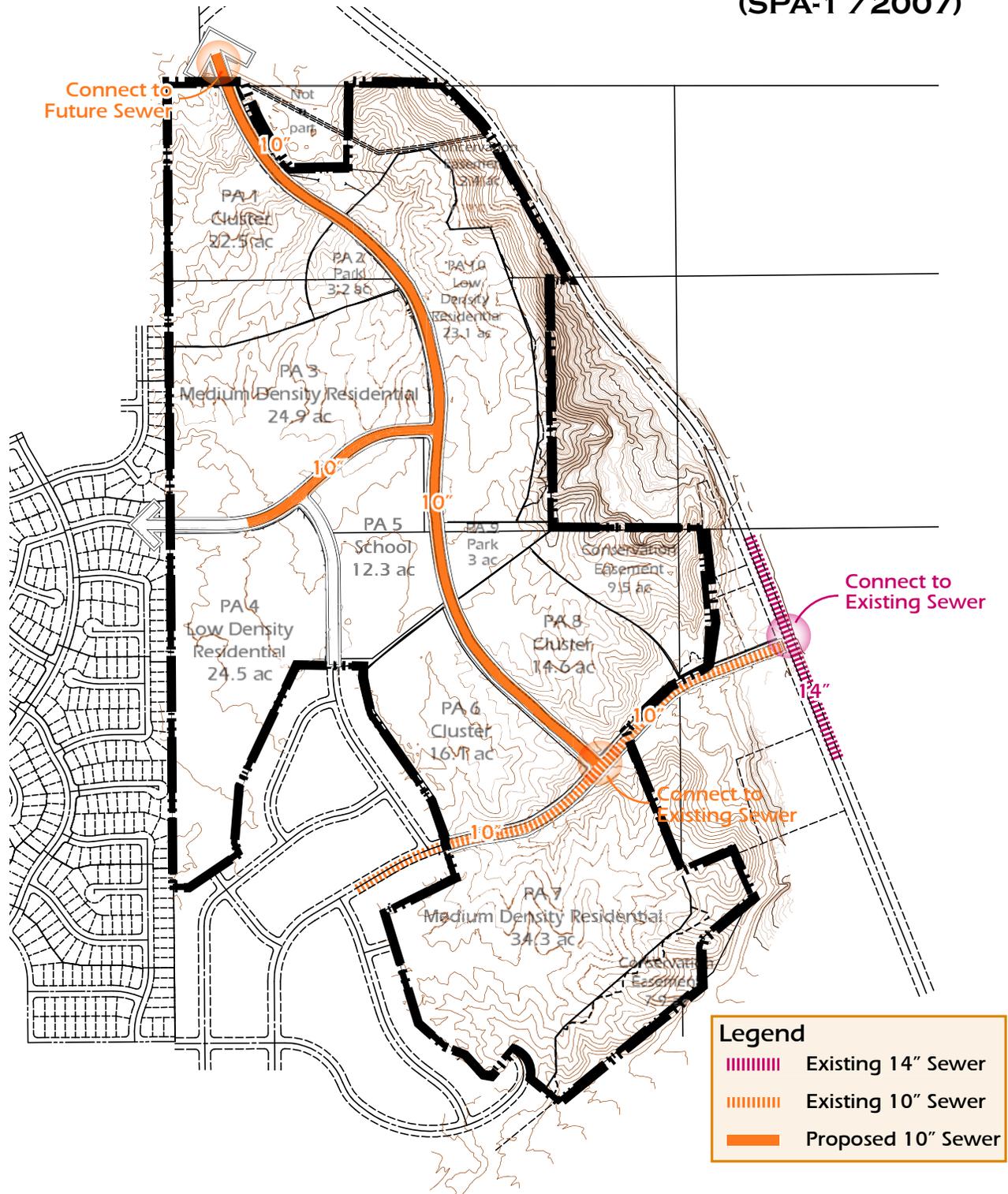


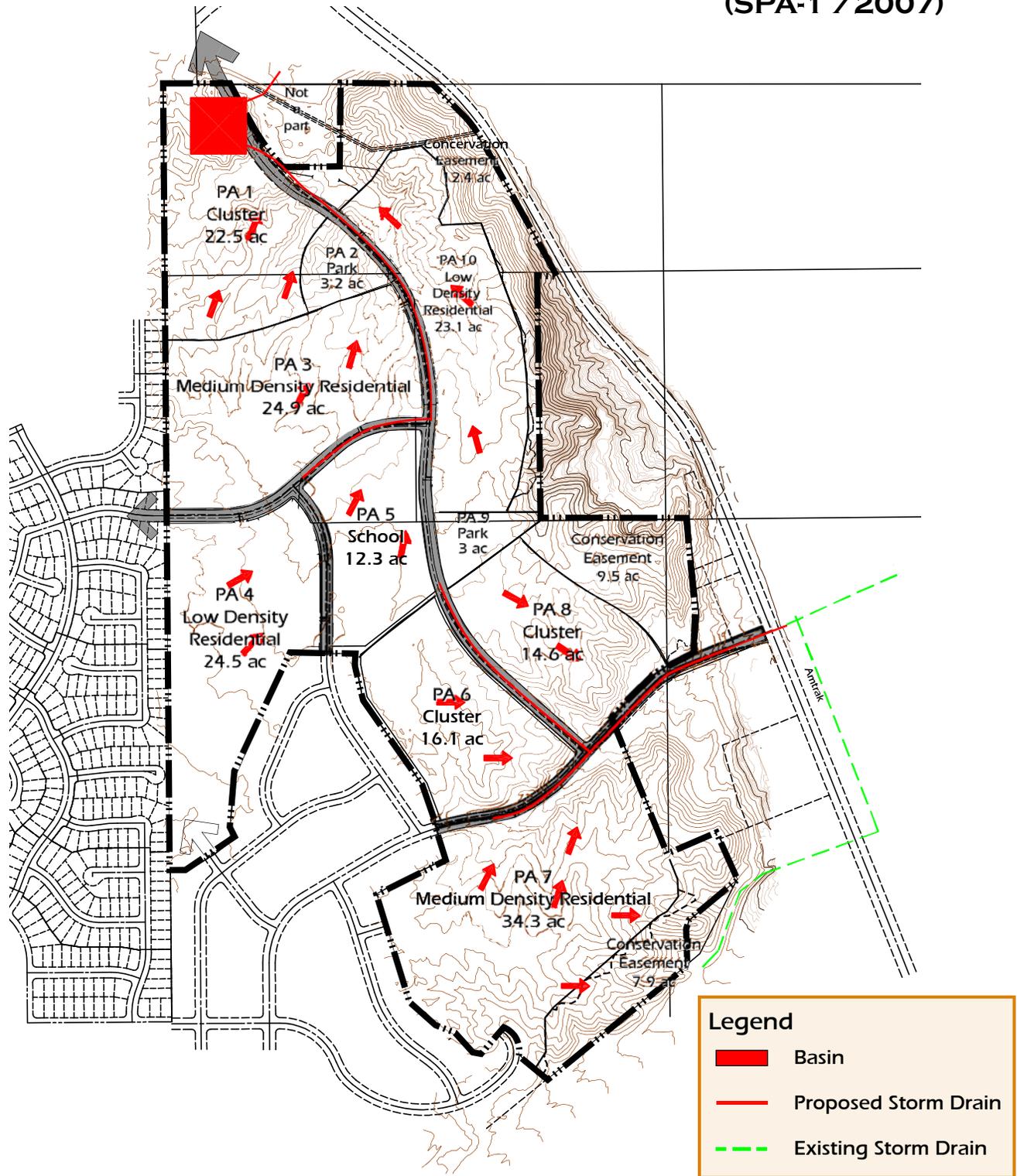
**SEWER PLAN**  
**FIGURE 4-5**  
**(SPA-1 / 2007)**



# DRAINAGE PLAN

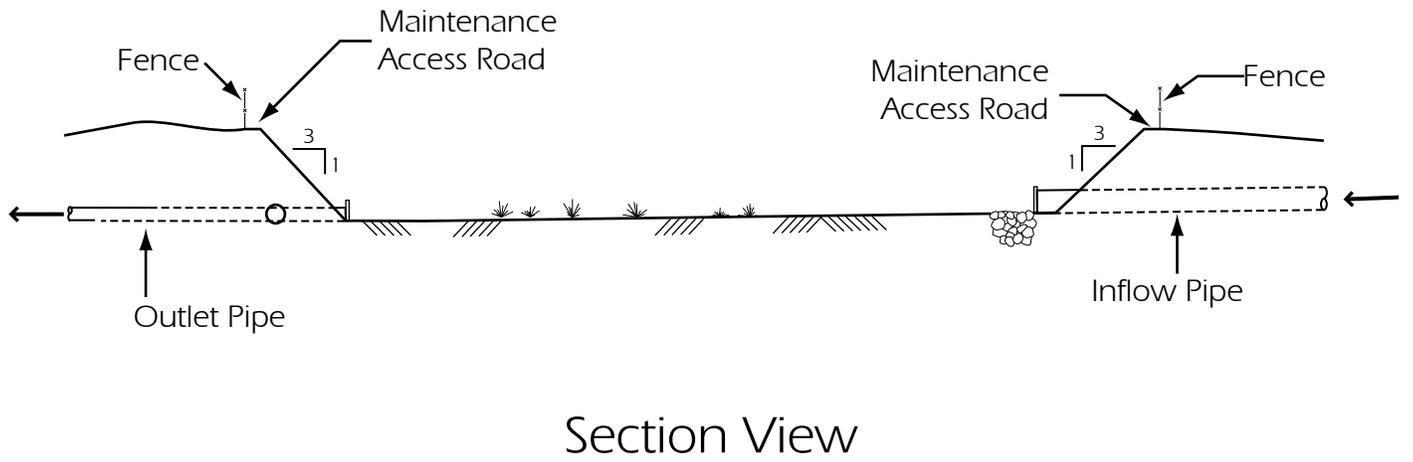
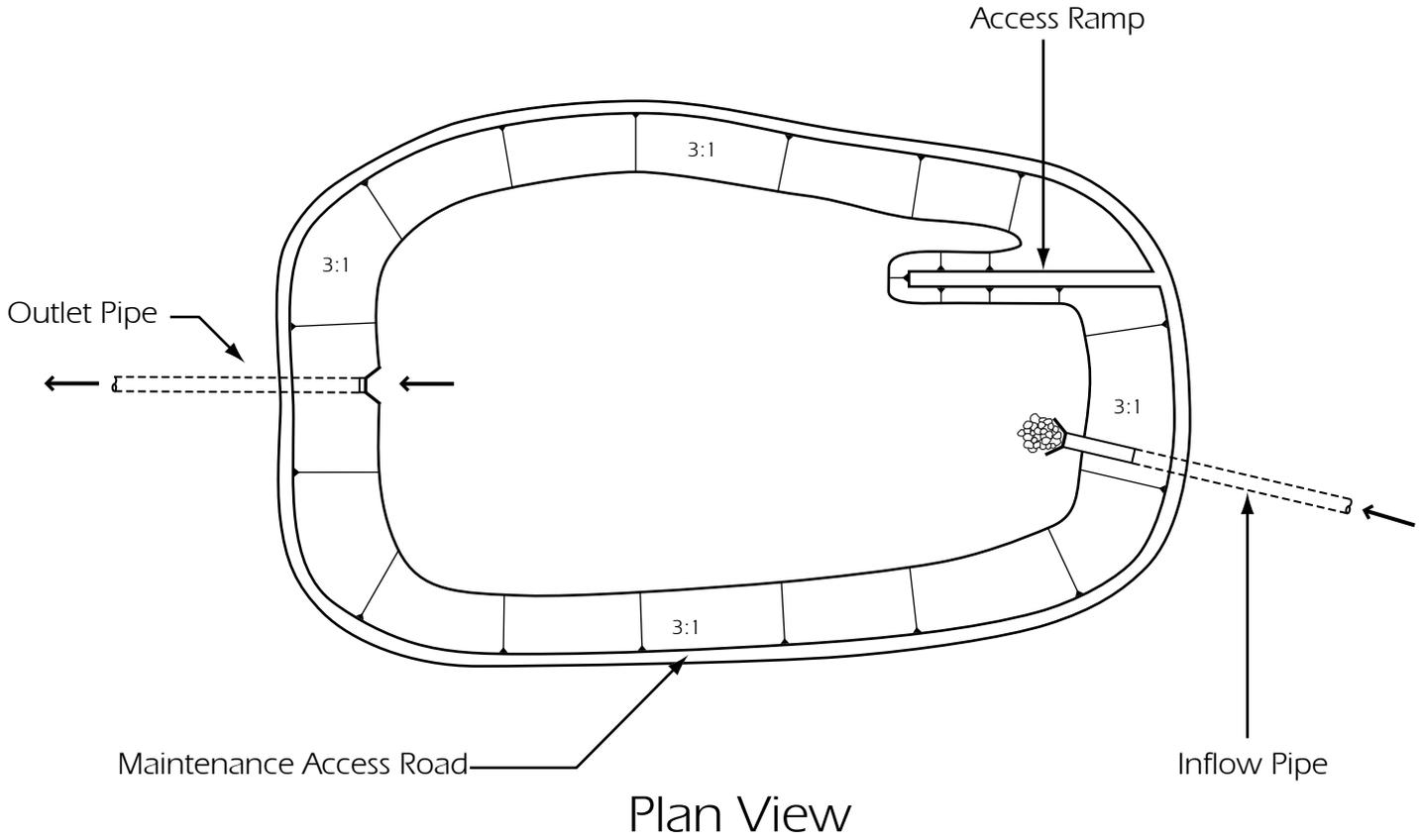
## FIGURE 4-6

(SPA-1 / 2007)



# CONCEPTUAL DETENTION BASIN

FIGURE 4-7



subsurface and channel system along Interstate 15 that intercepts runoff from the southerly limits of the project site. A major channel system is located on the east side of National Trail highway/Route 66. The proposed project will utilize these existing facilities.

The proposed project is not located within a flood hazard area identified by the Federal Emergency Management Agency (FEMA).

Pursuant to requirements of the State Water Resources Board, a state-wide construction permit will apply to all construction activities. The developer or builder shall obtain the appropriate NPDES construction permit prior to commencing grading activities. All development within the Specific Plan boundaries shall be subject to future requirements adopted by the City/County to implement the NPDES program.

#### **4.4 GRADING**

The grading concept is designed to minimize grading onsite and to accommodate drainage, utility and road circulation systems that comply with city standards. All grading shall be done in compliance with the City of Victorville's grading standards. Prior to any development within any Planning Area of the Specific Plan, an overall grading plan for the area shall be submitted and processed through the City of Victorville for approval. Grading procedures and Best Management Practices shall be employed, where feasible, to limit erosion and sedimentation as well as to limit source pollution onsite. Prior to grading or ground disturbing activities exceeding one acre (1 Ac), the required NPDES permit coverage shall be obtained.

See Figure 4-8 conceptual grading plan.

#### **4.5 UTILITIES**

Utilities to the site will be provided by the following companies:

Electric: Southern California Edison

Gas: Southwest Gas Corporation

Television: Charter Cable

Telephone: Verizon

All service lines, conduits, cabling and piping shall be located underground and within the public rights of way, private streets or in recorded easements.

#### **4.6 PUBLIC FACILITIES AND SERVICES**

The following information is a summary of the public services to be provided to the Mojave Vistas Specific Plan.

##### **Solid Waste and Recycling**

The project area's solid waste pick up and recycling is provided by Victorville Disposal. Curbside recycling will be required for the project to reduce the amount of solid waste.

