

Parkview

SPECIFIC PLAN



FINAL DRAFT
July 2006

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SPECIFIC PLAN

Lead Agency

City of Victorville
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Victorville, CA 92393

Applicant

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Parkview

**SPECIFIC PLAN
JULY 2006**

**CITY OF VICTORVILLE
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Parkview

**SPECIFIC PLAN
JULY 2006**

CITY OF VICTORVILLE

***Adopting Ordinance
for the
Approval of the Specific Plan***

Submitted: August 15, 2005

General Plan Amendment GPA-05-004(B)

Approved: July 18, 2006

Resolution No.: 06-113

Zone Change ZC-05-022

Approved: August 1, 2006

Ordinance No.: 2155

Specific Plan SP-05-002

Approved: August 1, 2006

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Parkview Specific Plan

Table of Contents

SECTION	PAGE NUMBER
1 INTRODUCTION	
1.1 Specific Plan Overview.....	1-1
1.2 Project Location.....	1-2
1.3 Purpose and Intent.....	1-2
1.4 Specific Plan Authority.....	1-2
2 ENVIRONMENTAL BACKGROUND	
2.1 Introduction.....	2-1
2.2 Topography.....	2-1
2.3 Geology.....	2-1
2.4 Seismicity.....	2-1
2.5 Soil Characteristics.....	2-2
2.6 Hydrology/Surface Water.....	2-2
2.7 Groundwater.....	2-6
2.8 Water Quality.....	2-6
2.9 Biota.....	2-6
2.10 Archaeology / Paleontology.....	2-7
2.11 Climate / Air Quality.....	2-8
2.12 Noise.....	2-8
2.13 Circulation.....	2-9
2.14 Public Utilities.....	2-9
2.15 Parks and Recreation.....	2-9
2.16 Public Services.....	2-10
2.17 Existing Land Uses.....	2-10
2.18 Surrounding Land Uses.....	2-10
3 GENERAL PLAN RELATIONSHIP	
3.1 Introduction.....	3-1
3.2 Land Use and Zoning.....	3-1
3.3 Circulation.....	3-3
3.4 Housing.....	3-3
3.5 Noise.....	3-3
3.6 Safety.....	3-4
3.7 Resources.....	3-4

Parkview Specific Plan

Table of Contents

SECTION	PAGE NUMBER
4 DEVELOPMENT COMPONENTS	
4.1 Land Use Plan.....	4-1
4.2 Circulation.....	4-5
4.3 Infrastructure.....	4-10
4.4 Phasing.....	4-18
4.5 Community Design Elements	4-20
5 DEVELOPMENT STANDARDS	
5.1 General Provisions.....	5-1
5.2 Residential Land Use Standards	5-3
5.3 Open Space Land Use Standards	5-14
5.4 Neighborhood Commercial Land Use Standards	5-15
5.5 Public Facilities Land Use Standards	5-19
6 IMPLEMENTATION	
6.1 Specific Plan Name.....	6-1
6.2 Specific Plan Adoption	6-1
6.3 Specific Plan Changes.....	6-1
6.4 Implementation	6-6
6.5 Review Procedures.....	6-6
6.6 Parcel/Tentative Map Review Requirements.....	6-8
6.7 Enforcement.....	6-9
6.8 Phasing of Common Open Space / Public Facilities	6-10
6.9 Maintenance Responsibilities	6-10
6.10 Financing Mechanisms	6-11
APPENDICES	
A. Legal Description	A-1
B. Design Guidelines.....	B-1

Parkview Specific Plan

List of Exhibits

EXHIBIT NUMBER	PAGE NUMBER
Exhibit 1	Regional Map..... 1-4
Exhibit 2	Vicinity Map 1-5
Exhibit 3	Site Aerial 1-6
Exhibit 4	Existing Topography..... 2-3
Exhibit 5	Soil Characteristics..... 2-4
Exhibit 6	Existing Drainage..... 2-5
Exhibit 7	Existing General Plan and Zoning Map..... 3-2
Exhibit 8	Land Use Plan 4-2
Exhibit 9	Conceptual Open Space/Paseo Plan..... 4-4
Exhibit 10	Circulation Plan..... 4-7
Exhibit 11a	Street Sections..... 4-8
Exhibit 11b	Street Sections..... 4-9
Exhibit 12	Proposed Reclaimed Water Plan..... 4-11
Exhibit 13	Proposed Water Plan..... 4-12
Exhibit 14	Proposed Sewer Plan..... 4-14
Exhibit 15	Proposed Drainage Plan 4-16
Exhibit 16	Proposed Grading Plan..... 4-17
Exhibit 17	Illustrative Plan 4-23
Exhibit 18	Conceptual Park Plan 4-24
Exhibit 19	Community Entry Plan and Perspective 4-25
Exhibit 20	Neighborhood Entry Plan and Perspective 4-26
Exhibit 21	Neighborhood Entry Plan at La Mesa and Residential Side of Shared Commercial Entries 4-27
Exhibit 22	Paseo Plan 4-28
Exhibit 23	Braceo Road Streetscape Plan..... 4-29
Exhibit 24	Corner Treatment 4-30
Exhibit 25	Streetscape Plan 4-31
Exhibit 26a	Streetscape Sections..... 4-32
Exhibit 26b	Streetscape Sections..... 4-33
Exhibit 27	Wall and Fence Plan..... 4-34
Exhibit 28	Wall and Fence Details 4-35
Exhibit 29	Conceptual Visual Corridor 5-17

Parkview Specific Plan
List of Tables

<u>TABLE NUMBER</u>	<u>PAGE NUMBER</u>
Table 1	Parkview Land Use Summary Table.....4-3

1 INTRODUCTION

1.1 SPECIFIC PLAN OVERVIEW

The Parkview Specific Plan is a master planned community comprised of residential, recreational, educational and commercial land uses. The community is approximately 177 acres located in the western portion of the City of Victorville. The community will include up to 715 homes, a 10-acre community park, an 11-acre neighborhood commercial center, and a 12-acre site for a possible elementary school. These uses are connected via a network of landscaped pedestrian environments which travel both along the community roads and internal paseos. A range of housing opportunities is planned from detached cluster homes to homes on lots over 7,000 square feet. This range will provide a complimentary variety of home sizes, floor plans, and architectural styles to serve the needs of different market segments of the Victor Valley. The Specific Plan consists of seven sections including:

1. Introduction

This section identifies the Project Area, the purpose, and scope of the Specific Plan.

2. Environmental Background

Included in this section is a summary of existing conditions related to the environmental setting of the Specific Plan area.

3. General Plan Relationship

The City's General Plan outlines a series of goals. This section provides a summary of how the Specific Plan implements these community goals.

4. Development Components

This section includes descriptions of land use, circulation, infrastructure, and development standards. Overall community development standards are provided.

5. Development Standards

Development Standards provide requirements to assure creation of a quality community. The development standards are supported by the Design Guidelines in Appendix B of this document.

6. Implementation Summary

Procedures and submittal/filing requirements for processing development approvals are defined. Community open space and maintenance are also covered.

7. Appendix

References for Legal Description and Design Guidelines are provided in the Appendix.

1.2 PROJECT LOCATION

Parkview is comprised of approximately 177 acres of undeveloped land located in the western portion of the City. The Project lies east of Baldy Mesa Road, west of Joshua Road, south of Luna Road, and north of La Mesa Road. Refer to Exhibit 1, Regional Map; Exhibit 2, Vicinity Map; and Exhibit 3, Site Aerial.

1.3 PURPOSE AND INTENT

The policies, plans, and programs of the City’s General Plan establish the basic framework for development of the Parkview Specific Plan. The primary purpose of this Specific Plan is to implement the goals and policies of the City on a specific planning area basis. When adopted, the Specific Plan will serve both a regulatory and planning function, guiding the necessary community design, infrastructure, and public service requirements.

1.4 SPECIFIC PLAN AUTHORITY

The Parkview Specific Plan is created through the authority granted to the City by the California Government Code. The adoption of the Specific Plan by the City is authorized by California Government Code, Title 7, Divisional Chapter 3, Articles 8 and 9, Sections 65450-65457. Under this Code the Planning Commission must hold a public hearing before the Planning Agency can recommend the adoption of a specific plan. The City Council may then adopt a specific plan by ordinance per State Government Code 65451.

The Parkview Specific Plan applies only to that property known as the Parkview Specific Plan area, as delineated on the land use maps in the body of the text and described in the legal description.

As set forth by the Government Code, a Specific Plan must contain the information outlined below in either text and/or exhibits to regulate the systematic implementation of the General Plan for this project site. References to the location of this information in the Specific Plan are shown in **(bold)**.

