31/2019	RAMIREZ, JOSE ANTONIO	LOS ROBERTOS MEXICAN RESTAURANT	12670 HESPERIA RD VICTORVILLE, CA 92395-5877 Census Tract: 0100.26	3612
4	486785	ACTIVE	48	05/11/2010	04/30/2019	CRAIG SPORTS LLC	GATORS SPORTS BAR AND GRILL	12249 HESPERIA RD, STE 1B & 1C VICTORVILLE, CA 92395-8313 Census Tract: 0100.26	3612
5	531381	ACTIVE	41	08/26/2013	07/31/2019	GELT HOLDINGS INC	PIZZA HUT	12183 HESPERIA RD VICTORVILLE, CA 92395 Census Tract: 0100.26	3612
6	560664	SUSPEN	47	03/24/2016	02/28/2019	FENG SHENG 5 CORP	LOUISIANA CAJUN SEAFOOD HOUSE	12174 HESPERIA RD VICTORVILLE, CA 92395-5821 Census Tract: 0100.26	3612
7	562906	ACTIVE	41	12/22/2015	11/30/2018	SILLAS, GEORGE	DOWN HOME GRILL	12120 RIDGECREST RD, STE 101 VICTORVILLE, CA 92395-5905 Census Tract: 0100.26	3612
8	566067	ACTIVE	41	04/28/2016	03/31/2019	FRESH UP INC	WINGSTOP	17100 BEAR VALLEY RD, STE F & G VICTORVILLE, CA 92395-8320 Census Tract: 0100.26	3612
9	580432	ACTIVE	41	05/26/2017	04/30/2019	LOS CAZADORES MEXICAN FOOD	LOS CASADORES MEXICAN FOOD	12209 HESPERIA RD, #N VICTORVILLE, CA 92395-5856 Census Tract: 0100.26	3612

ATTACHMENT 'D'

CASE: ADMN18-00127



PUBLIC COMMENTS

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SUBJECT: PUBLIC COMMENTS ON PLANNING MATTERS

In compliance with the Brown Act, it is necessary for the Zoning Administrator to make available time for members of the public to address the Zoning Administrator on items of interest that fall within the Zoning Administrator's subject matter jurisdiction.

SW:ko