##### **Police and Fire**

**Police:** The City of Victorville contracts with the County of San Bernardino Sheriff's Department for law enforcement services. The Sheriff's station is located approximately four to five (4 -5) miles south of the project site.

**Fire:** The City of Victorville Fire Department provides fire protection services to the project area. City of Victorville's ideal ratio is one (1) firefighter per one thousand (1,000) persons with a five (5) minute response time. The closest fire station to the project area is located at the County Fairgrounds three to four (3 - 4) miles from the project site across I-15. A fire station site approximately one half acre (1/2 Ac) in size will be

provided within the Mojave Vistas community, the exact location will be determined at a later date and incorporated into the appropriate Tentative Tract Map.

#### **Public Schools**

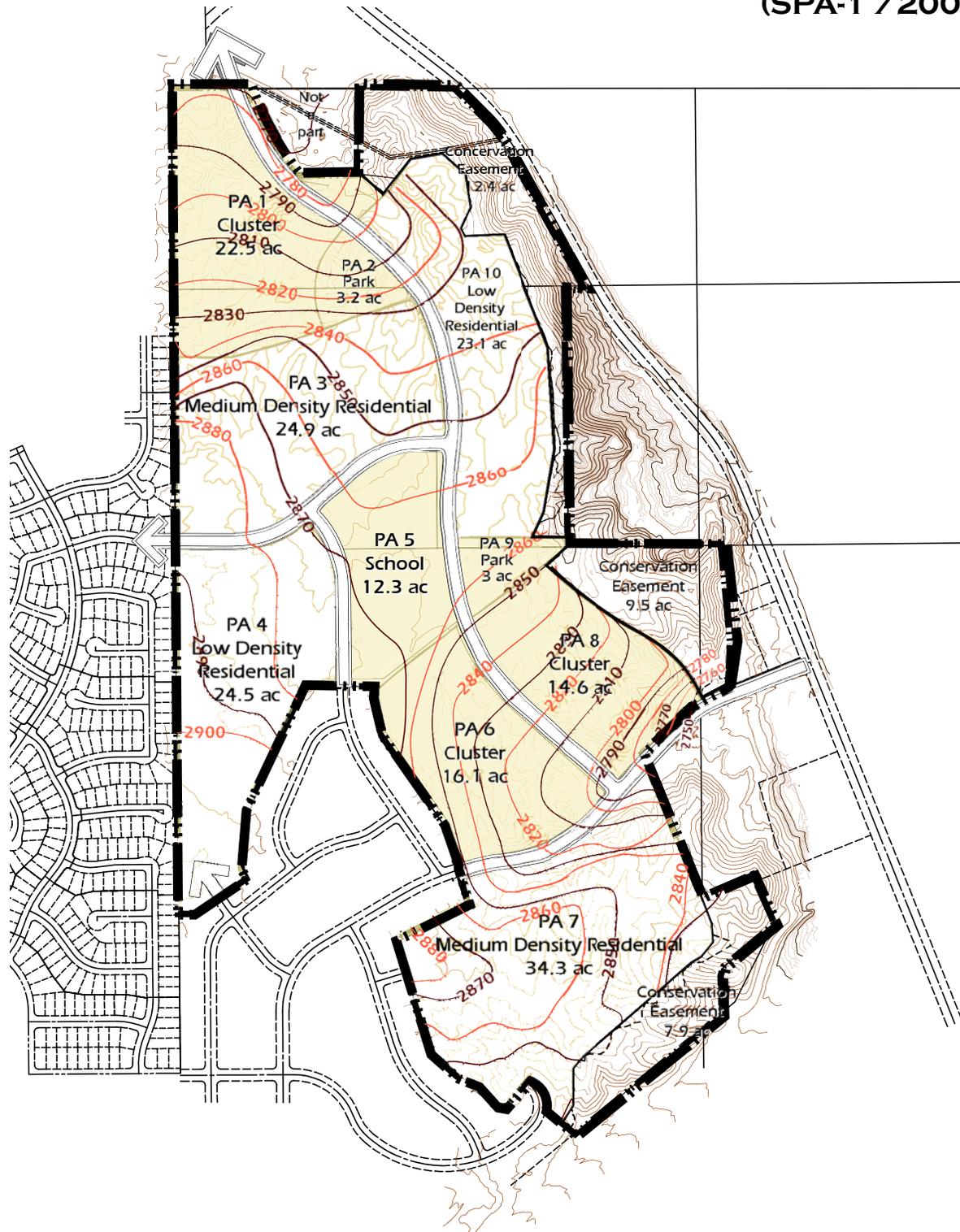
The project site is within the Victor Elementary School District (VESD) and the Victor Valley Union High School District (VVUHSD). The project is proposing to provide a twelve point three acre (12.3 Ac) elementary school site. (Planning Area 5) (*SPA-1/2007*)

#### **Paseos and Enhanced Parkway Connections**

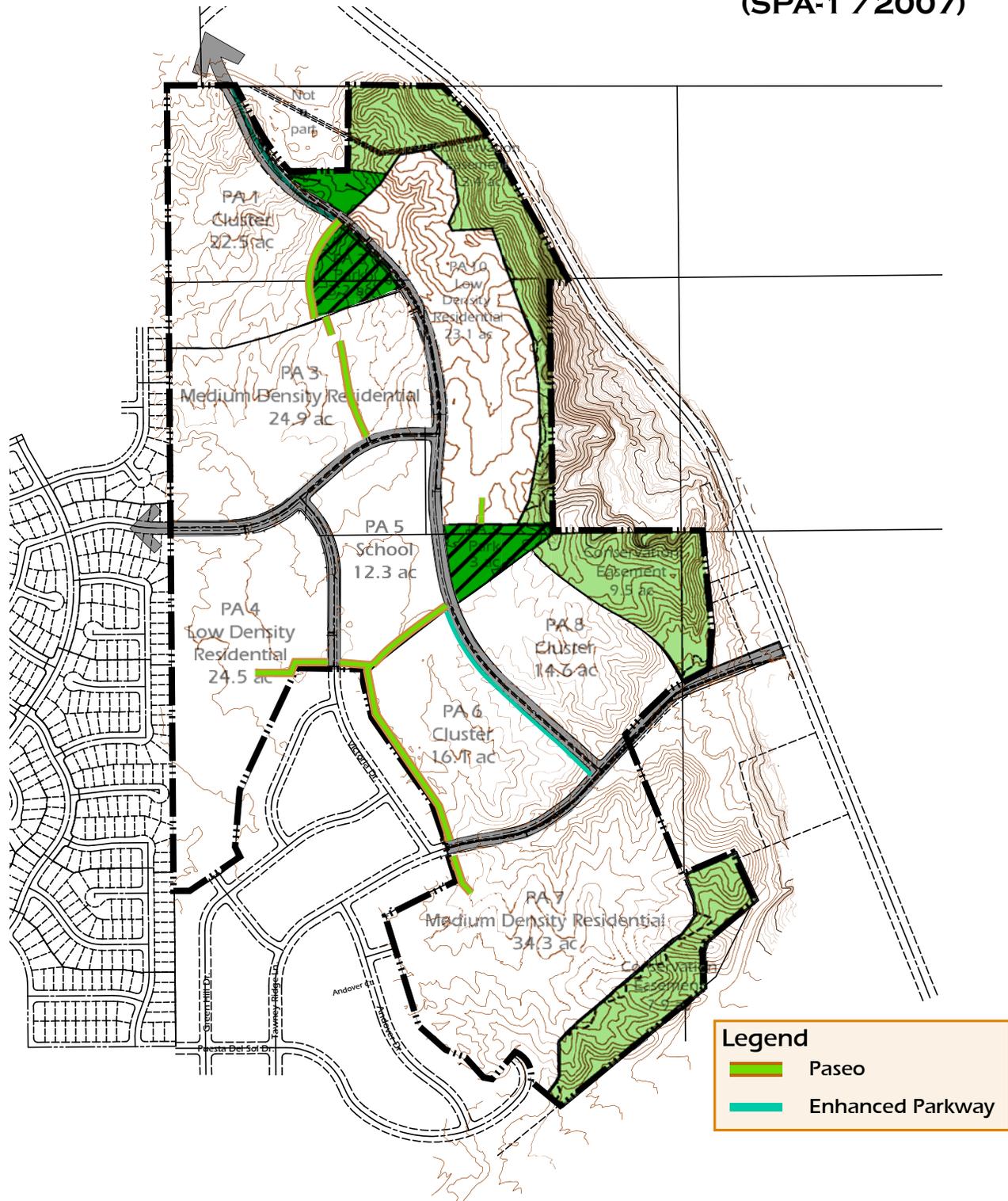
The Specific Plan incorporates paseos (with concrete paths) and enhanced parkways that provide for pedestrian access through the project. The paseos and enhanced parkways link the residential neighborhoods with the parks, school and open space areas. Sidewalks along streets will provide pedestrian connections where paseos and enhanced parkways are not feasible. See Figures 4-9 and 4-10.

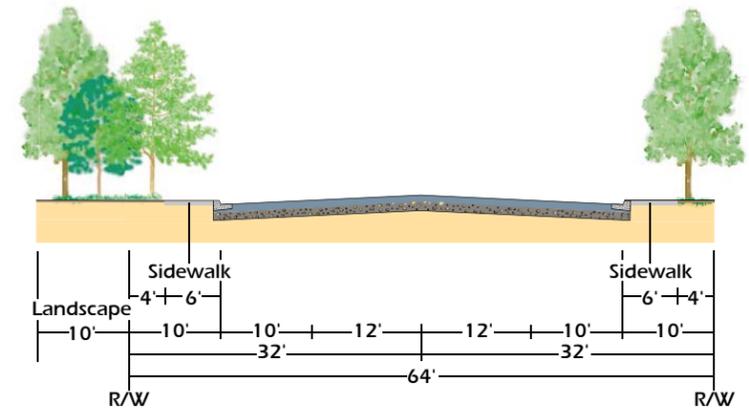
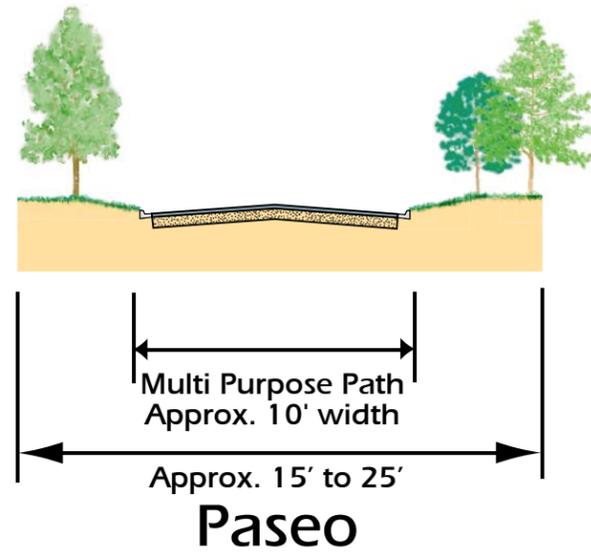
# CONCEPTUAL GRADING PLAN

FIGURE 4-8  
(SPA-1 / 2007)

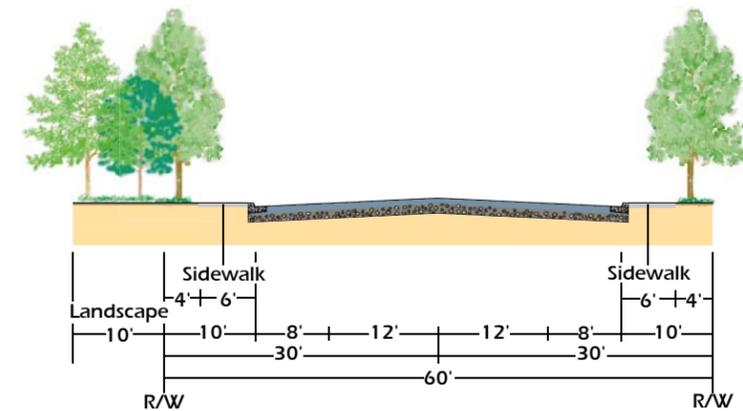
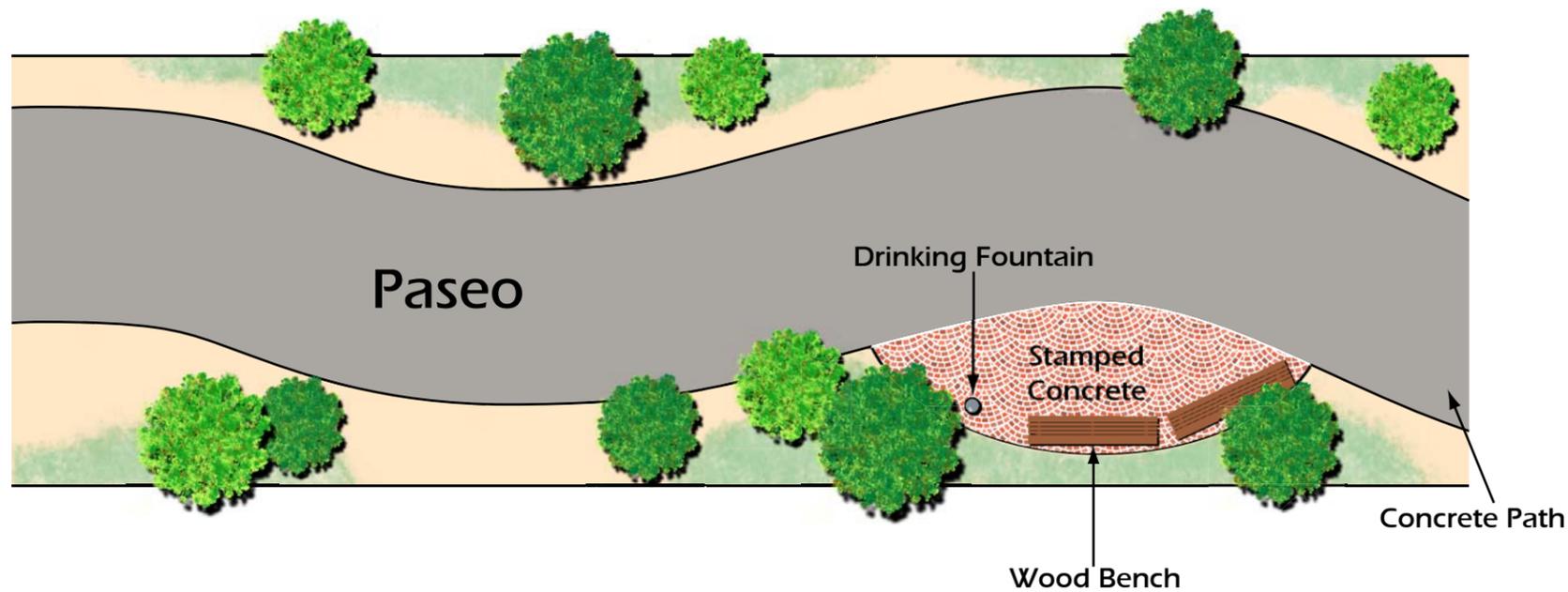


**PASEO/TRAIL SYSTEM**  
**FIGURE 4-9**  
**(SPA-1 / 2007)**





**Collector with Enhanced Parkway**



**Local with Enhanced Parkway**

## 5. Development Standards

### 5.1 PURPOSE AND OBJECTIVES

The Mojave Vistas Specific Plan conforms to the City of Victorville Specific Plan Zone (SP) requirements. The Zoning Ordinance of the City of Victorville describes the purpose and objectives as follows:

The purpose of this section is to establish land use and development standards to be used within the Mojave Vistas Specific Plan. The Specific Plan accommodates residential, park, school and open space land uses. It is the intent of these regulations to be specific enough to establish a long term level of standards for the project, and to accommodate the changing community needs, which allows for an innovative community design and neighborhood mix. The regulations within the Specific Plan shall replace the base zoning and the applicable development standards and take precedence over the City of Victorville Zoning Ordinance. Where the Specific Plan is silent regarding a standard within the Zoning Ordinance, the Zoning Ordinance standard shall apply.