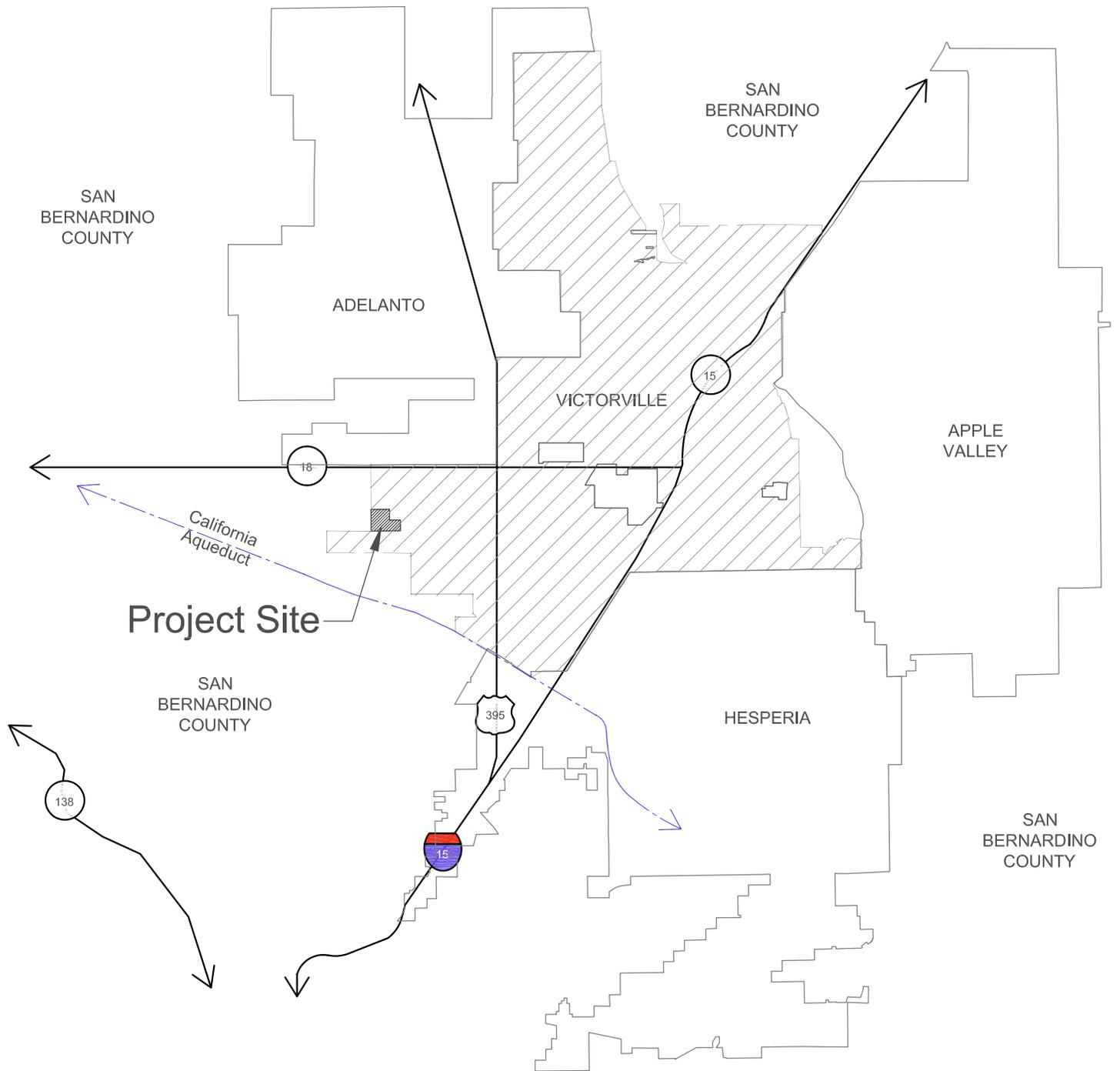
State Government Code 65451. Content of Specific Plan

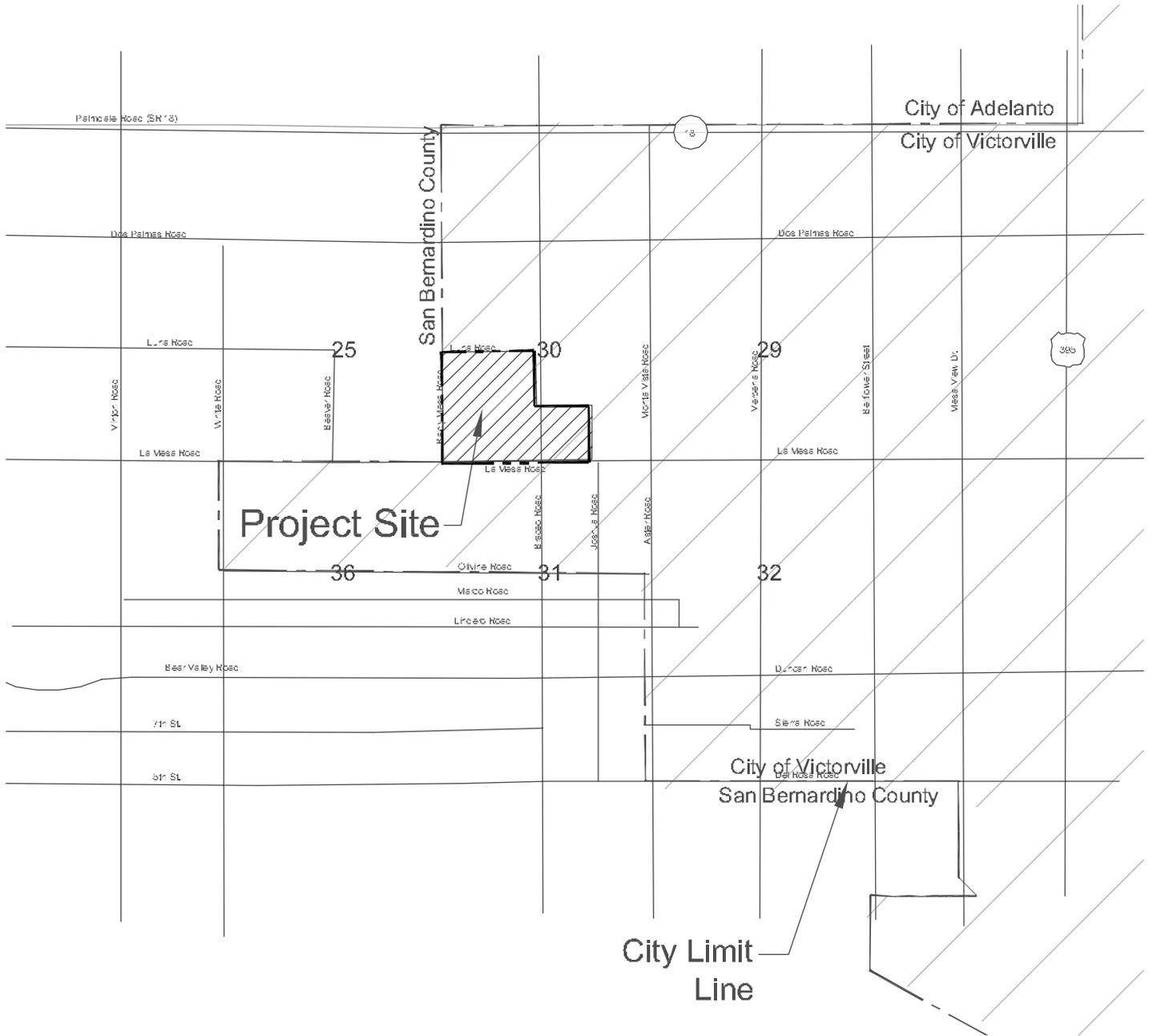
- (a) A specific plan shall include a text and a diagram or diagrams which specify all of the following in detail:
 - (1) The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan. **(Section 4, Development Components and Section 5, Development Standards)**

- (2) The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan. **(Section 4, Development Components)**
 - (3) Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable. **(Section 5, Development Standards)**
 - (4) A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3). **(Section 6, Implementation)**
- (b) The specific plan shall include a statement of the relationship of the specific plan to the general plan. **(Section 3, General Plan Relationship)**

The Parkview Specific Plan serves both a planning and regulatory function. It is the device that implements the City's General Plan on this property. The plan contains all applicable land use standards and regulations and constitutes the zoning for the subject property. The development standards contained in this Specific Plan take precedence over any other provisions of the Municipal Code unless otherwise stated herein.

The City adopts Specific Plans by ordinance per State Government Code 65451 when the plan includes specific regulatory measures as does this Specific Plan. Public hearings by both the Planning Commission and the City Council are required, after which the Specific Plan shall be adopted by the City Council.





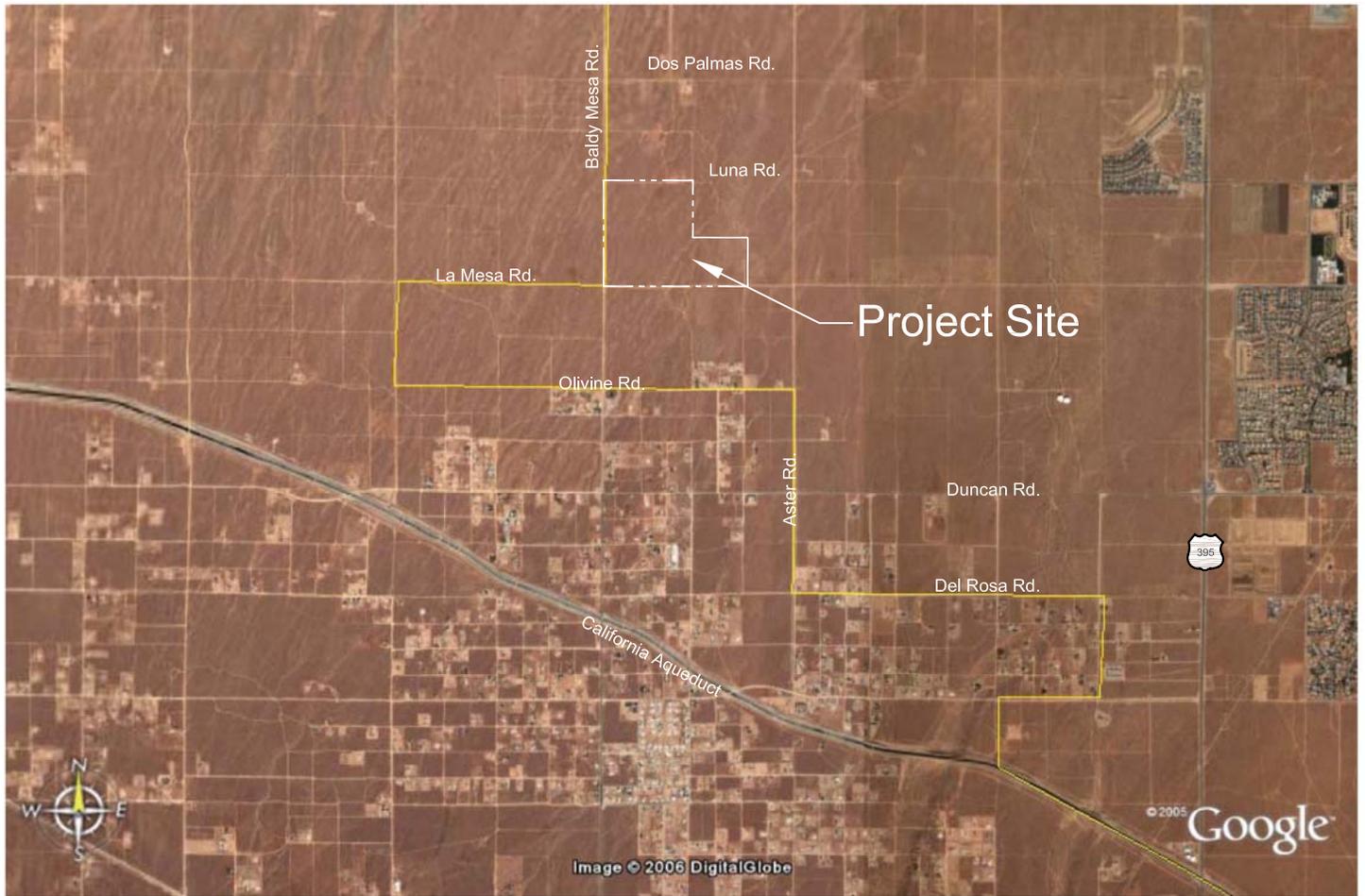


Exhibit 3
Site Aerial

2 ENVIRONMENTAL BACKGROUND

2.1 INTRODUCTION

The environmental background, as outlined below, describes the natural setting of the Specific Plan Area, as well as the built environment of the surrounding locale. The Specific Plan Area, predominantly desert land, will be described in its existing state. This analysis provides a basis for creating a Specific Plan that is responsive to future development conditions.