*The objectives of the regulations are to:*

- a. *Promote and protect public health, safety and welfare*
- b. *Provide flexibility in site design, density and housing options*
- c. *Achieve interest, individuality and character among residential neighborhoods*
- d. *Ensure the timely provision of public services and facilities consistent with the demand for such services*
- e. *Appropriately direct new growth and development in the process of implementing the General Plan*

### 5.2 RESIDENTIAL

The single family residential (planning areas 1, 3, 4, 6, 7, 8, and 10), will be devoted to single family detached residential development for entry-level, move up, seniors and other housing markets.

#### 5.2.1

#### Planning Areas 4, & 10 Permitted Uses

The following uses are permitted in the R-1 6,000 Planning areas 4, & 10:

- a. Single family dwellings detached
- b. Child care not to exceed the child limits of a large family day care as specified in Title 22 of the California Administrative Code and licensed by the California Department of Social Services
- c. Flood control facilities
- d. Open space (conservation areas)
- e. Public and private neighborhood or community non-commercial recreation centers and facilities including, but not limited to swimming pools, tennis courts, clubhouse, and trails
- f. Recreation center, park playground, unlighted game court, swim club
- g. Uses and structures customarily incidental or necessary for residential uses including, but not limited to garages, public and private parks, trails, greenbelts and common areas.

#### Conditional Uses

The following uses are permitted in the R-1 6,000 residential area with a Conditional Use Permit:

- h. Churches
- i. Micro antennas, cellular phones and the like (mounted to light standards)
- j. Public facilities (i.e. fire / police stations
- k. Public utilities facilities

I. Schools private and public

## Development Standards

### 1. Lot Area

The minimum lot area shall be six thousand square feet (6,000 sf).

### 2. Lot Width

The minimum lot width shall be sixty feet (60'), sixty-five feet (65') for corner lots, thirty-five feet (35') on knuckles and cul-de-sacs, and forty-five feet (45') at building setback for curvilinear streets. The width of such lots shall be sixty feet (60') measured on a line tangent to the required yard.

### 3. Lot Depth

The minimum lot depth shall be ninety feet (90').

### 4. Front Yard Setback

The minimum front yard setback for living areas shall be fifteen feet (15') to living area.

### 5. Interior Side Yard Setback

- a. The minimum interior side yard setback shall be five feet (5') each side.
- b. Design shall incorporate privacy for all homeowners.
- c. Minimum distance between structures of ten feet (10').

### 6. Street Side Yard Setback

The minimum street side yard setback shall be ten feet (10').

### 7. Front or Side Entry Garage Setback

The minimum front or side entry garage setback with roll-up garage doors, shall be seventeen feet (17') to the garage.

### 8. Rear Yard Setback

The minimum rear yard setback shall be fifteen feet (15') measured from lot line. Encroachment of patios, trellises, balconies, etc into the rear yard setback should be no more

than nine feet (9').

### 9. Personal Recreation Area

There should be a minimum of fifteen hundred square feet (1,500 sf) of recreational living area per lot. Personal Recreation Area includes: front, side and rear yard areas that are a minimum of five feet (5') that are non-paved or concrete. Balconies, porches or roof decks may be considered usable open space when properly developed for work, play or outdoor living areas.

### 10. Maximum Lot Coverage

The maximum lot coverage shall be fifty percent (50%).

### 11. Height Limit

The maximum height limit shall be thirty-five feet (35') or two (2) stories measured from graded pad.

### 12. Density

The maximum density for Planning Areas 4, and 10 shall not exceed four and one half units per acre (4.5 DU/Ac).

### 13. NOTE

A buffer has been placed between Planning Area 10 and the adjacent heavy industrial land use utilized by Service Rock. The buffer will consist at a minimum of a conservation easement approximately one hundred feet (100') deep, and may include water detention /retention facilities, landscaping or natural vegetation. The exact width and type of buffer will be determined at the Tentative Map stage, the buffering shall be subject to Director of Development review and approval. Should elevational changes between the two (2) uses provide a natural separation/buffer as determined by the City additional buffering will not be necessary. Planning areas 1 and 10 are located approximately twenty to fifty feet (20—50') above the "Stathis" property.

## 5.2.2 Planning Areas 3 & 7 Permitted Uses

The following uses are permitted in the R-1 5,500 Planning areas 3 & 7:

- a. Single family dwellings detached
- b. Child care not to exceed the child limits of a large family day care as specified in Title 22 of the California Administrative Code and licensed by the California Department of Social Services
- c. Flood control facilities
- d. Public and private neighborhood or community non-commercial recreation centers and facilities including, but not limited to swimming pools, tennis courts, clubhouse, and trails
- e. Recreation center, park playground, unlighted game court, swim club
- f. Uses and structures customarily incidental or necessary for residential uses including, but not limited to garages, public and private parks, trails, greenbelts and common areas.

## Conditional Uses

The following uses are permitted in the R-1 5,500 residential area with a Conditional Use Permit:

- g. Churches
- h. Micro antennas, cellular phones and the like (mounted to light standards)
- i. Public facilities (i.e. fire / police stations)
- j. Public utilities facilities
- k. Schools private and public

## Development Standards

### 1. Lot Area

The minimum lot area shall be five thousand five hundred square feet (5,500 sf).

### 2. Lot Width

The minimum lot width shall be fifty feet (50'), sixty feet (60') for corner lots, thirty feet (30') on knuckles and cul-de-sacs, and forty feet (40') at

building setback for curvilinear streets. The width of such lots shall be fifty feet (50') measured on a line tangent to the required yard.

### 3. Lot Depth

The minimum lot depth shall be ninety feet (90').

### 4. Front Yard Setback

The minimum front yard setback for living areas shall be fifteen feet (15').

### 5. Interior Side Yard Setback

- a. The minimum interior side yard setback shall be five feet (5') each side.
- b. Design shall incorporate privacy for all homeowners.
- c. Minimum distance between structures of ten feet (10').

### 6. Street Side Yard Setback

The minimum street side yard setback shall be ten feet (10').

### 7. Front or Side Entry Garage Setback

The minimum front or side entry garage setback with roll-up garage doors, shall be seventeen feet (17') to the garage.

### 8. Rear Yard Setback

The minimum rear yard setback shall be fifteen feet (15') measured from lot line  
Encroachment of patios, trellises, balconies, etc into the rear yard setback should be no more than nine feet (9').

### 9. Personal Recreation Area

There should be a minimum of one thousand three hundred fifty square feet (1,350 sf) of recreational living area per lot. Personal Recreation Area includes: front, side and rear yard areas that are a minimum of five feet (5') that are non-paved or concrete. Balconies, porches or roof decks may be considered usable open space when properly developed for work, play or outdoor

living areas.

#### 10. Maximum Lot Coverage

The maximum lot coverage shall be fifty percent (50%).

#### 11. Height Limit

The maximum height limit shall be thirty-five feet (35') or two (2) stories measured from graded pad.

#### 12. Density

The maximum density shall not exceed five units per acre (5.0 DU/Ac).

#### 13. Slopes

Along PA 7 (Tawney Ridge Lane) 2:1 slopes may be required that will be landscaped and designed equivalent with or superior to the design guidelines contained herein. Please refer to exhibit 6-8. *(SPA-1/2007)*

### 5.2.3

#### Planning Areas 1, 6 & 8 Permitted Uses

The following uses are permitted in the Cluster Development in Planning areas 1, 6 & 8:

- a. Single family dwellings attached
- b. Single family dwellings detached
- c. Condominium developments
- d. Townhomes for-sale or for-rent
- e. Child care not to exceed the child limits of a large family day care as specified in Title 22 of the California Administrative Code and licensed by the California Department of Social Services
- f. Multiple dwellings
- g. Flood control facilities
- h. Open space (conservation areas)
- i. Public and private neighborhood or community non-commercial recreation centers and facilities including, but not limited to swimming pools, tennis courts, clubhouse, and trails
- j. Recreation center, park playground, unlighted game court, swim club
- k. Uses and structures customarily

incidental or necessary for residential uses including, but not limited to garages, public and private parks, trails, greenbelts and common areas.

#### Conditional Uses

The following uses are permitted in the R-1 5,500 residential area with a Conditional Use Permit:

- l. Churches
- m. Micro antennas, cellular phones and the like (mounted to light standards)
- n. Public facilities (i.e. fire / police stations)
- o. Public utilities facilities
- p. Schools private and public

#### Development Standards

##### 1. Lot Area

The minimum lot area shall be five thousand square feet (5,000 sf).

##### 2. Lot Width

The minimum lot width shall be forty-five feet (45'). Minimum lot width (in the event of horizontal property regimes, "lot" shall refer to the width of the structure and exclusive use area.)

##### 3. Lot Depth

None, except it shall be ninety feet (90') if adjacent to a major arterial or collector.

##### 4. Perimeter Building Setback

The minimum perimeter building setback; Street (front, rear or side): shall be fifteen feet (15') in addition to landscape setback; Property line (rear) fifteen feet (15') 1 story, twenty feet (20') 2 story; Property line (side) ten feet (10') 1 story, fifteen feet (15') 2 story.

##### 5. Interior Building Setback

- a. Front—ten feet (10')
- b. Rear—none
- c. Street side—ten feet (10')
- d. Sides—none

##### 6. Building Separation

Development Standards 5-4

None

### **7. Garage Setback**

The minimum garage setback with roll-up garage doors, shall be eighteen feet (18') for front loaded garages. Ten feet (10') from property line for side loaded garages.

### **8. Common Areas**

Common areas should be a minimum of five percent (5%) of the gross area.

### **9. Maximum Lot Coverage**

The maximum lot coverage shall be fifty percent (50%).

### **10. Height Limit**

The maximum height limit shall be thirty-five feet (35') or two (2) stories measured from graded pad.

### **11. Density**

The maximum density shall not exceed nine units per acre (9.0 DU/Ac).

### **12. Parking**

Two (2) spaces per unit ,plus one (1) non-exclusive space per unit to be located within one hundred fifty feet (150') of the cluster as measured from curb line at the intersection of the public street or private accessway and the shared drive. Minimum of three (3) total spaces per unit.

### **13. NOTE**

An enhanced parkway with an additional ten feet (10') of landscaping will be provided along Mojave Vistas Drive immediately adjacent to Planning Area 1. This enhanced parkway will provide a landscaped buffer to the residences in Planning Area 1 from the heavy industrial site run by Service Rock located to the east. The buffering for Planning Area 1 shall be subject to Director of Development review and approval.

**SINGLE FAMILY RESIDENTIAL  
DEVELOPMENT STANDARDS**

**TABLE 5-1**

Planning Area(s)	1, 6, & 8	3 & 7	4 & 10
Minimum Lot Area	5,000 sq.ft. Clusters	5,500 sq.ft.	6,000 sq.ft.
Lot Width	45' minimum	50' minimum, 60' corner lots, 30' knuckles and cul-de-sacs, 40' curvilinear streets*	60' minimum, 65' corner lots, 35' knuckles and cul-de-sacs, 45' curvilinear streets*
Lot Depth	None, 90' minimum if adjacent to major arterial or collector	90' minimum	90' minimum
Front Yard (Living Area) Setback	(perimeter building setback) Street or Rear Property line: 15' minimum: Side Property line: 10'	15' minimum	17' minimum
Interior Side Yard Setback	(Interior building setback) Front 10': Rear and side none	Total of 10' minimum 5' each side	Total of 10' minimum 5' each side
Street Side Yard Setback	10' Minimum	10' Minimum	10' Minimum
Front or Side Entry Garage Setback	18' front loaded, 10' side loaded	15' minimum, average 18' requires roll-up garage	18' minimum, average 20' requires roll-up garage
Rear Yard Setback Measured from lot line	15' Minimum	15' Minimum	15' Minimum
Recreational Living Area	Common area 5% of gross area	1,350 sf	1,500 sf
Maximum Lot Coverage	50%	50%	50%
Height Limit	35' max. from graded pad	35' max. from graded pad	35' max. from graded pad
Density	9.0 DU	5.0 DU	4.5 DU

\* minimum at building setback for curvilinear streets

## 5.3 SCHOOL Planning Area 5

The Elementary School within the Mojave Vistas project is centrally located to be within walking distance for students.

### Permitted Uses

The following uses are permitted in the school area:

- a. Schools, public or private
- b. Library
- c. Accessory uses as required for schools determined by the Victor Elementary School District.

### Conditional Uses

The following uses are permitted in the School area with a Conditional Use Permit:

- d. Community center, including interim sales and real estate information facilities
- e. Museums and nature study centers
- f. Retention / detention basins
- g. Pedestrian and bicycle trails
- h. Public and private parks, greenbelts and common areas
- i. Public facilities (i.e. fire / police stations)
- j. Utility transmission lines, and switching facilities

## Development Standards

### 1. Lot Area

The minimum lot area shall be twelve acres (12 Ac) for an elementary school.

### 2. Maximum Lot Coverage

The maximum lot coverage shall be fifty percent (50%).

### 3. Off- Street Parking

The parking shall be developed in accordance with the Victorville Municipal Code.

### 4. Lighting

All lighting, exterior and interior,

shall be designed and located to minimize power consumption and to minimize off-site light spillage.

## 5. Trash and Storage Areas

All storage, including cartons, containers and trash, shall be shielded from view within a building or area enclosed by a block wall not less than six feet (6') in height and must be covered to prevent animal intrusion.

## 5.4 PARKS OVERLAY

### Planning Areas 2 & 9

The parks within the Mojave Vistas project shall be dedicated to the Community Services Department (Parks) serving the local community. The active parks will enhance Mojave Vista's sense of community, by creating areas for residents to gather and enjoy the outdoors. Public park areas may include but are not limited to a minimum of two (2) or more of the following amenities:

Soccer fields  
Baseball fields  
Softball fields  
Open or "free play" area  
Paved multi-purpose courts (i.e. basketball and/or handball)  
Picnic areas and shade structures  
Play apparatus area (i.e. tot lots, climbing structures)

### Permitted Uses

The following uses are permitted in the parks Planning Areas 2 & 9:

- a. Nature study area
- b. Public and private parks, greenbelts and common areas
- c. Pedestrian, bicycle trails
- d. Rest stop
- e. Restroom facilities
- f. Public utilities facilities
- g. Flood control facilities
- h. Trails (Hiking, walking)
- i. Single Family Residential—R-1 5,500 overlay (The maximum

density for this site shall not exceed five units per acre (5 DU/Ac.) *This would only be allowed, In the event the school district does not require the school site, the school site would then be utilized for a City park and the two (2) active parks would revert to residential uses. The residential for these planning areas would be per the development standards of the R-1 5,500 residential in Planning areas 3, &7.(A Specific Plan Amendment would be required to allow additional units above the number of total units approved in the Mojave Vistas Specific Plan.)*

### Conditional Uses

The following uses are permitted in the Park areas with a Conditional Use Permit:

- j. Public facilities (i.e. fire / police stations)

### Development Standards

Subject to review by the City of Victorville at the time of submittal.