2.2 TOPOGRAPHY

The Specific Plan is located on a gently sloping alluvial plain. The property slopes downhill to the north at roughly a two (2) percent grade with elevations ranging from 3,325 feet (at the southern property line) to 3,265 feet (at the properties northern edge) above sea level. There are no steep rock outcroppings or significant grade changes. There are four (4) ephemeral drainage washes crossing the site in a northeasterly direction. (Refer to Exhibit 3, Site Aerial, and Exhibit 4, Existing Topography, Exhibit 5, Soil Characteristics, and Exhibit 6, Existing Drainage)

2.3 GEOLOGY

As a result of the proximity to the San Gabriel and San Bernardino mountains, the surficial geology on site is primarily alluvium. Subsurface investigation encountered wash alluvium, alluvium and older alluvium. In terms of development, the soils will be suitable for structures with proper excavation and compaction as identified in the soils report. (Refer to Geotechnical Due Diligence Summary Report, August 2, 2005, RMA Group Geotechnical Consultants.)

2.4 SEISMICITY

No faults are known to pass through the tracts and the tracts are not located within a State of California Earthquake Fault Zone for Fault Rupture Hazards. The nearest faults are the Cleghorn, San Andreas Fault, North Frontal Fault Zone, and Helendale Fault located about 12, 13, 15 and 19 miles from the site, respectively, at their nearest points.

The Helendale Fault located northeast of Victorville approximately nine (9) miles from the City (19 miles from Site) is considered a fault with the potential to have a 5.9 Richter magnitude. The North Frontal Fault Zone located southeast of the City approximately 5.5 miles (15 miles from Site) is considered an active fault with a potential Richter magnitude of 6.2. (Refer to the City of Victorville General Plan, Safety Element, Figure 1; Refer to Geotechnical Investigation for 169 acres Victorville Site APN 3313-051-01, 071-01 Northeast of Baldy Mesa and La Mesa Roads, Victorville, CA. October 20, 2005, Table 1, Notable Faults within 100 Kilometers And Seismic Data).

2.5 SOIL CHARACTERISTICS

The subsurface investigation encountered wash alluvium, alluvium and older alluvium.

The wash alluvium consists of light brown fine to coarse sand with trace to minor amounts of gravel and is generally loose to slightly dense to depths of about 1 to 2 feet. It is confined to the active drainage coarse bottoms.

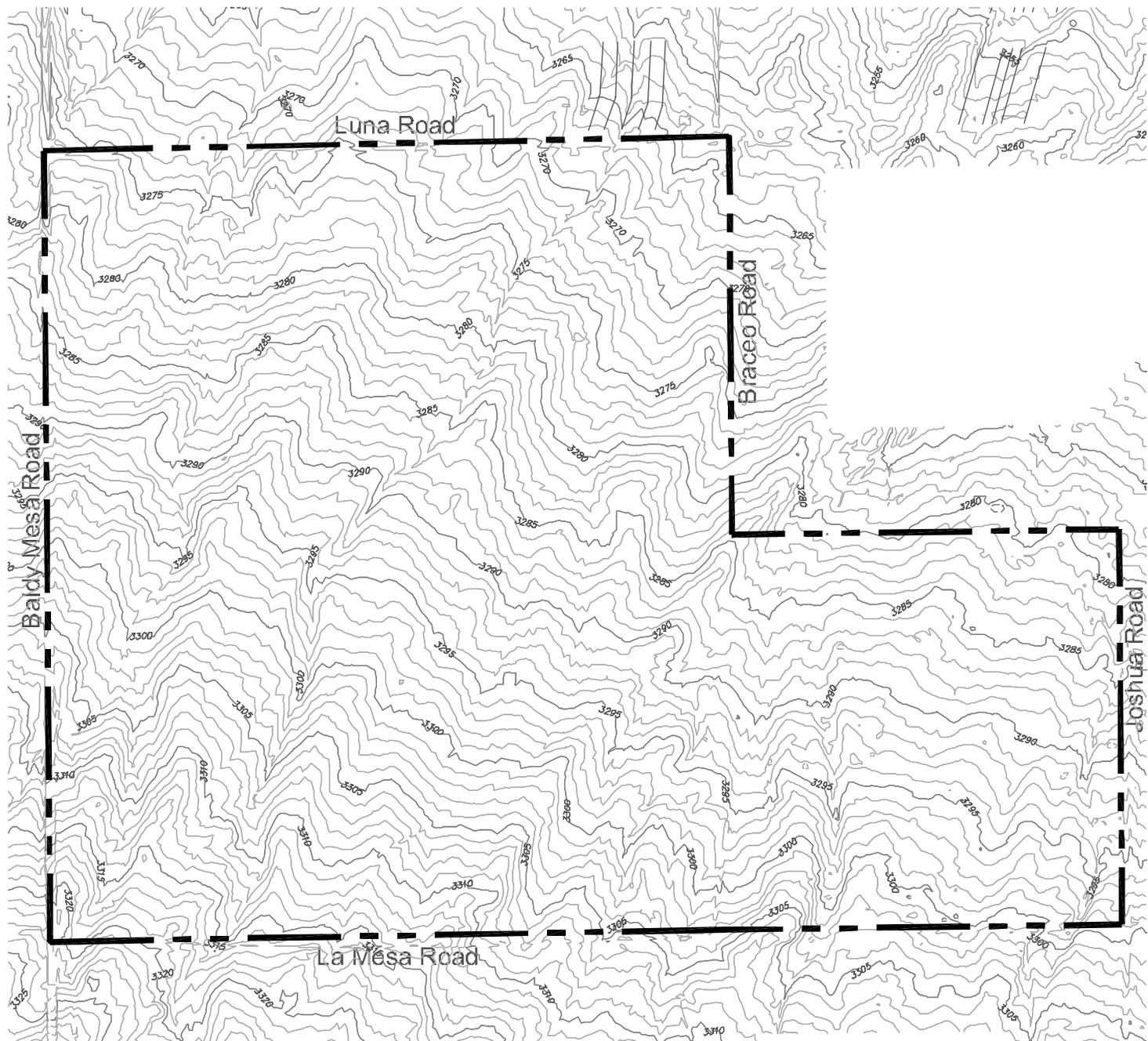
The alluvium is composed primarily of light brown silty sand underlain by light brown to brown sand with occasional to minor gravel. In general, the upper silty sand alluvium is loose to slightly dense to 3 to 5 feet and non-to-slightly porous. The sand encountered is generally medium dense to dense and subject to slight caving.

The older alluvium is composed primarily of reddish-brown silty sand, gray silt and sandy silt, and gray sand and silty sand with occasional to minor gravel. The older alluvium is generally dense and was encountered at the surface in the northern half of the site and from depths ranging from 3 to 12 feet in the southern half of the site.

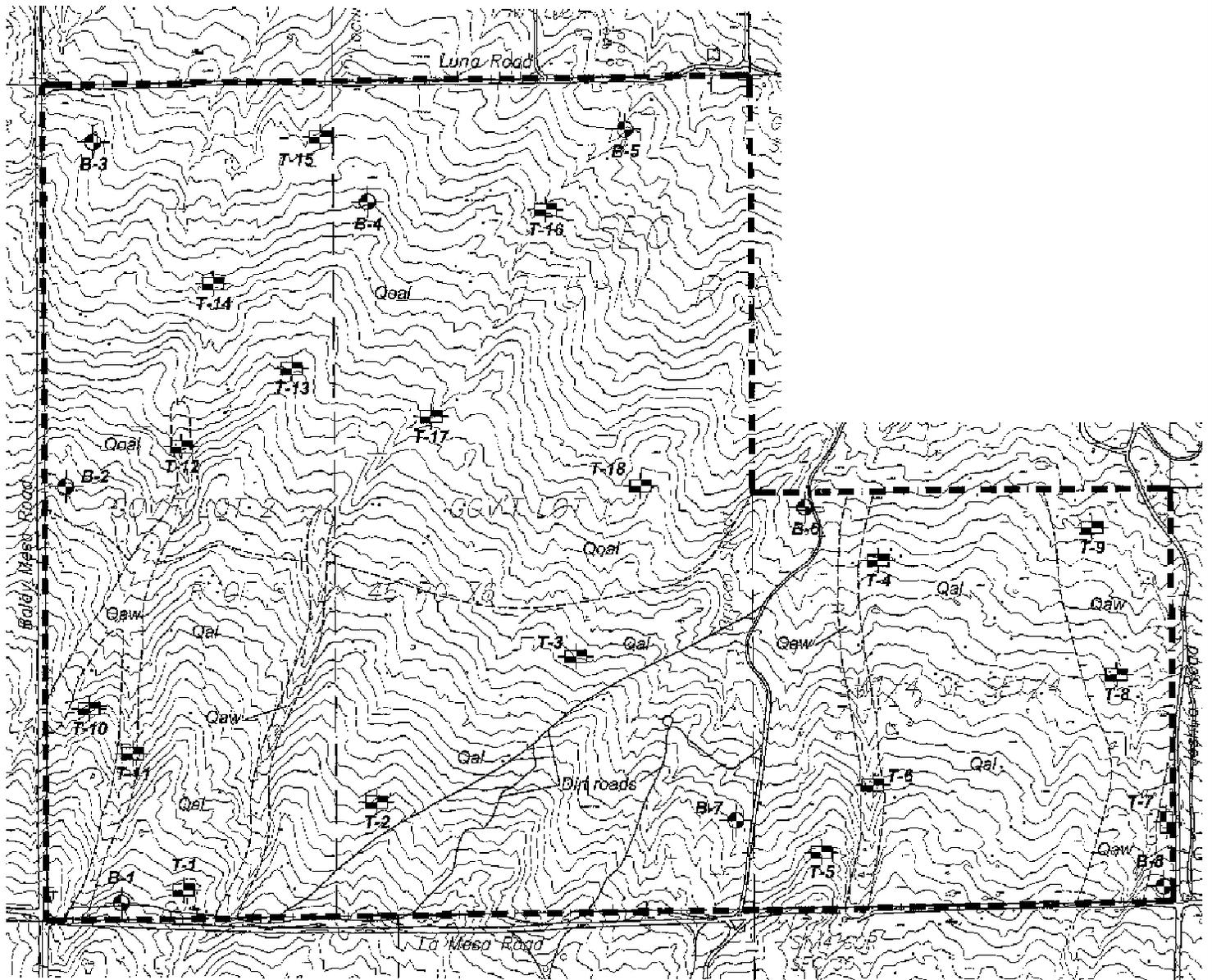
All three of these soils are well-drained to excessively well-drained and are formed on alluvial fans and terraces. These soils are consistent with the Victorville area and the overall Mojave Desert alluvial plain areas. (Refer to Page 2, Soil Units, Geotechnical Due Diligence Summary Report, August 2, 2005, RMA Group Geotechnical Consultants and to Exhibit 5, Soil Characteristics)