## 5.5 CONSERVATION EASEMENTS

The conservation easement areas within the Mojave Vistas project area shall be dedicated as open space. The open space may provide opportunities for hiking trails, benches, view points, water quality or flood control facilities and natural or revegetated open space. Access will be required to allow for emergency services and /or maintenance of the conservation areas. [\(SPA-1/2007\)](#)

Conservation areas will be maintained by an entity acceptable to the City of Victorville including but not limited to a Landscape Maintenance Assessment District (LMAD), Drainage Facilities Assessment District (DFAD), a

Mojave Vistas—Specific Plan

August 2006

Community Facilities District (CFD), private ownership or Home Owners Association (HOA). Prior to recordation of individual tract's a Homeowners' Association or similar entity per above will be established and recorded for the purpose of perpetual maintenance of the adjoining conservation easement areas, subject to City review and approval.

### Permitted Uses

The following uses are permitted in the Conservation Easement areas:

- a. Natural open space
- b. Graded/Revegetated open space
- c. Hiking trails
- d. Seating areas, benches
- e. Scenic view points
- f. Landscape buffers

[\(SPA-1/2007\)](#)

### Conditional Uses

The following uses are permitted in the Conservation Easement areas with a Conditional Use Permit:

- g. Public and private parks, greenbelts and common areas
- h. Detention/retention basins
- i. Flood control/water quality facilities

[\(SPA-1/2007\)](#)

*The photographs and illustrations included in the Mojave Vistas Design Guidelines are for illustrative purposes ONLY. The photographs and illustrations have been included to provide a conceptual visual guide for details that could be used. They include recommended design elements to be incorporated into the Mojave Vistas project. The actual architecture, landscape and details may vary from those shown.*

## 6. Design Guidelines

### 6.1 COMMUNITY DESIGN

☞ Landscape plans See Chapter 7 Implementation Plan.

#### 6.1.2 Concept

Mojave Vistas will be a contemporary southwest, master-planned residential community with distinct neighborhoods and scenic vistas, centered around an elementary school and connected via a pedestrian system of paseos and trails.

Lifestyle Features Include:  
Master-Planned Community

- a. Thematic Architectural Neighborhoods
- b. Master-Planned Landscape Design
- c. Walkable Community via sidewalks and trails
- d. Mojave Vistas Elementary School
- e. Neighborhood Parks—two (2)

#### 6.1.2 Theme

The Project will have a Contemporary Southwest theme based on four distinct styles:

- a. Prairie
- b. California Ranch
- c. Pueblo
- d. Modern

Mojave Vistas will have distinctive architectural styles, landscape design and entry statements to create a sense of place.

#### 6.1.3 Implementation

Prior to the issuance of Building Permits the Builder will prepare and submit detailed architectural plans for City review and approval by the Director of Development. The submittal will include but not be limited to the following:

- ☞ Floor plans, elevations
- ☞ Color and Materials board



# Mojave Vistas

*The photographs and illustrations included in the Mojave*

*Vistas Design*

*Guidelines are for illustrative purposes ONLY. The photographs and illustrations have been included to provide a conceptual visual guide for details that could be used. They include recommended design elements to be incorporated into the Mojave Vistas project. The actual architecture, landscape and details may vary from those shown.*

## 6.2 DEVELOPMENT DESIGN

### 6.2.1 Goals and Objectives

Development Design:

- a. Ensure that new homes are constructed in neighborhoods that are interesting and varied in appearance
- b. Utilize building materials and enhanced landscaping to promote a look of quality, both at the time of initial occupancy, for years to come
- c. Encourage efficient use of land while creating high quality neighborhoods that will maintain their economic value and long-term desirability as places to live
- d. Incorporate conveniently located neighborhood parks, trails and open space

### 6.2.2 Residential Design Standards

- a. Varied setbacks of the building footprint in a random fashion along the residential street to create interest in the streetscene.
- b. Architectural design features (e.g. windows, columns, offset roof lines, etc.) shall be used to both vertically and horizontally articulate elevations. These design features shall also be executed on the rear facades and sides of homes to promote continuity of design and attractiveness of views from back yards and exterior roadways.
- c. Houses and garages shall be arranged in a manner that creates a harmonious, varied appearance of building heights and setbacks. The visual impact of garages shall be reduced by the use of additional setback from the curb face where garage doors face the street, and the use of rear garages (including

detached garages), and/or porte cocheres is encouraged.



Enhanced Streetscape



Neighborhood park and open space



Articulation of building facades

# Mojave Vistas

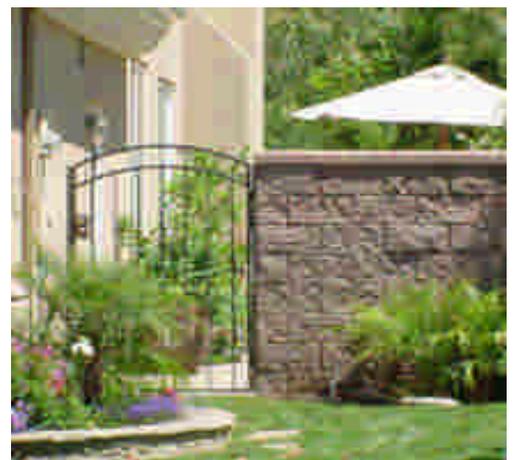
- d. Single story residences should be located on corner lots to improve views.
- e. Exterior elevations of the various plans shall include use of different exterior materials, e.g. stucco, stone, and siding to create diversity, consistent with the architectural style.
- f. Adjacent lots, structures with the same or similar colors of stucco and/or roofs are discouraged. A scheme of color values on all exterior elements, including roofing material, shall be distinct from one (1) house to the next, with deeper tones encouraged to promote variations.
- g. Front yard return walls shall be constructed of masonry (slump stone or material of similar appearance, maintenance and structural durability) and shall be a minimum of five feet (5') in height. Side yard gates are required on one (1) side of front yard and shall be constructed of wrought iron, or tubular steel or as otherwise approved by the Planning Department.
- h. Projects which will include forty (40) or more residential lots shall have a minimum of three (3) distinct floor plans, not including reversed plans. A minimum of one (1) floor plan shall be provided for each additional one hundred fifty (150) lots, or fraction thereof. Each plan shall be designed and constructed with a minimum of three (3) distinct elevations. Adding or deleting false shutters or similar types of minimal design changes shall not suffice as one (1) of the required distinct elevations.
- i. Landscaping shall be consistent with the provisions of Chapter 13.60 of the City of Victorville Municipal Code titled 'Water Conservation'.  
Residential garages shall be provided with roll-up (i.e. on tracks) garage doors (either sectional steel or one-piece steel.



Porte Cocheres



Side Entry Garage



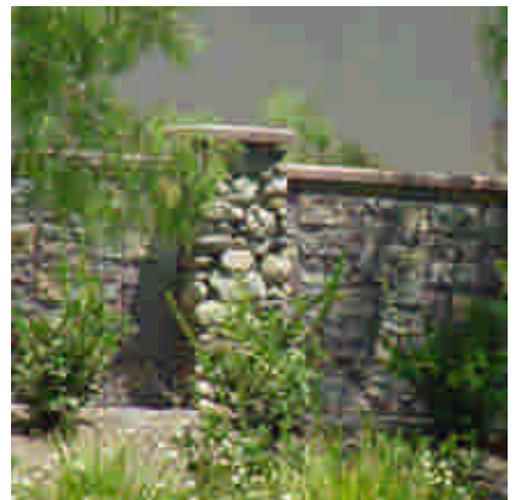
Return Wall with Gate

# Mojave Vistas

A minimum of twenty-five percent (25%) of the garage doors in any development shall provide windows.



Roll-up Garage Door



Textured Block with Stone Pilaster



Slump stone Wall

*The photographs and illustrations included in the Mojave Vistas Design Guidelines are for illustrative purposes ONLY. The photographs and illustrations have been included to provide a conceptual visual guide for details that could be used. They include recommended design elements to be incorporated into the Mojave Vistas project. The actual architecture, landscape and details may vary from those shown.*

## 6.3 ARCHITECTURE

### 6.3.1 Prairie Style

The prairie style started in Chicago in the early 20th century suburbs. The style was wide spread in the early 20th century suburbs through the country. Most Prairie style was built between 1905 and 1915, the style disappeared after World War I. These buildings are characterized by very low pitched usually hipped roofs extending far beyond the eaves. They can be one or two story structures with covered porches. The style emphasizes horizontal lines, arranged in an outward direction rather than upward. The Mojave Vistas Specific Plan interpretation of this style includes the following elements:

#### Form

- a. Asymmetrical, outward
- b. Horizontal lines

#### Roof

- c. Hipped
- d. Low pitch
- e. Extended overhangs

#### Doors & Windows

- f. Casement-type windows
- g. Strips of windows
- h. Small window panes
- i. Double-hung windows
- j. Window boxes
- k. Entry doors usually on side under porte-cochere
- l. Entry doors rarely front on street

#### Walls

- m. Stuccoed
- n. Brick banding on stucco
- o. Horizontal board-and-batten siding

#### Details

- p. Stickwork or brick banding outlining stuccoed walls
- q. Low massing
- r. Square porch supports
- s. Broad flat chimneys



Prairie Style



Low Pitched-Hip Roof  
Extended Overhangs



Strips of Windows  
Horizontal Board and Batten Siding

- t. Contrasting caps on porch and balcony railings
- u. Contrasting wood trim between stories

### 6.3.2 California Ranch Style

The Ranch style is also known as American Ranch, Western Ranch, or California Rambler. Although Ranch style homes are traditionally one-story, Raised Ranch (or Split Level) homes may have two levels of living space. Ranch style housing evolved from several other twentieth century ideas:

- ∞ Prairie School
- ∞ Bungalow
- ∞ Cottage
- ∞ Spanish

Traditional Ranch homes reflect a hard-working, simple life and are often considered an expression of the informality of Western culture.

The Mojave Vistas Specific Plan variation on this style includes the following elements:

#### Form

- a. Asymmetrical, multi-planed surfaces
- b. Squared bays
- c. Horizontal, rambling layout
- d. Long, narrow, and low to the ground
- e. Rectangular, L-shaped, or U-shaped design

#### Roof

- f. Low pitched gable roof
- g. Collar beams
- h. Cutout brackets
- i. Deep-set eaves

#### Doors and Windows

- j. Grouped windows
- k. Hipped-roof dormers
- l. Large windows: double-hung, sliding and picture
- m. Sliding glass doors leading out to a patio



Square Porch Supports



Ranch Style



Grouped Windows

**Walls**

- n. Clapboards
- o. Wood shingle siding

**Details**

- p. Battered porch piers
- q. Posts
- r. Decorative shutters
- s. Porch-roof supports

### 6.3.3 Pueblo Style

The Pueblo Style has been popular from 1910 to present day in the Southwest. This architectural style has a flat roof with parapeted wall above, the wall and roof parapet usually have irregular rounded edges. Typically the style includes projecting wooden roof beams (vigas) extending through walls, with stucco wall surfaces in earthtones. The style has the appearance of being hand-built. The Mojave Vistas Specific Plan variation on this style includes the following elements:

**Form**

- a. Squared

**Roof**

- b. Flat
- c. Parapet wall above
- d. Irregular rounded edges
- e. Projecting wooded beams (vigas)
- f. Stepped back roof line is often used

**Doors and Windows**

- g. Multi-pane
- h. Square or rectangular
- i. Lintels
- j. Grouped

**Walls**

- k. Irregular stuccoed textures
- l. Earth tones

**Details**

- m. Corners are blunted or rounded
- n. Rough-hewn vigas
- o. Porch supports hand-built appearance



Stepped Roof Line  
Rounded Corners



Irregular Stuccoed Textures

### 6.3.4 Modern Style

The Modern Style was popular from 1935 to Present. The Modern style is typically one story and spread out horizontally. The Modern style has flat or sometimes very slight single pitched roof lines with floor-to-ceiling glass in living areas. The Mojave Vistas Specific Plan variation on this style includes the following elements:

#### Form

- a. Single story
- b. horizontal

#### Roof

- c. Flat
- d. Very low single pitch
- e. Asymmetrical
- f. Wide eave overhangs

#### Doors and Windows

- g. Floor-to-ceiling windows in living areas
- h. Horizontal strips of windows
- i. Main Entry doorway generally from carport into kitchen or utility room
- j. Floor-to-ceiling glass sidelight next to door

#### Walls

- k. Stone / Brick (limited)
- l. Flush-sided vertical clapboarding
- m. Horizontal siding

#### Details

- n. Stone chimney
- o. Natural colors
- p. Open floor plans

### Implementation

Prior to the issuance of Building Permits the Builder will prepare and submit detailed architectural plans for City review and approval by the Director of Development. The submittal will include but not be limited to the following:

- ☞ Floor plans, elevations
- ☞ Color and Materials board



Modern Style



Floor to Ceiling windows



Brick walls/ chimney

# Mojave Vistas

*The photographs and illustrations included in the Mojave*

*Vistas Design*

*Guidelines are for illustrative purposes ONLY. The photographs and illustrations have been included to provide a conceptual visual guide for details that could be used. They include recommended design elements to be incorporated into the Mojave Vistas project. The actual architecture, landscape and details may vary from those shown.*

See Chapter 7 Implementation Plan.

## 6.4 LANDSCAPE ARCHITECTURE

### Master Plan

The Mojave Vistas contemporary southwest landscape design will capture the four (4) unique design themes: Prairie, California Ranch, Pueblo, and Modern, to create a distinct, master-planned community. The rich and sustainable landscaping will guide pedestrians and motorists alike along picturesque streets and paths on errands of work or play. Well situated parks encourage healthy activity with easy access.

### 6.4.1 ENTRY TREATMENTS

Through combinations of mass and scale, entry treatments derive a hierarchy that assists in intuitive geographical reference and navigation. The Mojave Vistas Specific Plan provides a hierarchy of entry treatments to reinforce this concept. By creating a consistent hierarchy of entries, visitors (and residents) may readily locate their destinations.

#### Primary Entry Treatment

The primary entry treatments will architecturally compliment the chosen themes with deliberate attention to color, texture and proportion. Natural earthen and plant colors and textures will be captured and highlighted to harmonize the beauty of the living materials as well as the built features creating a dynamic entry that celebrates the seasons on vertical and horizontal planes. (Textured, colored paving treatment at the intersection shall be integrated with the overall entry design. See Figure 6-2.) Project signage will convey a immediate recognition and sense of arrival. Specimen plantings

combined with hearty groundcovers, shrubs, and trees completes the picture.