2.6 HYDROLOGY/SURFACE WATER

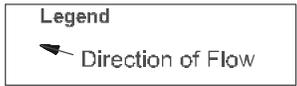
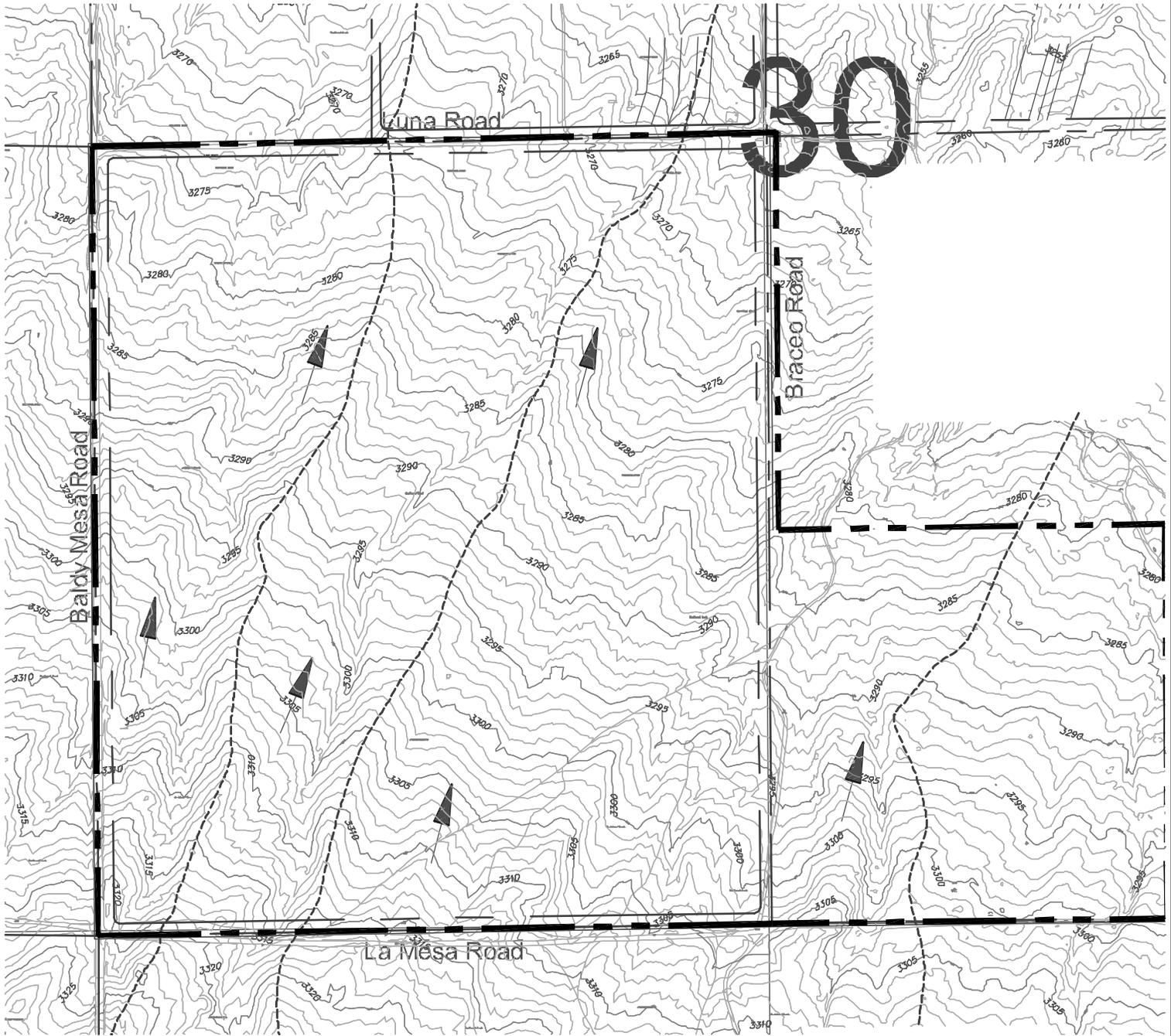
The property slopes in a northeasterly direction. The surface drainage collects in four (4) ephemeral drainages that ultimately flow into the Mojave River. The ephemeral streams may show drainage flows during and after seasonal storms. No standing surface water exists on the site. There are no catch basins or flood control devices in the area. (Refer to Exhibit 6, Existing Drainage)



Legend	
3300	Contour Elevation
	Existing Contour Line
	Specific Plan Boundary



Soils Legend	
Geologic Units	
Qaw	Active Wash Deposits
Qal	Alluvium
Qoal	Older Alluvium
Symbols	
◆	B-1 Boring Location
⊞	T-1 Exploratory Trench Location
~	Geologic Contact
-----	Specific Plan Boundary



2.7 GROUNDWATER

Groundwater depths vary, increasing in depth when further away from the Mojave River. The depth to groundwater at the Specific Plan site is approximately 300 feet. Soil borings did not make contact with groundwater. (Refer to Geotechnical Due Diligence Summary Report, August 2, 2005, RMA Group Geotechnical Consultants.)

2.8 WATER QUALITY

Domestic water will be provided by the Baldy Mesa Water District. Water is drawn from local wells and is treated to satisfy Department of Health Services standards for domestic use. The City of Victorville water supply discussions are in the City of Victorville General Plan Resources Element, Water Supply, Page 2. The Baldy Mesa Water District encourages water conservation practices that support the Victorville General Plan. Another requirement to protect water quality in the City of Victorville is to extend city sewer lines connecting throughout this Specific Plan Area, through the subsequent tentative tract map process.

2.9 BIOTA

2.9.1 Native Flora

The majority of the vegetation within the Specific Plan site is characterized as Mojave creosote bush scrub. Native shrub species observed within this community on site include creosote bush (*Larrea tridentata*), burrow weed (*Ambrosia dumosa*), ephedra (*Ephedra* sp.), indigo bush (*Psoralea* sp.), buckwheat (*Eriogonum* sp.), and wishbone bush (*Mirabilis* sp.). Joshua Trees (*Yucca brevifolia*) are also present and distributed throughout the site. Understory species include common fiddleneck (*Amsinckia menziesii*), phacelia (*Phacelia* sp.), lupine (*Lupinus* sp.), and desert mariposa lily (*Calochortus kennedyi*). Non-native species observed within the property included foxtail chess (*Bromus madritensis* ssp. *madritensis*), cheat grass (*Bromus tectorum*), filaree (*Erodium* sp.), and barley (*Hordeum* sp.).

A Biological Resources Assessment, including an analysis of the existing flora, was prepared by PCR Services Corporation as a separate document. This report concludes that there are no state or federally-listed threatened or endangered plant species on the site. However, Booth's evening-primrose (*Camissonia boothii* ssp. *boothii*) – California Native Plant Society (CNPS) list 2 and short-joint beavertail (*Opuntia basilaris* var. *brachyclada*) – CNPS list 1B have the potential to occur due to the presence of suitable habitat such as Mojavean desert scrub and Joshua Tree woodland. Mitigation measures, including appropriate surveys, have been provided for non-listed special status plant species including Joshua Trees.

2.9.2 Native Fauna

Several sensitive wildlife species were reported in the California Natural Diversity Database (CNDDDB) from the vicinity. Based on the habitat present on the property and sensitive species distribution, the following sensitive species may potentially occur on-site:

CDFG Species of Special Concern:

- Cooper’s hawk (*Accipiter cooperi*)
- Burrowing owl (*Athene cunicularia*)
- San Diego black-tailed jackrabbit (*Lepus californicus bennettii*)
- Coast [San Diego] horned lizard (*Phrynosoma coronatum [blainvillei]*)
- Le Conte’s thrasher (*Toxostoma lecontei*) and,
- Mohave ground squirrel (*Spermophilus mojavensis*) – State Listed Threatened Species

These species (except for the Mohave ground squirrel) are not protected by State or Federal listings as threatened or endangered. A Biological Resources Assessment, including an analysis of existing wildlife, was prepared by PCR Services Corporation as a separate document. Mitigation measures, including appropriate surveys, have been provided for special status wildlife species including the Mohave ground squirrel and Burrowing owl. (Refer to Mitigation Measures of the Biological Resources Study PARKVIEW, City of Victorville, PCR, August 2005).

2.10 ARCHAEOLOGY / PALEONTOLOGY

The City of Victorville General Plan states “...recorded paleontological and archaeological resource recovery sites are widespread throughout the General Plan area...” and “...the existence of rich paleontological and archaeological resources may present some challenges for future development.” With this in mind, Statistical Research, Inc. (SRI), the Specific Plan’s archaeological consultant, conducted several site visits and reviewed existing City and consultant reports relevant to the Specific Plan Area. These efforts identified four historical-period resources in and adjacent to the Project area. Refer to Cultural Resources Survey of APN’s 3133-051-01 and 3133-071-01, Victorville, San Bernardino County, California, SRI, December 2005.

These resources include two previously recorded road segments and two newly-discovered refuse deposits. Neither of the road segments can be conclusively associated with a significant person in the history of California, nor do they embody a distinctive time or method of construction. Furthermore, one of the road segments has undergone extensive alteration and is no longer consistent with its original alignment. Both road segments have been documented extensively and are not expected to yield any new information. Refer to SBR-4252H and SBR4418H in the Cultural Resources Survey of APN’s 3133-051-01 and 3133-071-01, Victorville, San Bernardino County, California, SRI, December 2005.