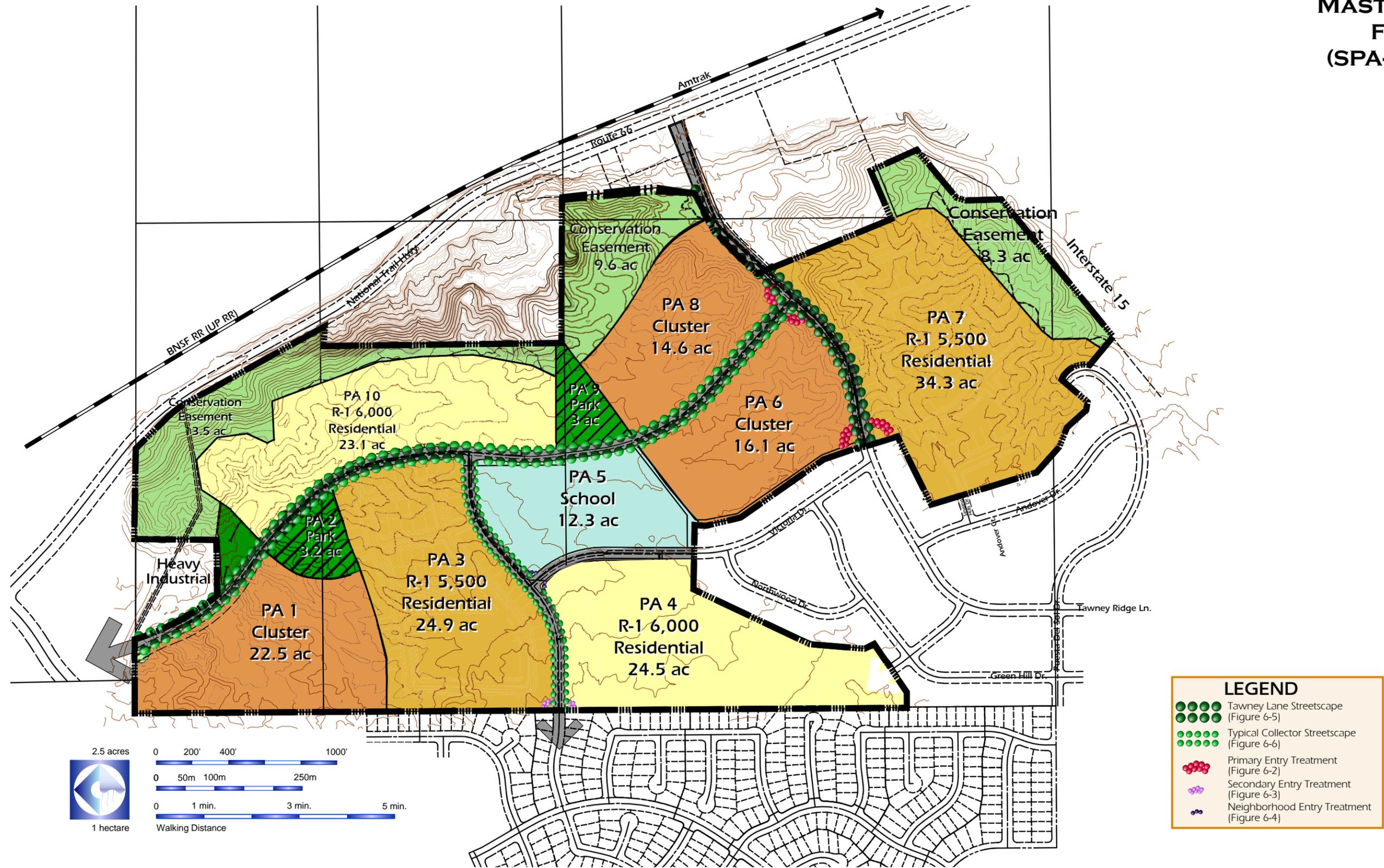


Landscaped Sidewalk



Landscaping and formally spaced trees

**CONCEPTUAL LANDSCAPE  
MASTER PLAN  
FIGURE 6-1  
(SPA-1 /2007)**



#### Secondary Entry Treatment

The Secondary Entry Treatment shares a kinship to the Primary Entry Treatment, but on a more intimate scale, greeting passers-by with a neighborly hello. The plant materials shall remain the same with a corresponding reduction in scale. See Figure 6-3.

#### Intersections and Roundabouts

Intersections within the tract for collector streets shall also have design treatments similar to Secondary Entries, and the intersection shall have a complementary paving treatment. Where an 'island' or 'roundabout' is proposed, the interior landscaping shall conform to safety requirements for lines of sight and turning radii. Decorative paving shall complement the design of the roundabout and assist in delineating pedestrian crossings.

#### Neighborhood Entry Treatment

Each neighborhood shall have an entry treatment that continues the Mojave Vistas sense of place. This shall be accomplished through compatible landscape treatments and signage that includes the Mojave Vistas name/logo at entrances to residential projects. See Figure 6-4.



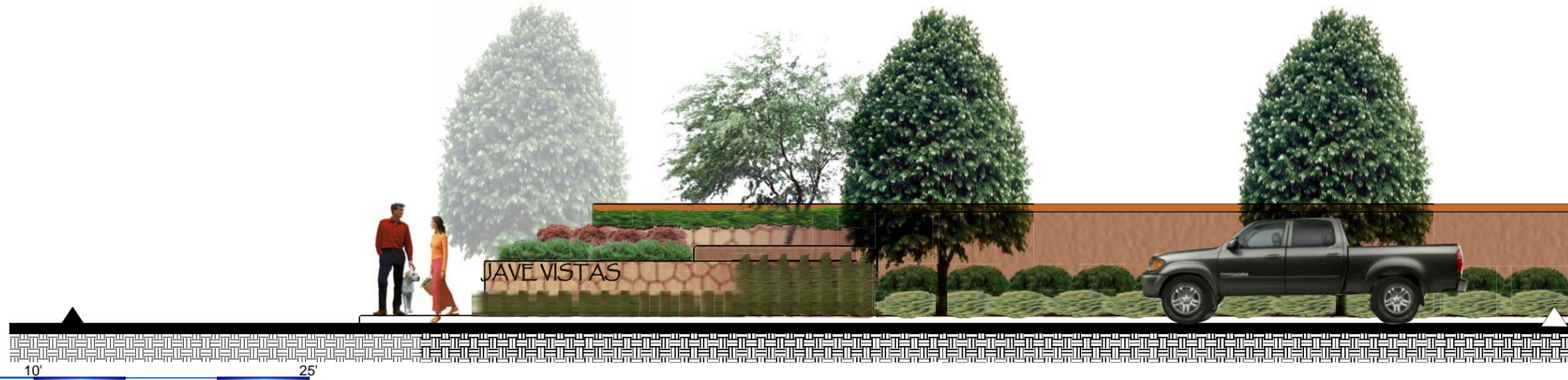
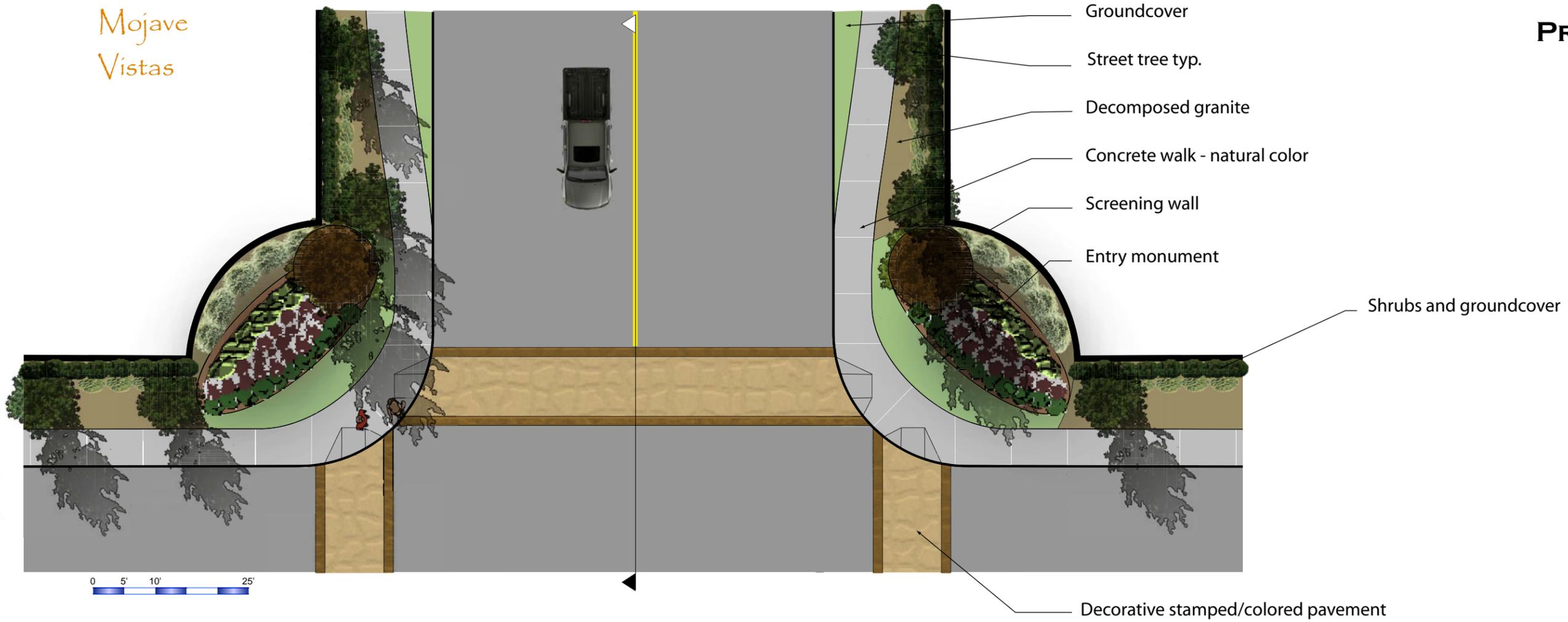
Entry Treatment- Mix of living materials and built



Roundabout with crosswalk

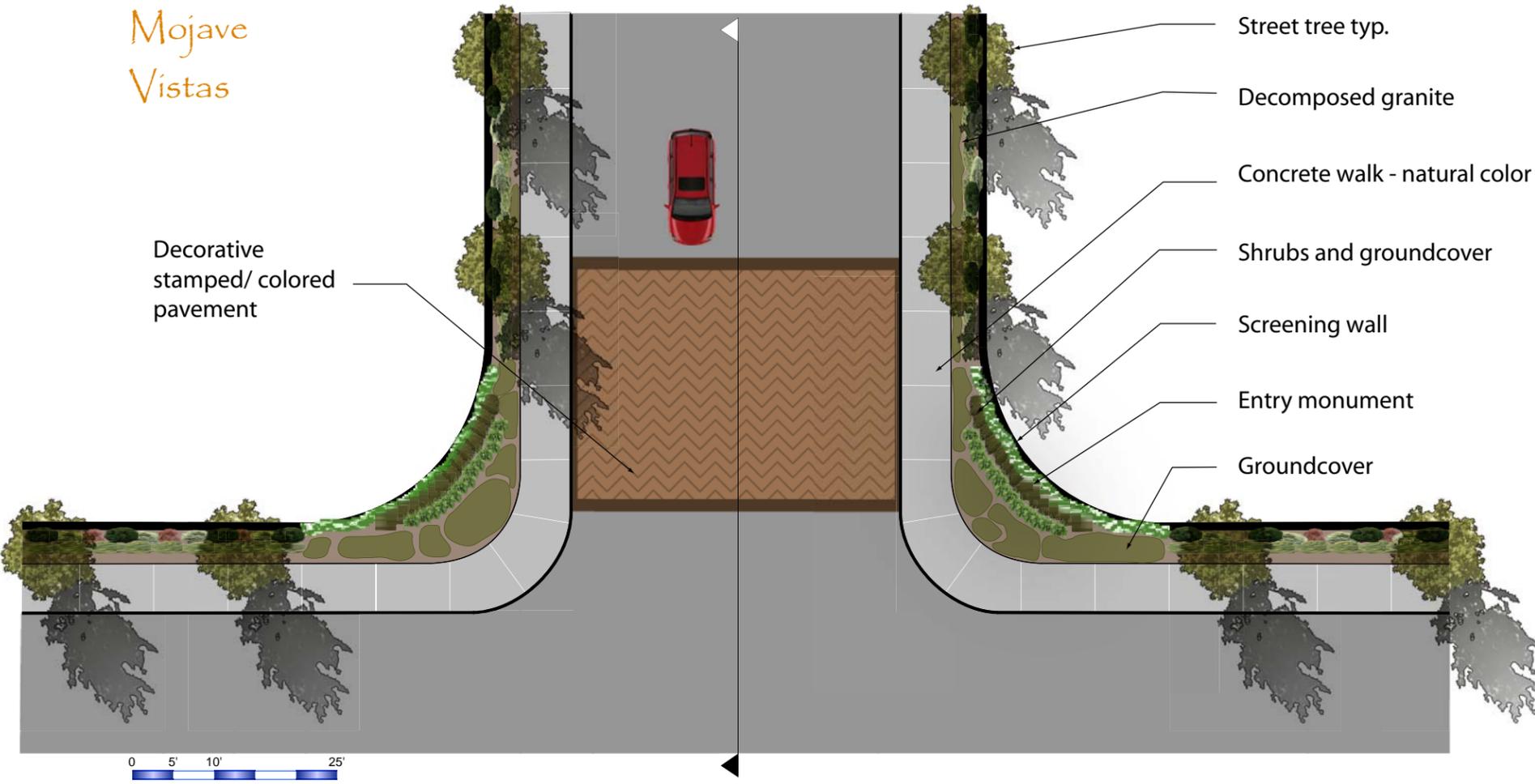
Mojave  
Vistas

**PRIMARY ENTRY  
TREATMENT  
FIGURE 6-2**



Mojave  
Vistas

SECONDARY ENTRY  
TREATMENT  
FIGURE 6-3



### 6.4.2 STREETSCAPES

As with the entry treatments, a hierarchy of consistent streetscapes promotes a quality sense of place.

#### Tawney Ridge Lane

Tawney Ridge Lane provides the major east/west corridor for the Mojave Vistas project. Tawney Ridge Lane is a sixty-four feet right of way (64' R/W), collector street with formally spaced columnar trees will provide the classic "boulevard" appearance appropriate for this City gateway. Tree selection shall be from the Mojave Vistas Specific Plan plant palette and coordinated with the City Public Works Department.

#### Internal Collector Streets

Internal collector streets with sixty-four feet right of way (64' R/W) shall have formally spaced trees and uniformly planted shrubs reflecting the peripheral street designs similar to the internal secondary streetscape. See Figure 6-5.

#### Local Neighborhood Streets

Internal streets with a right of way of sixty feet (60') or less shall have formal or informal tree spacing depending on the desired character of the individual neighborhood. See Figure 6-6.



Acacia baileyana



Magnolia grandiflora



Morus alba

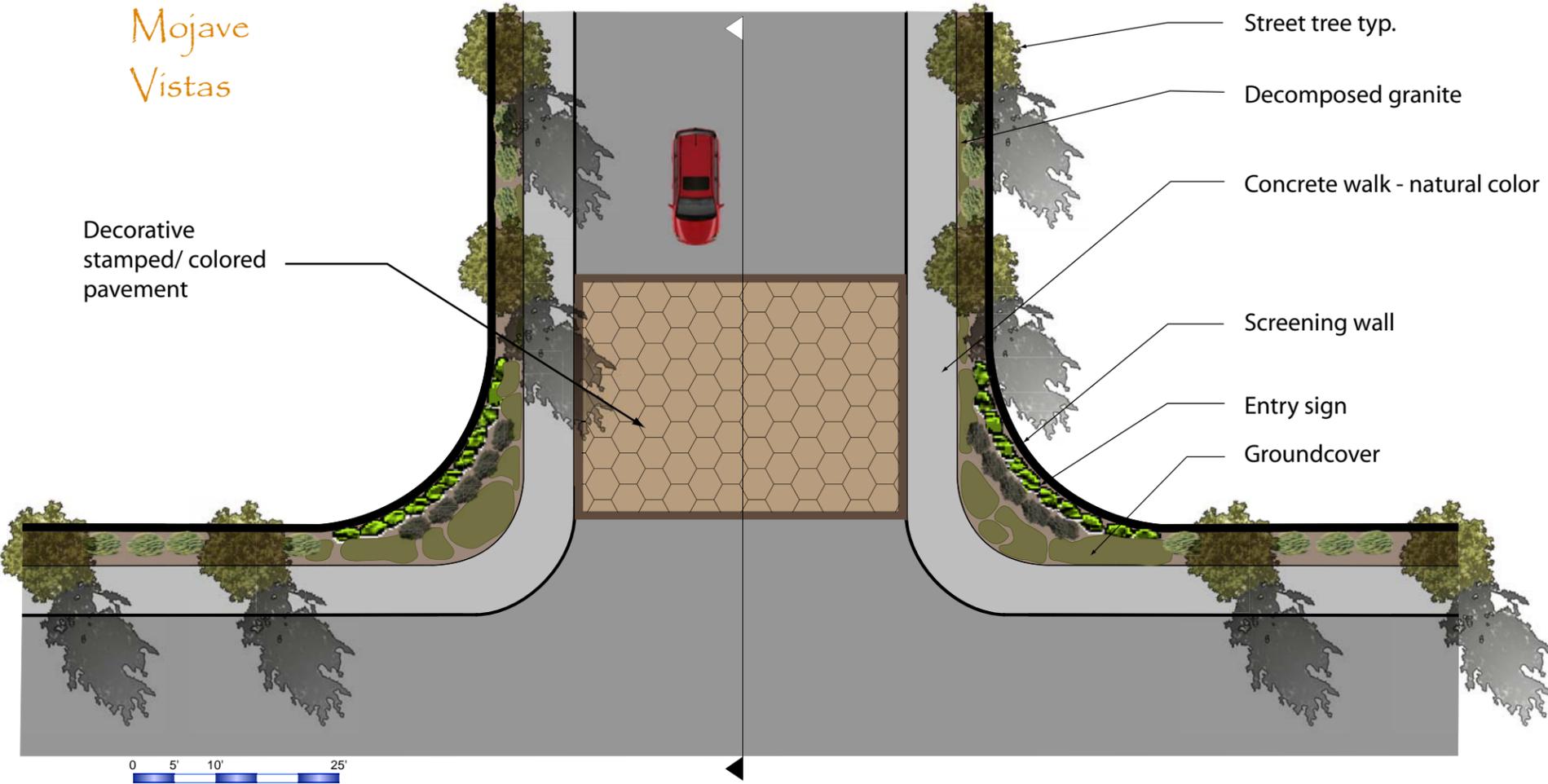
Mojave  
Vistas

NEIGHBORHOOD ENTRY  
TREATMENT  
FIGURE 6-4

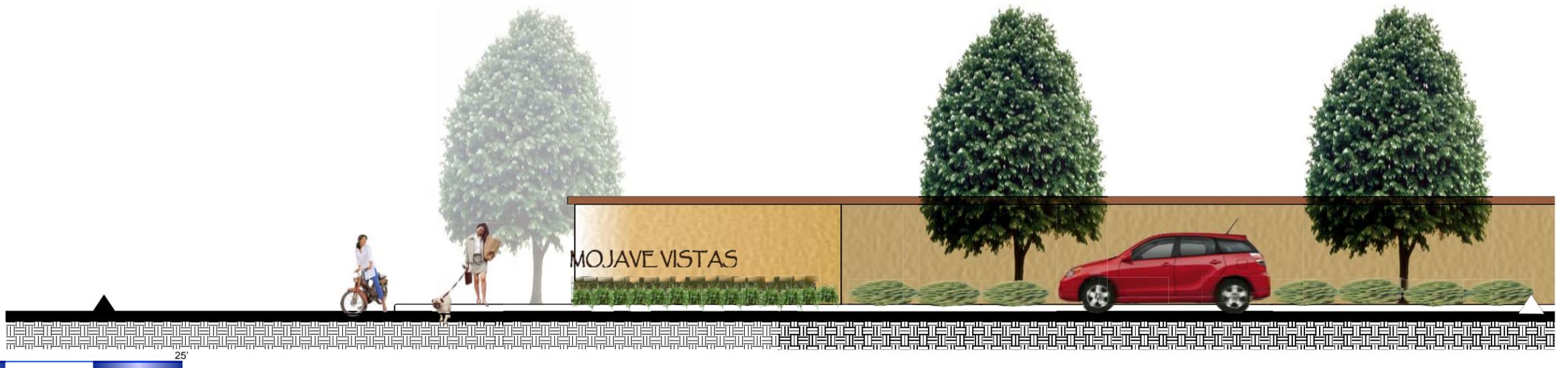
Decorative  
stamped/ colored  
pavement

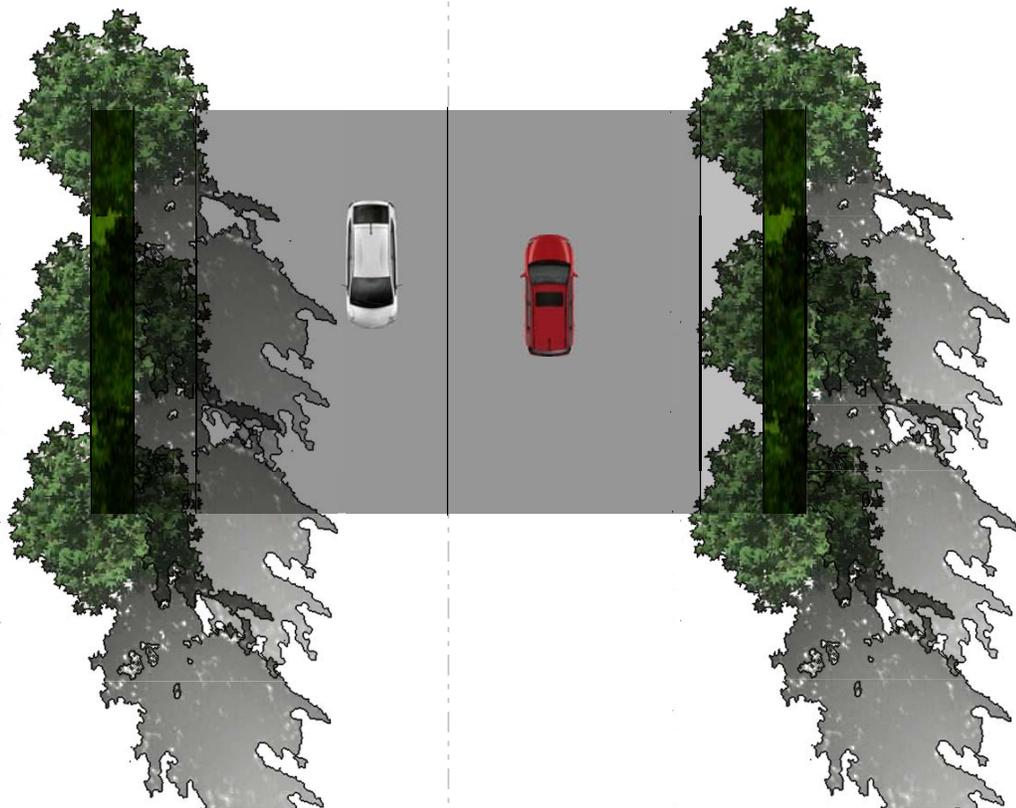
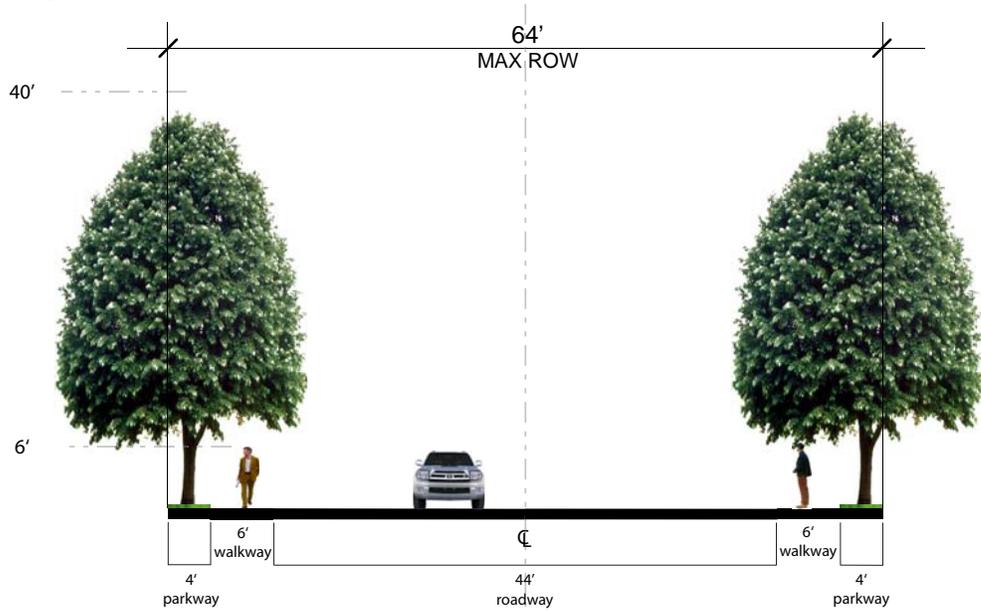
- Street tree typ.
- Decomposed granite
- Concrete walk - natural color
- Screening wall
- Entry sign
- Groundcover

0 5' 10' 25'



0 5' 10' 25'





### 6.4.3 PLANT PALETTE

The plant palette is per the City of Victorville's Ordinance 2114 'Water Conservation' approved October 2005. These are drought tolerant plants approved for use in the City of Victorville. This palette serves as a guide. Varieties may be substituted within each species, if they are more appropriate for this design and/or climate. Minor modifications to the plant palette may be made by the Director of Development [see Implementation Plan].

#### Trees

##### 6.4.3.1 Evergreen

- a. *Eucalyptus camaldulensis (rostrata)*, Red River
- b. *Eucalyptus microtheca*, Coolibah
- c. *Pinus eldarica*, Eldarica Pine, Afghan Pine, Russian Pine
- d. *Pinus halepensis*, Aleppo Pine
- e. *Pinus pinea*, Italian Stone Pine
- f. *Cedrus deodara*, Deodar Cedar
- g. *Calocedrus decurrens*, Incense Cedar
- h. *Heteromeles arbutifolia*, Toyon
- i. *Sophora secundiflora*, Texas Mountain Laurel
- j. *Arbutus unedo*, Strawberry Tree
- k. *Pithecellobium flexicaule*, Texas Ebony

##### 6.4.3.2 Deciduous

- a. *Albizia julibrissin*, Silk Tree, Mimosa
- b. *Chilopsis linearis*, Desert Willow, 'Burgundy'
- c. *Chitalpa tashkentensis*, Pink Dawn, Morning Cloud
- d. *Parkinsonia floridum*, Blue Palo Verde
- e. *Parkinsonia microphyllum*, Littleleaf Palo Verde
- f. *Parkinsonia aculeata*, Mexican Palo Verde
- g. *Fraxinus angustifolia*, 'Raywood' (Raywood Ash)
- h. *Fraxinus velutina*, Arizona Ash



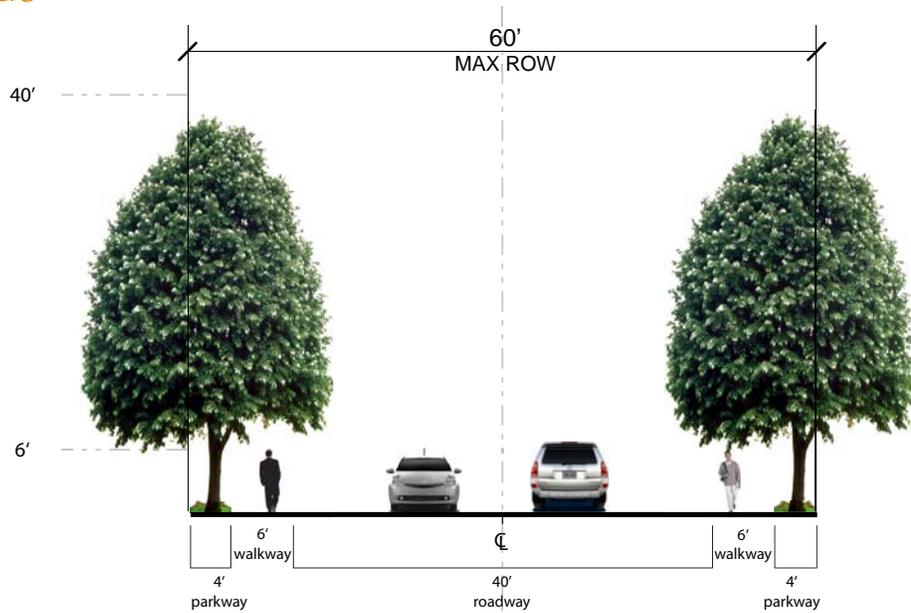
*Sophora japonica*



*Liriodendron tulipifera*



*Albizia julibrissin*



# Mojave Vistas

- i. *Fraxinus velutina*, Modesto' (Modesto Ash)
- j. *Prosopis chilensis*, Chilean Locust
- k. *Prosopis glandulosa*, Honey Mesquite
- l. *Prosopis pubescens*, Screw Bean Mesquite
- m. *Gleditsia triacanthos*, Honey Locust
- n. *Pistacia chinensis*, Chinese Pistache
- o. *Vitex agnus-castus*, Chaste Tree, Monk Tree

#### 6.4.3.3 Accents

- a. Agave Species, *A. Americana*, (Century Plant), *A. parryi huachucensis*, *A. victoriae-reginae*
- b. *Dasyliirion Wheeleri*, Desert Spoon
- c. *Nolina microcarpa*, Bear Grass
- d. *Hesperaloe parviflora*, Red Yucca
- e. *Kniphofia uvaria*, Red-Hot Poker, Torch Lily
- f. Species, *Y. aloifolia*, Spanish Bayonet, *Y. baccata*, Banana Yucca, Datil, *Y. brevifolia*, Joshua Tree, *Y. elata*, Soaptree Yucca

#### 6.4.3.4 Palms

- a. *Chamaerops humilis*, Mediterranean Fan Palm
- b. *Trachycarpus fortunei*, Windmill Palm
- c. *Washingtonia filifera*, California Fan Palm

#### 6.4.3.5 Vines

- a. *Campis radicans*, Trumpet Vine
- b. *Gelsemium sempervirens*, Carolina Jessamine
- c. *Ipomoea alba*, Moonflower
- d. *Lonicera species*, Honeysuckle
- e. *Passiflora alatocaerulea*, Passion Vine
- f. *Trachelospermum jasminoides*, Star Jasmine
- g. *Wisteria species*, Wisteria



Rhamphiolepis



Gelsemium sempervirens



Wisteria species

Grasses

6.4.3.6 Ornamental

- a. *Muhlenbergia rigens*, Deer Grass
- b. *Muhlenbergia capillaris*, Regal Mist
- c. *Muhlenbergia lindheimeri*, Autumn Glow
- d. *Festuca ovina glauca*, Blue Fescue
- e. *Bouteloua gracilis*, Blue Grama
- f. *Nassella tenuissima* (*Stipa tenuissima*), Mexican Feather Grass

6.4.3.7 Turf

- a. *Buchloe dactyloides*, Buffalo Grass (Legacy)
- b. *Buchloe dactyloides*, Buffalo Grass (UC Verde)

6.4.3.8 Warm Season Grasses (winter dormant)

- a. *Zoysia*, Zoysia Grass
- b. *Stenotaphrum secundatum*, St. Augustine Grass

6.4.3.9 Cool Season Grasses (year round)

- a. *Festuca arundinacea*, Tall Fescue
- b. *Lolium perenne*, Perennial Ryegrass
- c. *Poa pratensis*, Kentucky Bluegrass