Neither of the newly discovered refuse deposits found within the Specific Plan Area could be precisely dated making it difficult to associate them with important trends in land use of this area. Additionally, there is limited potential for either site to be associated with significant buried features or artifacts. Refer to SBR-12115H and SBR-12116H in the Cultural Resources Survey of APN's 3133-051-01 and 3133-071-01, Victorville, San Bernardino County, California, SRI, December 2005.

For the reasons discussed above, none of the historical-period resources discovered are recommended as eligible for listing in the California Register of Historical Resources (CRHR). Similarly, nothing found inside the project area represents a "unique archaeological resource" as defined by CEQA.

2.11 CLIMATE / AIR QUALITY

The regional climate is generally characterized by hot summers, cool winters, infrequent rainfall and low humidity. Temperature ranges from winter means of approximately 43 degrees Fahrenheit to summer means of 80 degrees Fahrenheit. Winds generally develop from the south through the Cajon Pass. The Victorville area, similar to much of southern California, is identified as a non attainment area in terms of air quality. The Mojave Desert Air Quality Management District (MDAQMD) is the regional agency reviewing air quality matters.

2.12 NOISE

The majority of the site is located adjacent to currently undeveloped property. The Specific Plan Area is desert land and there are no improved land uses or paved roads in the vicinity. Existing noise levels are minimal (Refer to Exhibit 3, Site Aerial). The primary noise in the future will be associated with newly constructed or expanded roadways and land use development. In general, in order to mitigate current and future noise levels a standard of 65 CNEL exterior and 45 CNEL interior level will be maintained for all residential buildings. Future development will be required to follow the City of Victorville' Noise standards identified in the General Plan and Municipal Codes.

The new Southern California Logistics Airport Element in the City of Victorville General Plan does not show any noise contours near the project area. Refer to S.C.L.A. Future Noise Countours, Figure 12 in the SCLA Element of the City's General Plan.

2.13 CIRCULATION

There are no existing paved roads adjacent to the Specific Plan Area. There are several dirt roads that currently traverse the site and are maintained by the City of Victorville.

The site is bounded to the south by La Mesa Road, a future residential arterial with four (4) lanes. The west is Baldy Mesa Road, a future super arterial with six (6) lanes. To the north, the site is bounded by Luna Road, a future two (2) lane collector. Braceo Road, a future two (2) lane collector, bisects the site in a north-to-south direction between Luna Road and La Mesa Road. To the east is Joshua Road, a future two (2) lane collector.

A traffic study has been completed as part of the Specific Plan and Tentative Tract Map process. Refer to Parkview Mixed-Use Development Traffic Study, City of Victorville, California, December 20, 2005, Urban Crossroads, JN: 03158-03.

2.14 PUBLIC UTILITIES

Infrastructure and dry utilities are all available at or in the immediate vicinity of the site. These include: water, wastewater, electricity, natural gas, solid waste services and telecommunication. Information for each service provider is included in the utility section of this document.

2.15 PARKS AND RECREATION

Park services are provided by the City of Victorville Parks Department. Existing Parks that serve the nearby area include Eagle Ranch Park, 6.5 acres, active recreation; and Mesa Linda Park, 10.0 acres, active recreation. Both parks are located east of Highway 395. The Crossings, a nearby specific plan area to the east, designates a future ten (10) acre park area along Luna Road between Verbena Road and Bellflower Street. This park has not been constructed. It is also linked with paseos and trails that total approximately 16 acres.

There are no parks within the Specific Plan Area at the present time. Park improvements will occur based on Quimby requirements and the City of Victorville's park land requirements. Park area is required at three (3) acres per 1,000 residents.

2.16 PUBLIC SERVICES

2.16.1 Schools

The Specific Plan is located in the Snowline Joint Unified School District (SJUSD). The nearest elementary school is Baldy Mesa Elementary. The nearest middle school is Quail Valley Middle School and the nearest high school is Serrano High School. Two new elementary school sites have been planned to the east of the Specific Plan.

2.16.2 Police

Police services will be provided by the San Bernardino County Sheriff's Department and coordinated from their Victorville facility located near City Hall, 1434 Civic Drive approximately 8.5 miles east of the site.

2.16.3 Fire and Emergency Services

Fire services will be provided by the City of Victorville Fire Department. The nearest fire station is located at Liberty Park on Amethyst Road, near 11855 'E' Street. The fire department has obtained a site about two (2) miles east of the Specific Plan Area near Mesa View Avenue, between The Crossings specific plan area and west of Highway 395. This facility will decrease response times to the properties west of Highway 395.

2.17 EXISTING LAND USES

The property in this Specific Plan is undeveloped desert land. Land use features are dirt roads, drainage course ways, and vegetation (Refer to Exhibit 3, Site Aerial). The dirt roads are maintained by The City of Victorville. The existing Victorville General Plan land use designations are discussed further in Section 3.2, General Plan Land Use and Zoning, in this Specific Plan. There are no other utilities onsite.

2.18 SURROUNDING LAND USES

The Specific Plan Area is surrounded by undeveloped land. There are scattered residential dwellings North of the site near Dos Palmas Road and south of Olivine Road. Several tracts of land are either approved for development or pending approvals in the vicinity. The Crossings (SP-04-001), a future residential planned community to the east of Parkview, provides a mix of land uses that include residential, public facilities, parks and open space.

3 GENERAL PLAN RELATIONSHIP

3.1 INTRODUCTION

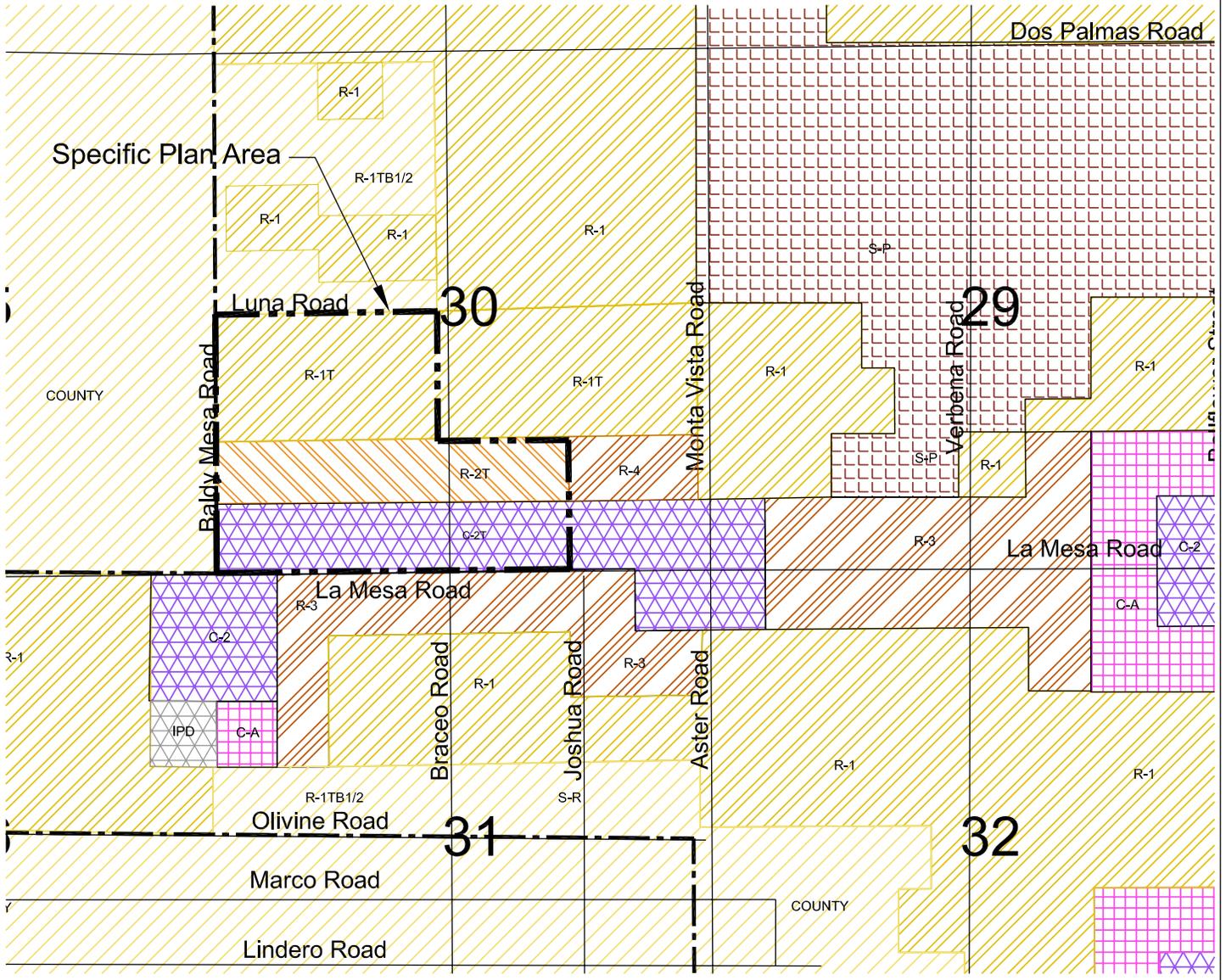
The City of Victorville's General Plan outlines a series of goals, policies and objectives for future development within the City. This Specific Plan is developed in conformance with the policies of the City of Victorville General Plan and the State of California Government Code. This Section describes how the Parkview Specific Plan compliments, reinforces and promotes these General Plan goals, policies and objectives. The General Plan includes eight key elements. Six of these elements: Land Use, Circulation, Housing, Noise, Safety, and Resources are discussed below. Two Elements, the Southern California Logistics Airport Community Plan Element and the Old Town Community Plan Element, are not directly relevant to this Specific Plan and have therefore not been included. Both elements are located further north (SCLA) and northeast (Old Town) of this Specific Plan Area.

3.2 LAND USE AND ZONING

The property is in the City of Victorville's Baldy Mesa Planning Area (General Plan, Baldy Mesa Planning Area Figure 3) of the City General Plan. The property is designated primarily as Low Density residential (up to a maximum five dwelling units per acre), medium density residential (up to a maximum of eight (8) units per acre) with a Commercial use designation of approximately 54 acres located along La Mesa Road.

The Parkview land use plan encompasses 177 acres including a variety of single family residential densities that average approximately 4.31 dwelling units per acre over a 144 acre residential area (156 gross acres without the Public Facility land use area). The Specific Plan includes land use and development components, design standards and implementation procedures to enable development of a high quality and distinctive community that incorporates community design features not typically provided in traditional development. These features are covered in Section 4 Development Components, Section 5, Development Standards, and addressed further in Appendix B, Design Guidelines.

Other land uses in this Specific Plan include the following: an Open Space (neighborhood park) land use area that is approximately ten (10) acres; a Neighborhood Commercial land use area that is approximately eleven (11) acres; and a Public Facility (potential school site) land use area that is approximately twelve (12) acres. (Refer to Exhibit 7, Existing General Plan and Zoning Map and Exhibit 8, Land Use Plan in Section 4)



General Plan Legend	
	Very Low Density Residential (2 du/ac)
	Low Density Residential (5 du/ac)
	Medium Density Residential (8 du/ac)
	High Density Residential (15-20 du/ac)
	Office Professional
	Commercial
	Specific Plan
	Light Industrial
	City Limit
	Specific Plan Area
30	Section Number

Zoning Legend	
<i>Residential:</i>	
S-R	Suburban Residential
R-1	Single Family
R-2	Medium Residential
R-3	High Density
R-4	Very High Density
MDR	Mixed Density
RMPD	Mobile Home Planned Unit Development
MDR	Mixed Density Residential
<i>Industrial:</i>	
IPD	Industrial Park District
M-1	Light Industrial
M-2	Heavy Industrial
<i>Agricultural:</i>	
AE	Exclusive Agriculture
A	Agriculture
<i>Commercial:</i>	
C-1	Neighborhood Retail
C-2	General Commercial
C-4	Highway & Service Commercial
C-A	Administrative Professional Offices
C-M	Commercial Manufacturing
P	Parking
<i>Other:</i>	
F-P	Conservancy & Flood Plain
H	Historic
P-C	Public & Civic
P-P	Precise Plan
PUD	Planned Unit Development
S-P	Specific Plan
T	*Transitional

*All areas with a "T" designation may have additional development standards. Check with staff to determine if additional standards have been adopted.

3.3 CIRCULATION

The General Plan Circulation Element identifies planned roadway extensions to meet the future needs of the City in the Baldy Mesa Planning Area where the Specific Plan is located. The proposed circulation system is consistent with the City’s roadway classification and cross section standards and will assure continuity of the street pattern with future neighboring developments. The following General Plan roadways will be constructed along the Specific Plan boundaries; La Mesa Road, Baldy Mesa Road, Braceo Road, and Luna Road. Refer to Section 4.2.3 Implementation in Section 4.2 Circulation.

On-site roads within the Specific Plan will be designed as indicated on the cross sections shown in this document. (Refer to Section 4, Exhibit 11a and 11b, Street Sections). The internal streets will be designed to support residential neighborhoods, not through traffic. Street designs will be subject to City Engineer approvals through subsequent tentative tract map processes.

The paseo system supports pedestrian and bike use providing a convenient way to access the school site and neighborhood park. Residents also have pedestrian access to multiple land uses throughout the Specific Plan Area through the use of trails that also assist to reduce local automobile trips and associated emissions.

3.4 HOUSING

The City General Plan Housing Element provides goals and guidelines to meet federal, state and regional housing needs. It details three primary city housing goals which directly relate to the Parkview Specific Plan include: first, “encouraging a wide range of housing by location, type of unit, and price;” second, “to provide for all persons regardless of race, religion, sex, marital status, ancestry, national origin, or color;” and third “encourage the proper utilization of undeveloped residential areas of the City.”

This Specific Plan fulfills these needs by providing a variety of housing types, densities and prices open to all individuals in a cohesively designed master planned setting. Section 4, Development Components and Section 5, Development Standards support the opportunity for a variety of residential structures to be built within the Specific Plan Area.

3.5 NOISE

While the Parkview property is currently vacant and not a source of noise, there is the potential for noise impacts along Baldy Mesa Road a super arterial and La Mesa Road a residential arterial. The Noise Element of the General Plan provides goals, policies and implementation measures with regard to noise factors. Potential Future Noise Contours, Baldy

Mesa Planning Area, Figure 1, identifies La Mesa Road as 65 dba, 76 feet from median and Baldy Mesa Road 65dba, 88 feet from median.

The City established a noise standard for all new development. In the case of single family residential development, the City Noise Element states: “New residential development in those areas identified as having a CNEL of 65 dB or greater will have to have a noise study performed to determine what level of sound insulation, if any, is required to meet the acceptable interior noise levels as established by the City”, Page 12, City of Victorville General Plan – Noise Element. These studies shall be provided for each phase prior to building permit issuance.

The subject site area is not within the parameters of the Southern California Logistics Airport facility noise contours and will not be affected by noise generated at lower flight paths. (Potential Future Noise Contours Figure 12, City of Victorville General Plan Southern California Logistics Airport Community Plan Element)

3.6 SAFETY

The Safety component of the City General Plan identifies standards for public health and safety for natural and man-made hazards. Generally, the areas covered by the Safety component address seismic, slope, flood, hazardous materials, fire, police, and medical emergencies.

The site does not occur within proximity of an active fault zone, 100-year flood plain, and does not include any significant slope. Existing slopes are at the most five (5) percent gradient. The overall site is two (2) percent gradient. This was identified in the Geotechnical Investigation for 169 Acres Victorville Site APN 3313-051-01, 071-01 Northeast of Baldy Mesa and La Mesa Roads, Victorville, CA, October 20, 2005, 05-113-01.

Measures found in the Uniform Building Code that reduce fire hazards will be incorporated into construction plans, where applicable. Public Safety needs are provided through appropriate development fees or service districts if determined to be necessary by the City.

3.7 RESOURCES

3.7.1 Water

The Specific Plan is within the Alto Water Basin and is within the service area for the Baldy Mesa Water District. Water resources for the project area are from wells managed by the Baldy Mesa Water District and a future reclaimed water system currently being developed to serve the project area. Development fees will contribute to ensure that water will be provided to the site in addition to the required water improvements that extend water lines throughout the Specific Plan Area in compliance with City Engineer approvals.

The Victorville General Plan includes water conservation as a key element. The Project will implement water conservation measures adopted by the Baldy Mesa Water District as well as water conservation regulations of the City of Victorville. Parks and the paseo system will include drought tolerant and native species in the landscape design to promote additional water conservation practices. Paseos and trails adjacent to the drainage ways are a part of the drainage system that assists in irrigating adjacent landscape. The Specific Plan implements City policies to conserve water throughout the development area through design and construction practices. The neighborhood park, parkways, trails and paseos within the LMAD's will be designed to use reclaimed water once it is available. When reclaimed water services are made available to the Specific Plan Area, subsequent Tentative Tract Maps shall comply with BMWD and the City of Victorville requirements.

3.7.2 Geologic Resources

The General Plan designates and classifies potential mineral resource areas throughout the City. The Parkview Specific Plan Area, similar to a vast majority of the City, is located in the designation of MRZ-3a, which are areas of undetermined mineral resource significance. In terms of gas and oil resources, the General Plan states that it is very unlikely that petroleum in commercial quantities exists in the Western Mojave Desert region. The soils are consistent with the overall Mojave Desert alluvial plain areas. The Geotechnical Due Diligence Summary Report, RMA Group, provided August 2, 2005 did not identify any natural resources related to gas, oil or petroleum on the site. (Refer to Geotechnical Investigation for 169 acres of Victorville Site, APN 3313-051-01, 071-01, Northeast of Baldy Mesa Road and La Mesa Road, Victorville CA, RMA Geotechnical Consultants, October 20, 2005, 05-113-001).

A preliminary review indicates no active faults in the immediate vicinity of the property. Prior to development a geotechnical report will be completed to determine that the property is suitable for development, subject to appropriate construction techniques and practices. This may be completed during tentative tract map processing stages subject to City Engineers' approval.

3.7.3 Air Quality

According to the General Plan, the Parkview Specific Plan Area is located within the Mojave Desert Air Basin under the jurisdiction of the Mojave Desert Air Quality Management District (MDAQMD). The air quality region is in a non-attainment status. This Specific Plan is following the direction of development as identified in the Baldy Mesa Planning Area, Figure 3 in the City of Victorville General Plan. Further reference to Air Quality is discussed in the City's General Plan Resource Element, Air Quality, Page 30.

3.7.4 Solid Waste Management

The General Plan encourages a reduction in the amount of solid waste generated in the City to be disposed of in landfills. Burrtec Waste Industries, Inc. has a contract with the City to provide solid waste disposal. Burrtec Waste Industries, Inc. sorts recyclables at its processing facility (Material Recycling Facility, (MRF) 1700 Abbey Ln., Victorville) and accepts recyclable items from the public. Solid waste refuse is collected by Wrightwood Disposal under a franchise agreement with the City of Victorville for the service area where the Specific Plan is located. It is anticipated that future development can be supported by Burrtec Waste Industries, Inc. and the existing City contract.

3.7.5 Open Space

Park requirements are based on Quimby fees and acreage requirements such as three (3) acres per 1,000 residents. The General Plan considers parks and recreational linkages (paseos) as a form of active open space and encourages the development of bike paths and/or pedestrian trails. The Specific Plan includes a total of ten (10) acres of land designated for a neighborhood park. Open space does not include the additional network of paseos within the residential neighborhood. The Specific Plan also includes landscaped (non-active) open space along the frontage on Baldy Mesa Road, La Mesa Road, Luna Road, and Braceo Road, as well as additional open space within a combined paseo/storm drainage conveyance whose acreage will be quantified through future hydrologic studies and tentative tract maps.

3.7.6 Biological

On-site vegetation is classified as Mojave creosote bush scrub dominated by creosote bush (*Larrea tridentata*), burrow weed (*Ambrosia dumosa*), ephedra (*Ephedra* sp.), indigo bush (*Psoralea* sp.), buckwheat (*Eriogonum* sp.), and wishbone bush (*Mirabilis* sp.). Joshua Trees (*Yucca brevifolia*) are also present and distributed throughout the site. Understory species include common fiddleneck (*Amsinckia menziesii*), phacelia (*Phacelia* sp.), lupine (*Lupinus* sp.), desert mariposa lily (*Calochortus kennedyi*), and exotic species such as filaree (*Erodium* sp.) and non-native grasses.

A Biological Resources Assessment, including an analysis of the existing flora, was prepared by PCR as a separate document, Biological Resource Study, PARKVIEW, City of Victorville, California. August 2005.

For the relocation and removal of Joshua Trees, and in accordance with Ordinance No. 1224 regulating the preservation and removal of Joshua Trees, such activity will require approval by the Park Division prior to any grading or other relocation activity. A Joshua Tree Report was prepared by PCR and complies with City guidelines; Joshua Tree Report, PARKVIEW, City of Victorville, California, September 2005. Mitigation measures identified in the project's environmental document stipulates the requirements for the removal and relocation of Joshua Trees.