6.4.3.10 Ground covers

- a. *Oenothera berlandieri*, Mexican Evening Primrose
- b. *Santolina chamaecyparissus*, Lavender Cotton
- c. *Cerastium tomentosum*, Snow-in-Summer
- d. *Gazania*, Most varieties
- e. *Sedum*, Most varieties
- f. *Thymus*, Most varieties
- g. *Verbena peruviana*, *V. pulchella*
- h. *Dalea greggii*, Trailing Indigo Bush
- i. *Rosmarinus officinalis* 'Prostratus'
- j. *Phlox*, Most varieties

6.4.3.11 Perennial Flowers

- a. *Coreopsis*, Most varieties
- b. *Penstemon ambiguus*, *P. barbatus*, *P. centranthifolius*, *P. eatonii*, *P. palmeri*, *P. parryi*, *P. pinifolius*, *P. pseudospectabilis*,

*P. strictus*

- c. *Cosmos*, Most varieties
- d. *Convolvulus cneorum*, Bush Morning Glory
- e. *Perovskia*, Russian Sage or Blue Spire
- f. *Berlandiera lyrata*, Chocolate Flower
- g. *Gaura lindheimeri*, 'Whirling Butterflies', 'Siskiyou Pink'
- h. *Hemerocallis*, Daylily most varieties
- i. *Rosmarinus officinalis*, most prostrate and upright varieties
- j. *Verbena gooddingii*, *V. peruviana*, *V. rigida*

3.4.3.12 Shrubs

- a. *Salvia greggii*, Red Sage, Autumn Sage
- b. *Salvia clevelandii*, Blue Sage, Cleveland Sage
- c. *Salvia chamaedryoides*, Germander Sage
- d. *Fallugia paradoxa*, Apache Plume
- e. *Leucophyllum frutescens*, Texas Ranger species, several varieties
- f. *Leucophyllum laevigatum*, Chihuahuan Sage
- g. *Baccharis 'Centennial'*, Coyote Bush
- h. *Baccharis pilularis*, Dwarf Coyote Bush
- i. *Artemisia*, 'Powis Castle'
- j. *Cotoneaster horizontalis*, Rock Contoneaster
- k. *Photinia fraseri*
- l. *Gravillea 'Noellii'*

## Implementation

Prior to the issuance of Building Permits the Builder will prepare and submit detailed architectural plans for City review and approval by the Director of Development. The submittal will include but not be limited to the following:

- ☞ Floor plans, elevations
- ☞ Color and Materials board
- ☞ Landscape plans

See Chapter 7 Implementation Plan.

#### 6.4.4 WALLS AND FENCES

The walls and fences should be used to reinforce the project theme, reflecting the characteristics of the project monumentation in terms of configuration and materials. Where such elements are viewed from public streets or view corridors, they shall appear consistent in style, material, and height, therefore serving as a unifying element throughout the Mojave Vistas community.

##### 6.4.4.1 General Guidelines:

- a. View fencing should be provided along view corridors.
- b. Long stretches of unrelieved walls and fences should be broken up with varied setbacks and recesses for plantings.
- c. Solid walls and fences should be used when they will not detract from accessibility to open space.
- d. Walls should end in a pilaster. The design of the pilaster should reflect the shape of the supports used in the monumentation. Specific use of materials may vary from those used in the monumentation; however emphasis is on use of the same natural (in appearance) materials of rock, stone, masonry or as otherwise approved by the Director of Development in a different configuration.
- e. All interior lot lines will require walls with materials approved by the Director of Development. The walls shall have a masonry or natural stone, rock cap.
- f. All community and perimeter walls and fencing are to be provided by the individual project builders at the time of development.
- g. If retaining walls are necessary they should be terraced and not to exceed a six feet (6') height limit per terrace and decorative if visible from a street.
- h. When changes in pad elevations occur, the wall or fence should be stepped in equal vertical

intervals. No step should exceed eighteen inches (18") in height.

- i. Gates visible to public view, (i.e. pedestrian gates), may be vinyl, wrought iron, tubular steel or similar materials.
- j. All metal or iron fencing material should be powder coated.
- k. Except as otherwise provided herein, a solid decorative type masonry wall, landscaped earthen berm or any combination thereof, totaling not less than six feet (6') in height shall be provided along and immediately adjacent to the site boundary line of any single family development abutting any Major arterial. The height of any such wall and/or berm shall be measured from the highest finished grade level of the building pad of the dwelling units located nearest any such abutting boundary.

##### 6.4.4.2 Solid Walls:

These walls will provide community identity, security, privacy and as needed sound buffering for residential units.

- a. Wall materials should consist of masonry construction finished with fieldstone, stucco, masonry, stone, or rock. Pilasters should incorporate the use of special accent materials such as rock and natural stone or as otherwise approved by the Director of Development.
- b. The horizontal mass of the walls shall be interrupted by pilasters, landscape plantings, and vines.
- c. All block walls shall be capped with a masonry or natural stone cap.

##### 6.4.4.3 View Fences:

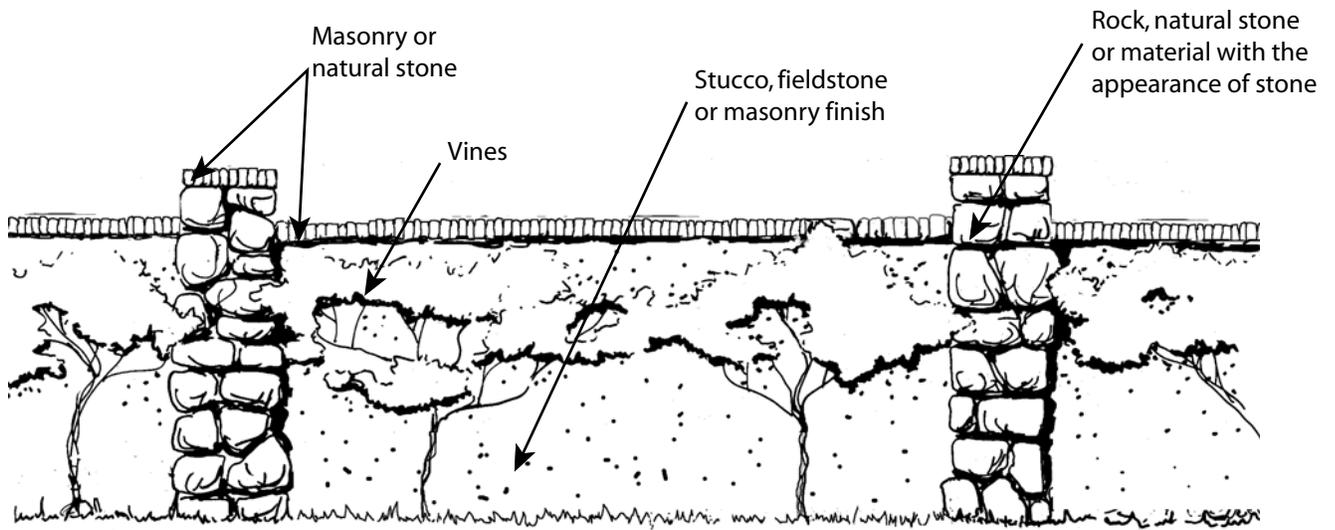
View fences are intended to allow views into open space/recreation areas and other uses that do not require privacy. View fences should be used to increase a sense of openness in rear yards adjacent to open space and recreational amenities.

- a. View fence panels should be interrupted by pilasters of natural stone, rock, masonry or stucco with decorative accent material.
- b. A natural stone, stucco, rock, masonry, or similar materials shall be used for the lower two feet (2'), or as otherwise approved by the Director of Development.
- c. View fences should be powder coated and designed to withstand 100 mph winds.

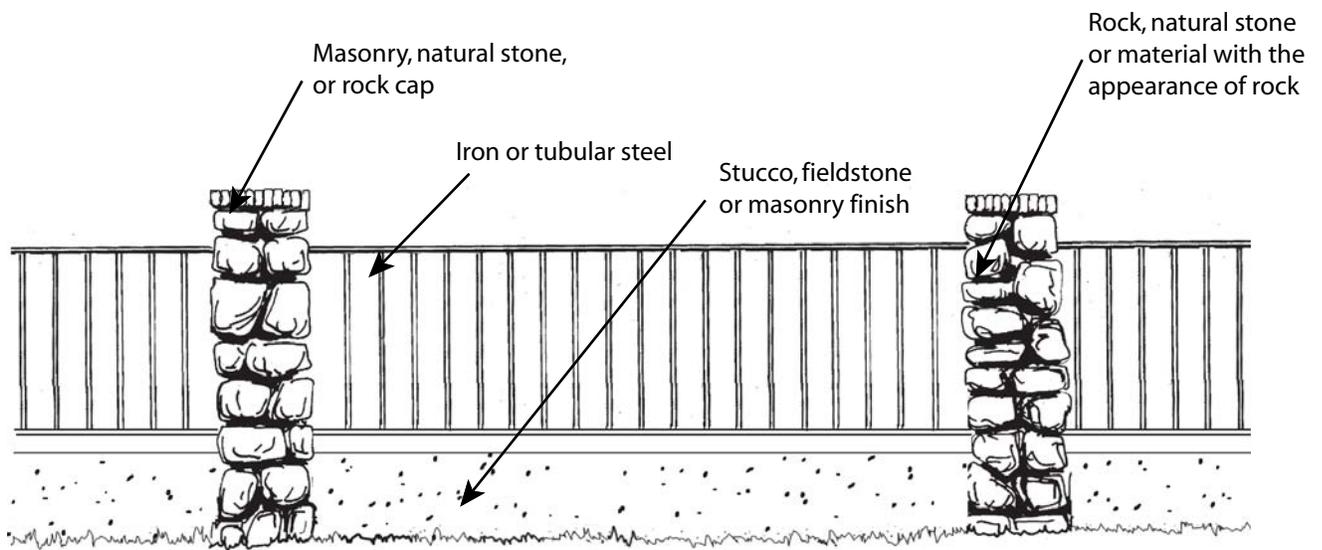
#### 6.4.5 Slopes:

The proposed project anticipates the need for some 2:1 slopes along project right-of-ways such as Tawney Ridge Lane, similar slopes may be required at additional locations that have yet to be determined. The 2:1 slopes will have equivalent or superior design to the standards contained herein. These slopes will fall within the proposed Landscape Lighting and Maintenance District's area of responsibility. Refer to Figure 6-8. ([SPA-1/2007](#))

# COMMUNITY WALLS/FENCING FIGURE 6-7

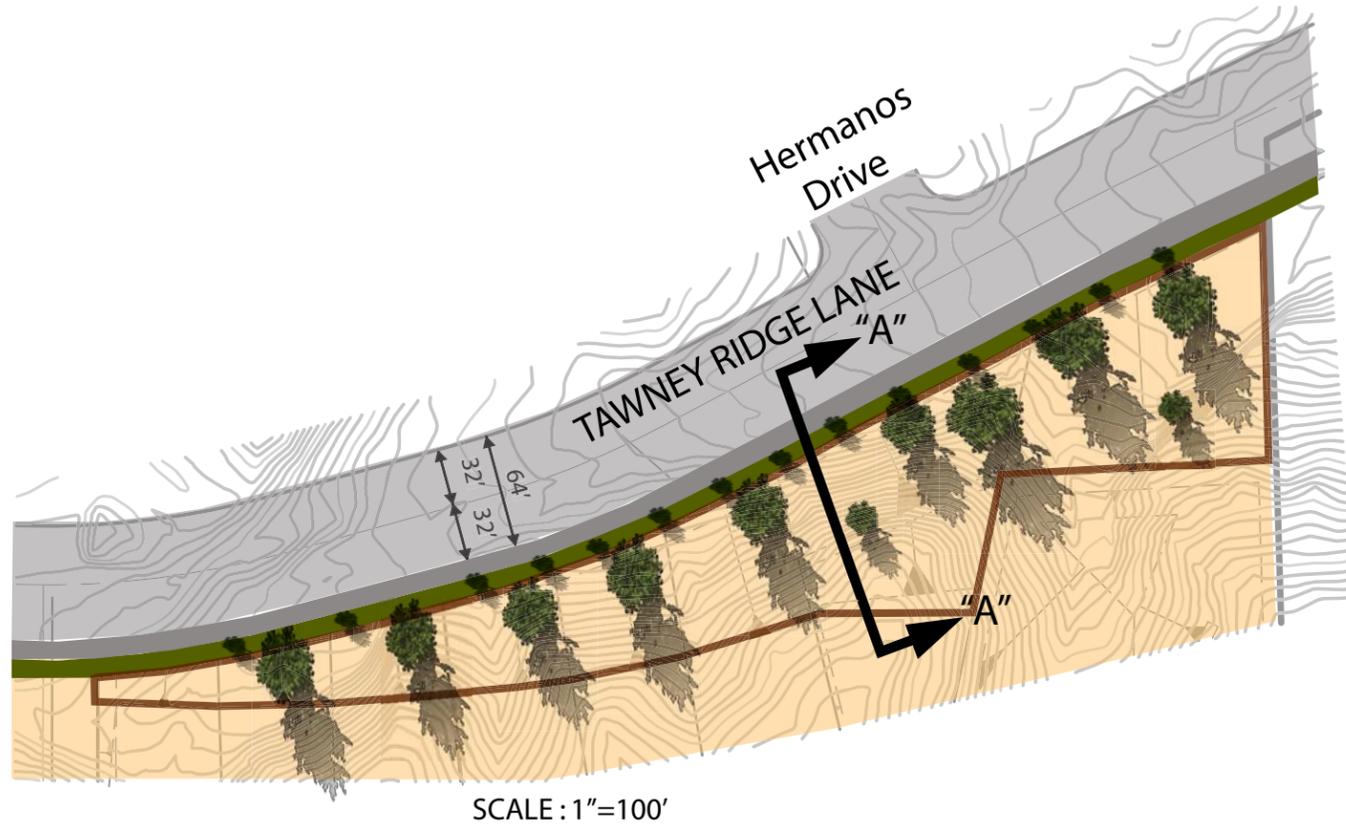


Community Wall



View Fence

NOTE: THESE ARE THE TYPICAL SLOPES ALONG MAJOR ROADWAYS  
SIMILAR SLOPE AREAS MAY BE REQUIRED AT OTHER LOCATIONS.