The Specific Plan includes newly landscaped streetscapes, paseos, trails and parks. All areas will be planted according to the Specific Plan design guidelines with native and drought resistant plants selected from the Plant Palette in Appendix B, Design Guidelines, Section 6.0 Landscape Architecture Guidelines, or as otherwise approved by City staff.

In terms of faunal resources, although the General Plan lists nine possible threatened/endangered species within the City, based on the Biological Resources Study, PARKVIEW, City of Victorville, California, August 2005, only one threatened/endangered species, the Mohave ground squirrel, has the potential to occur within the Parkview Specific Plan Area. Further environmental review may be necessary prior to grading permits.

3.7.7 Cultural/Historic

The City of Victorville General Plan states "...recorded paleontological and archaeological resource recovery sites are widespread throughout the General Plan area..." and "...the existence of rich paleontological and archaeological resources may present some challenges for future development." With this in mind, Statistical Research, Inc. (SRI), the Specific Plan's archaeological consultant, conducted several site visits and reviewed existing City and consultant reports relevant to the Specific Plan Area. These efforts identified four historical-period resources in and adjacent to the Project area. Refer to Cultural Resources Survey of APN's 3133-051-01 and 3133-071-01, Victorville, San Bernardino County, California, SRI, December 2005.

These resources include two previously recorded road segments. Neither of the road segments can be conclusively associated with a significant person in the history of California, nor do they embody a distinctive time or method of construction. Furthermore, one of the road segments has undergone extensive alteration and is no longer consistent with its original alignment. Both road segments have been documented extensively and are not expected to yield any new information. Refer to SBR-4252H and SBR4418H in the Cultural Resources Survey of APN's 3133-051-01 and 3133-071-01, Victorville, San Bernardino County, California, SRI, December 2005.

Two newly-discovered refuse deposits were identified. Neither refuse deposits found within the Specific Plan Area could be precisely dated making it difficult to associate them with important trends in land use of this area. Additionally, there is limited potential for either site

to be associated with significant buried features or artifacts. Refer to SBR-12115H and SBR-12116H in the Cultural Resources Survey of APN's 3133-051-01 and 3133-071-01, Victorville, San Bernardino County, California, SRI, December 2005.

For the reasons discussed above, none of the historical-period resources discovered are recommended as eligible for listing in the California Register of Historical Resources (CRHR). Similarly, nothing found inside the project area represents a "unique archaeological resource" as defined by California Environmental Quality Act (CEQA).

4 DEVELOPMENT COMPONENTS

4.1 LAND USE PLAN

The Parkview Specific Plan is a master planned community that includes residential, neighborhood commercial, public facilities and open space land uses.

The residential areas encompass approximately 126 acres of land, which include a mix of low Parkview Residential 7000 (4 du/ac), Parkview Residential 6000 (6 du/ac), Parkview Residential 5000 (6 du/ac), and Parkview Condominium (12.5 du/ac) housing products. A total of up to 715 homes are planned with a variety of styles and floor plans to help meet the needs of a broad cross section of the market.

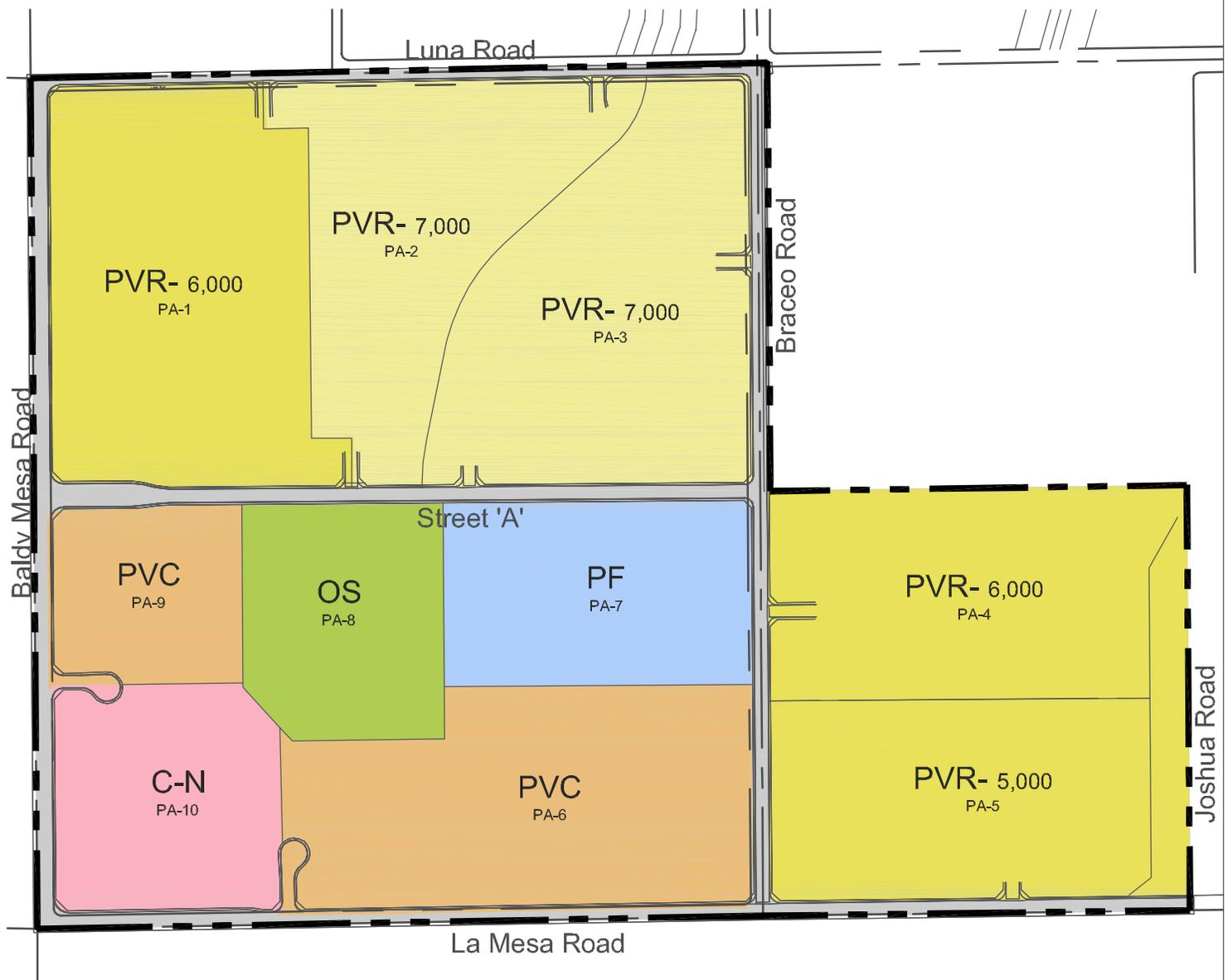
A Neighborhood Commercial area of eleven (11) acres is planned at the northeast intersection of Baldy Mesa and La Mesa Roads. The Neighborhood Commercial area is retail oriented to provide the necessary support services for the Specific Plan area and neighboring projects.

A Public Facility area is being provided for a potential future school site. This site is approximately twelve (12) acres in size. The public facility is centrally located in the specific plan to encourage walking with the use of paseos and trails. A potential school site, Planning Area 7 (PA-7), is available to the Snowline Joint Unified School District (SJUSD) if it desires to purchase the property. Refer to Section 6.3.4, Conversion of Public Facility Land Use to Residential Land Use, for other requirements to convert the intended school site to residential use.

The Open Space land use area includes an approximate ten (10) acre park site. An extensive open space/paseo system, that interconnects the various land uses, provides Parkview residents pedestrian access to the neighborhood commercial, public facility, and open space areas. This system is inclusive in the Residential and Commercial land use areas and in addition to the ten (10) acre park site.

Exhibit 8, Land Use Plan identifies the location of the various neighborhoods and park site. Table 1 Parkview Land Use Summary Table summarizes the various land uses by planning area and its components.

Exhibit 9, Conceptual Open Space/Paseo Plan, identifies the backbone open space framework in the Specific Plan Area.



LEGEND	
<u>Land Uses</u>	
PVR	Parkview Residential 7,000 (4 du/ac)
PVR	Parkview Residential 6,000 (6 du/ac)
PVR	Parkview Residential 5,000 (6 du/ac)
PVC	Parkview Condominium (12.5 du/ac)
OS	Open Space
PF	Public Facility
C-N	Neighborhood Commercial
	Roadway
<u>Other</u>	
	Specific Plan Boundary
PA-1	Planning Area #

Table 1. Parkview Land Use Summary Table

Specific Plan Land Use	Planning Area	Approximate Acres	Maximum Net Density (du/ac)	Planned Dwelling Units
Residential Land Uses				
Parkview Residential 7000 (4 du/ac)	2	18	4.0	65
	3	21	4.0	76
Parkview Residential 6000 (6 du/ac)	1	22	6.0	110
	4	19	6.0	92
Parkview Residential 5000 (6 du/ac)	5	18	6.0	88
Parkview Condominium (12.5 du/ac)	6	21	12.5	208
	9	7	12.5	76
<i>Residential Subtotals</i>		126		715

Specific Plan Land Use	Planning Area	Approximate Acreage Allocation
Non-Residential Land Uses		
Open Space Neighborhood Park	8	10
Neighborhood Commercial	10	11
Public Facility	7	12
Roads		18
<i>Non-Residential Subtotals</i>		51
Total		177



LEGEND

- COMMUNITY TRAIL
- PASEO/ COMMUNITY TRAIL
- SIDEWALK CIRCULATION
- * BENCH NODES ON PASEO
- PEDESTRIAN ENTRY POINT
- PASEO ACCESS POINTS

4.2 CIRCULATION

4.2.1 Circulation Component

Exhibit 10, Circulation Plan, illustrates a backbone road system that provides efficient vehicular travel in and around the community. The plan consists of the location and right-of-way widths for arterial and collector streets. Local residential street alignments will be reviewed and approved by the City Engineer during the subsequent tentative tract map processes. Typical street sections are shown in Exhibits 11a and 11b, Street Sections.

Access to the Project will be provided via the transportation roadway network depicted in the Victorville General Plan Circulation Element, Circulation Plan Sheet 2 of 2, Figure 2. Along the Specific Plan west and south frontage, Baldy Mesa Road, a super arterial, and La Mesa Road, a residential arterial shall be designed consistent with the City's General Plan subject to approvals by the City Engineer.