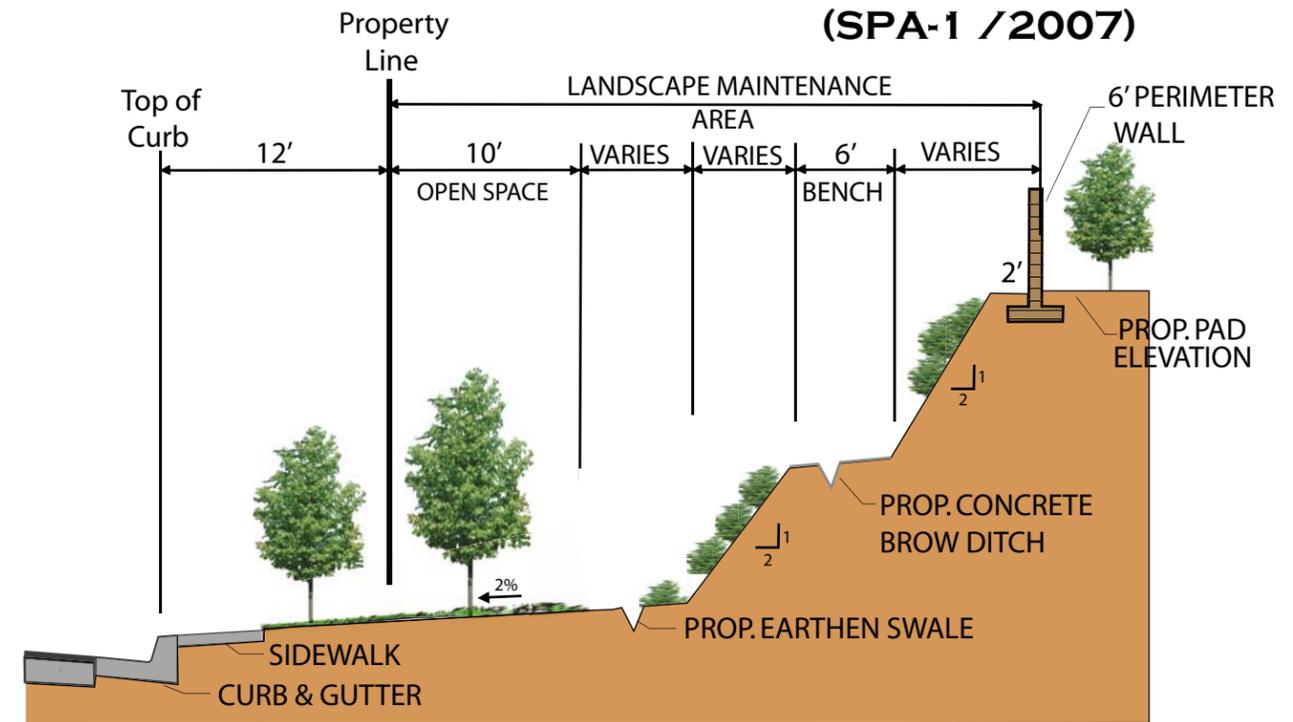


SCALE: 1"=100'

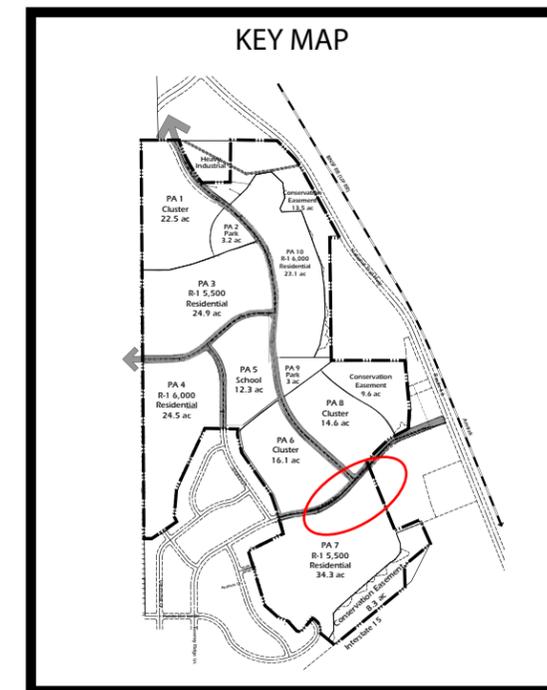


- LEGEND:**
-  - LANDSCAPE MAINTENANCE BOUNDARY
  -  - SLOPE (2:1)

### TYPICAL SLOPE MAINTENANCE AREAS FIGURE 6-8 (SPA-1 / 2007)



SCALE: 1"=10'  
"A"- "A"



## 7. Implementation Plan

The Mojave Vistas Specific Plan serves as the General Plan implementation document for the project. The methods and procedures for implementation and administration of this Specific Plan document are as follows:

### 7.1 STATE REQUIREMENTS

Government Code Section 65453 (a) states that:

*"A Specific Plan shall be prepared, adopted and amended in the same manner as a General Plan, except the Specific Plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body."*

The Mojave Vistas Specific Plan will be adopted by Ordinance in accordance with City policy.

The Mojave Vistas Specific Plan has been developed as both a regulatory document and land use policy. The development standards have been structured in a format consistent with the City of Victorville's General Plan and Zoning ordinance, incorporating general provisions, permitted uses, development standards, project approval procedures and other zoning related provisions. The remaining sections of the Mojave Vistas Specific Plan are oriented to land use policies, include background and project information, planning policies, design guidelines, conceptual plans and infrastructure proposals.

### 7.2

#### IMPLEMENTATION

The Mojave Vistas community shall be implemented through the processing of tract maps, parcel maps, conditional use permits and site plans. The implementation process, as described below, provides the mechanism for reviewing precise plans and ensuring development consistency with the Specific Plan objectives.

- a. **Applicability**—All development within Mojave Vistas shall be subject to the implementation procedures herein. Whenever the provisions and development standards contained herein conflict with those contained in the City of Victorville's General Plan and Zoning ordinance, the provisions of the Mojave Vistas Specific Plan shall take precedence.
- b. **Development Review Process**—Conditional Use Permits, Tentative Tract/Parcel Maps, Development Plans and Site Plans for development within the Specific Plan area shall be submitted to the Director of Development for review and processing. Conditional Use Permits, Tentative Maps, Development Plans and Site Plans shall be prepared and submitted in accordance with City of Victorville's requirements and local codes. They will be reviewed by the City for consistency with the Land Use Plan Map and Development Standards that are set forth in this document.

c. Prior to the issuance of Building Permits the Builder will prepare and submit detailed architectural plans for City review and approval by the Planning Commission. The submittal will include but not be limited to the following:

- ∞ Floor plans, elevations
- ∞ Color and Materials board
- ∞ Landscape plans

d. Planning Area 9 shall be included in phase 1 and construction of the park shall be commenced with the issuance of the first permit in phase 1, and be completed prior to the issuance of the last permit in phase 1. Prior to completion of construction, an LMAD shall be established for maintenance and the park shall be granted in fee simple to the City of Victorville.

e. Planning Area 2 shall be included in phase 2 and construction of the park shall be commenced with the issuance of the first permit in phase 2, and be completed prior to the issuance of the last permit in phase 2. Prior to completion of construction, an LMAD shall be established for maintenance and the park shall be granted in fee simple to the City of Victorville.

f. If a school is not developed in Planning Area 5 a park shall be constructed. Prior to the recordation of the first tract map within the Specific Plan, the applicant/developer shall enter into a development agreement with the City regarding construction of the park. Prior to completion of construction, the park shall be granted in fee simple to the City of Victorville.

g. If Planning Area 5 becomes a

park Planning Area's 2 & 9 may be developed as R-1 5,500 Residential for a maximum of 5 DU/Ac per Section 3.2 Parks Overlay and Section 5.4 Parks Overlay Permitted Uses of this document.

## 7.3 PROCEDURES FOR REVIEW AND APPROVAL

The procedures for review and approval of Site Plans for individual planning areas are defined by the Victorville Zoning ordinance. Upon adoption of this Specific Plan document, the land use designations indicated on the Land Use Plan shall be applied and will attain the regulatory equivalence of zoning ordinances. Hearings may be given at the same time and in the same manner as specified for hearings for Site Plans, Conditional Use Permits, Tract Maps and Parcel Maps in the Zoning ordinance.

## 7.4 MINOR MODIFICATIONS

The following constitute minor modifications to the Specific Plan which do not require a Specific Plan Amendment and are subject to review and approval by the Director of Development. The Director of Development, however, shall have the discretion to refer any such request for modification to the Planning Commission.

- a. Final facility sizing and precise location of water, sewer and storm drainage improvements with recommendation of the City Engineer.
- b. Change in utility and/or infrastructure servicing agency.

- c. Arterial, collector or local road alignment revisions when the centerline moves by less than two hundred fifty feet (250') with approval of the City Engineer.
- d. Collector street alignments within individual planning area tracts with approval of the City Engineer.
- e. Alignment of pedestrian trails and off-street bike lanes.
- f. Decrease in project density.
- g. Adjustment of planning areas size or configuration so long as the total acreage of the planning area does not decrease or increase by more than fifteen percent (15%) of that stated within this Specific Plan.
- h. Minor changes to landscape, plant palette, wall material, wall alignment and streetscape design modifications which are consistent with the design guidelines contained in this document.
- i. Minor revisions to project graphics which do not substantially change the intent of the graphics within this Specific Plan.
- j. Transfer of units of ten percent (10%) or less only if the same land use.
- k. Minor modifications to architecture, plotting and unit size that have been previously reviewed and approved through the design review process.
- l. Specific modifications of a similar nature to those listed above, which are in keeping with the intent of the Specific Plan and which are in

conformance with the General Plan.

## 7.5 DENSITY TRANSFER

In order to allow for density flexibility and residential diversity, the transfer of dwelling units from one (1) residential category to another within the Specific Plan may be approved as part of the Tract map approval process. Transfers of density shall be based on evidence that the proposed transfer would substantially improve spatial or functional relationships or would materially increase the quality of the land use, circulation or conservation pattern thereof. An increase in the number of dwelling units must always be accompanied by a decrease in dwelling units in another Planning Area. The use of this transfer method shall not result in an increase of dwelling units by more than ten percent (10%) within the Planning Area receiving the transferred units. Should such a change be approved, applicable statistics and figures shall be revised by the builder/developer in an administrative manner with approval by the Director of Development without the necessity of a Specific Plan Amendment.

## 7.6 SEVERABILITY CLAUSE

### Severability

If any provision of this Specific Plan or the application thereof to any person or circumstances is held invalid, such invalidity shall not effect other provisions or applications of this Specific Plan which can be given effect without the invalid provisions or application there, and to this end the provisions of this Specific Plan

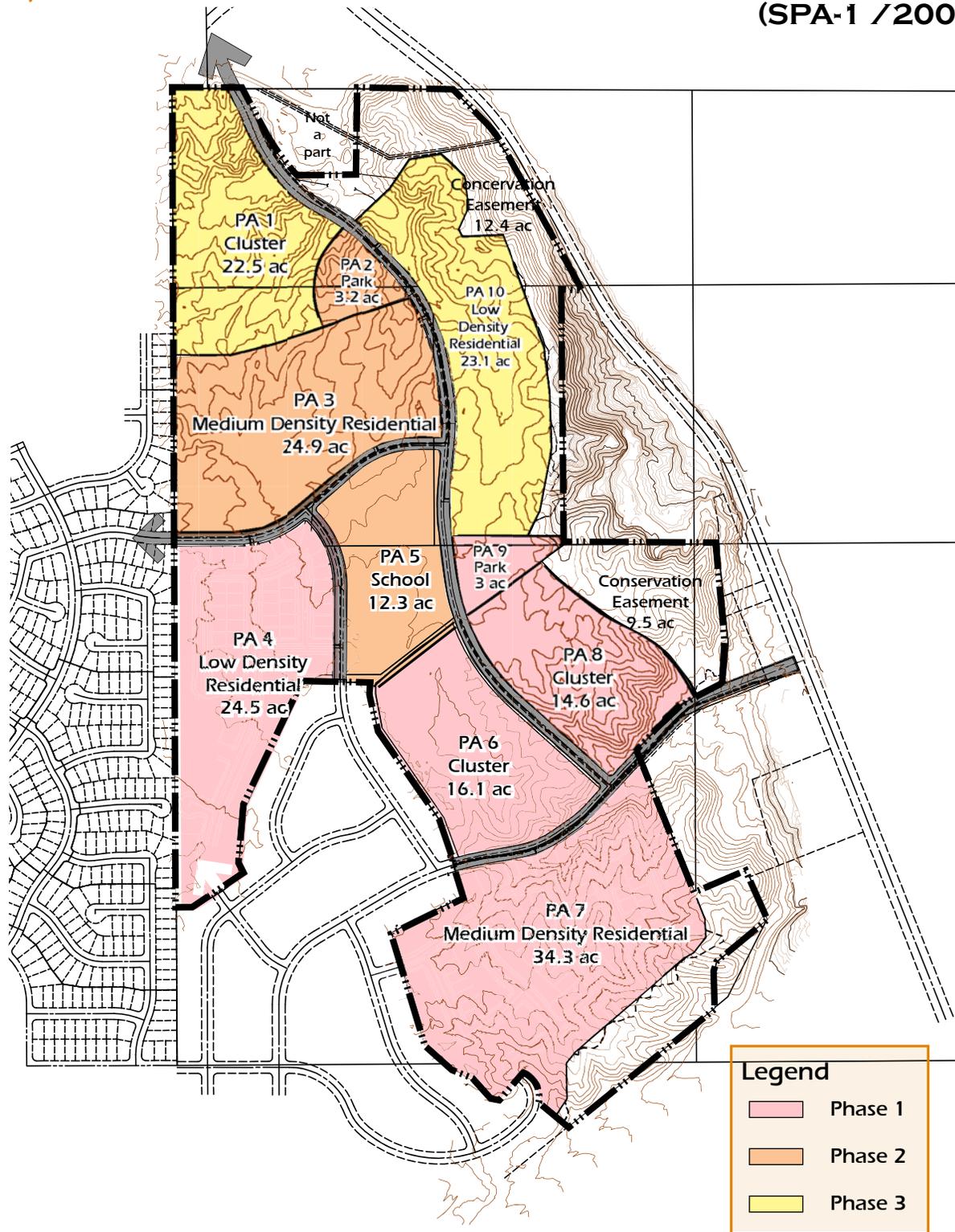
are severable.

## **7.7 PHASING**

The primary intent of the phasing plan is to ensure that complete and adequate public facilities and services are in place and available to the future community residents and visitors.

Unless otherwise indicated in the Specific Plan, or in the conditions of approval of a subdivision of a phase of the Specific Plan, the construction, installation and/or extension of the infrastructure and public facilities necessary to serve each phase of development shall be operational prior to the issuance of the first Certificate of Occupancy of the Building Permit for the phase of development. The ultimate pace and phasing of the development is dependent on a number of internal and external factors. As other development occurs, various adjustments and revisions to the anticipated phasing program may occur. Upon review by the City of Victorville Director of Development confirming that the proposed revisions meet the intent of this Specific Plan, and also adequately serve the needs of the community, said revisions shall be permitted without an amendment to the Specific Plan.

**PHASING PLAN**  
**FIGURE 7-1**  
**(SPA-1 / 2007)**



## **7.8 FINANCING MECHANISMS**

The timing of the development in the project vicinity will have a direct impact on the responsibilities associated with the financing and construction of the major community-wide infrastructure system such as water service, sewer service and circulation improvements.

The master-planned infrastructure and improvements to public facilities necessary to serve the Mojave Vistas community may include the following:

- a. Developer improvement with reimbursement agreement
- b. Developer improvement with credits against fees
- c. Special Assessment Districts
- d. Mello-Roos Community Facilities Act of 1982
- e. LMAD
- f. DFAD
- g. Public Enterprise Revenue bonds
- h. General obligation bonds
- i. Tax-increment financing
- j. City General Fund money
- k. Impact Fees and Exactions

The costs associated with making improvements to the internal infrastructure and facilities will be borne by the developer/builder. Development of the Specific Plan cannot proceed in advance of the installation of the master-planned facilities required by this project.

## 7.9 MAINTENANCE

The intent of the maintenance responsibility table is to establish responsibilities for the operation and maintenance of various facilities and community improvements for the Mojave Vistas Specific Plan.

<b>MAINTENANCE RESPONSIBILITY</b>				
<b>TABLE 7-1</b>				
	City of Victorville	Home Owners Association	LMAD/DFAD	Community Services Department (Parks)
Water/Sewer	X			
Street R/W	X			
Public Street	X			
Private Street		X		
Landscaping	X	X	X	
Entry Monumentation		X	X	
Paseos, and Enhances Parkways		X	X	
Parks		X	X	X (10 acres or more in size)
Open Space	X		X	X
Conservation Easements *		X		
Detention Basins			X	

\* Refer to Section 5.5