Exhibits 11a and 11b, Street Sections, illustrate cross sections of the streets in the immediate vicinity of the Specific Plan area. Direct access into the Specific Plan area is from adjacent arterial streets through community entryways to reduce potential vehicle conflicts at intersections and maintain arterial traffic flow. All perimeter roads will be constructed consistent with the General Plan Circulation Element, half section improvements as appropriate or half sections plus twelve (12) feet subject to the City Engineers approval.

4.2.2 Circulation System

Roadways within the residential neighborhood developments will provide adequate internal circulation and connections to the arterial and collector streets. The street layout encourages a traditional neighborhood streetscape and is designed to discourage through traffic within the residential neighborhoods. The primary access routes will be from La Mesa Road and Baldy Mesa Road. As mentioned earlier, future tentative tract maps will provide greater detail in street patterns throughout the Specific Plan Area and will focus on more site specific issues.

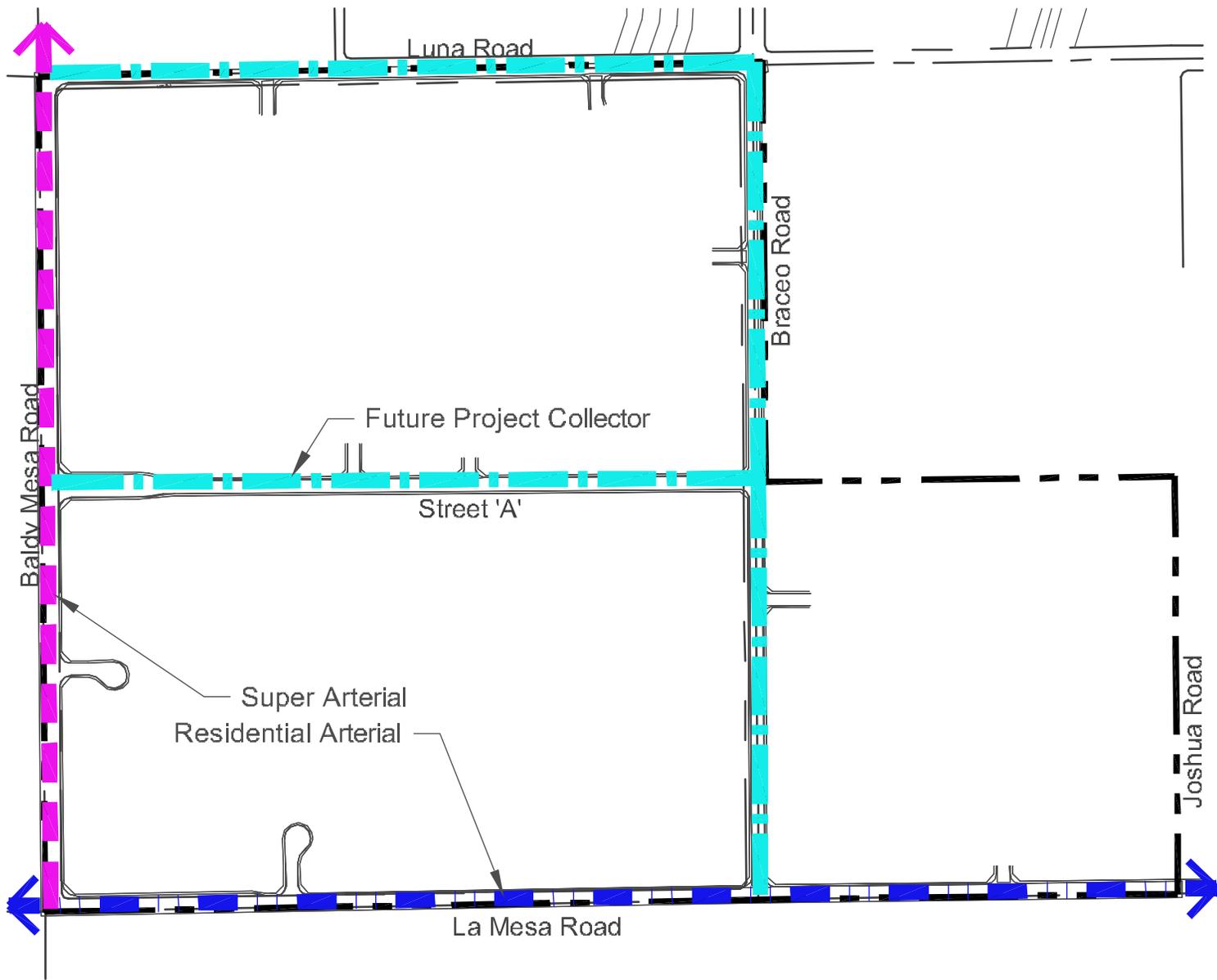
4.2.3 Implementation

Roadways will be constructed to assure continuity of the circulation system with other development. The following General Plan roadways will be constructed on the Specific Plan boundaries:

- La Mesa Road, an east-west Residential Arterial, will be constructed along the Specific Plans south property frontage, ½ section plus twelve (12) feet.
- Baldy Mesa Road, a north-south Super Arterial, will be constructed along the Specific Plans west frontage, ½ section plus twelve (12) feet.

- Braceo Road, a north-south Major Collector, will be constructed full section south of Street “A”, and ½ section plus twelve (12) feet north of Street “A”.
- Luna Road, an east-west Major Collector, will be constructed, ½ section plus twelve (12) feet along the Specific Plans north frontage.

Construction of General Plan roadways beyond the property frontage may be required in order to provide access to the Specific Plan. When this occurs twenty-six (26) feet of pavement will be constructed for functional connectivity to the rest of the circulation plan. This will be dependent on the timing and extension of planned roadways by other development projects in the vicinity which occur in advance of this Specific Plan. All internal streets will be improved to their full width. All street designs and roadways are subject to review and approval by the City Engineer.



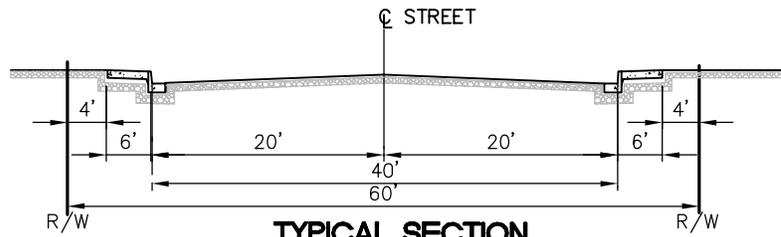
LEGEND

Land Uses

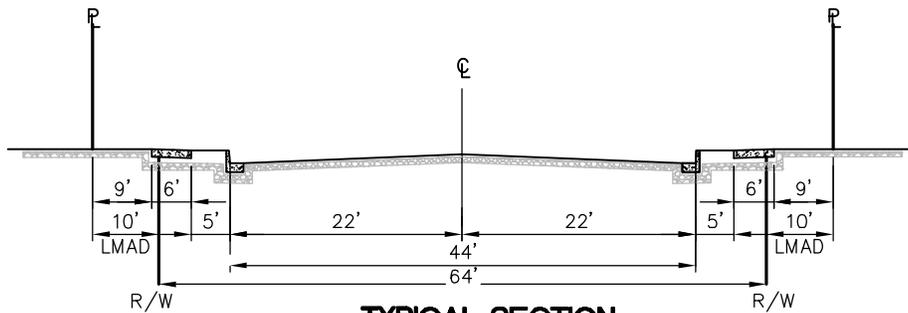
- SuperArterial
- Residential Arterial
- Collector

Other

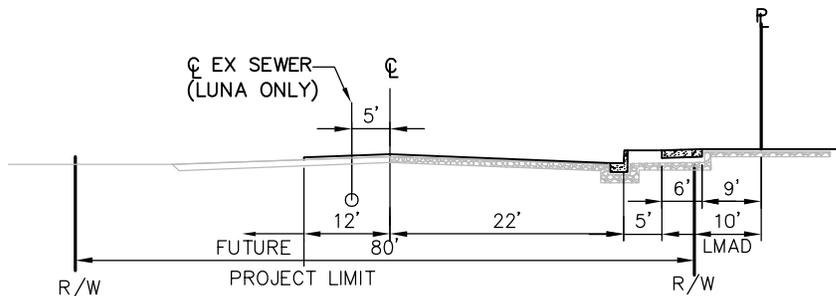
- Specific Plan Boundary



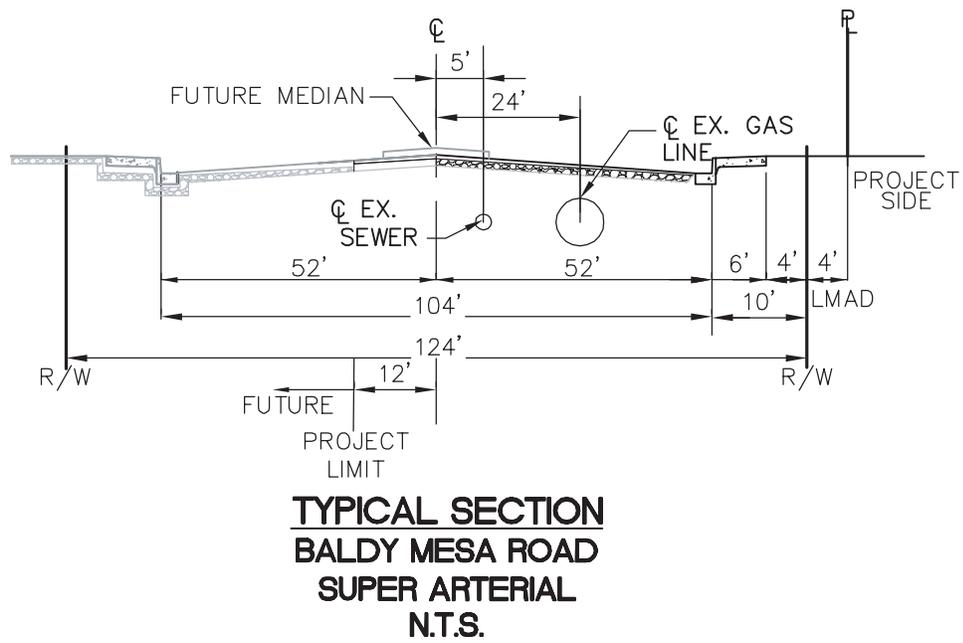
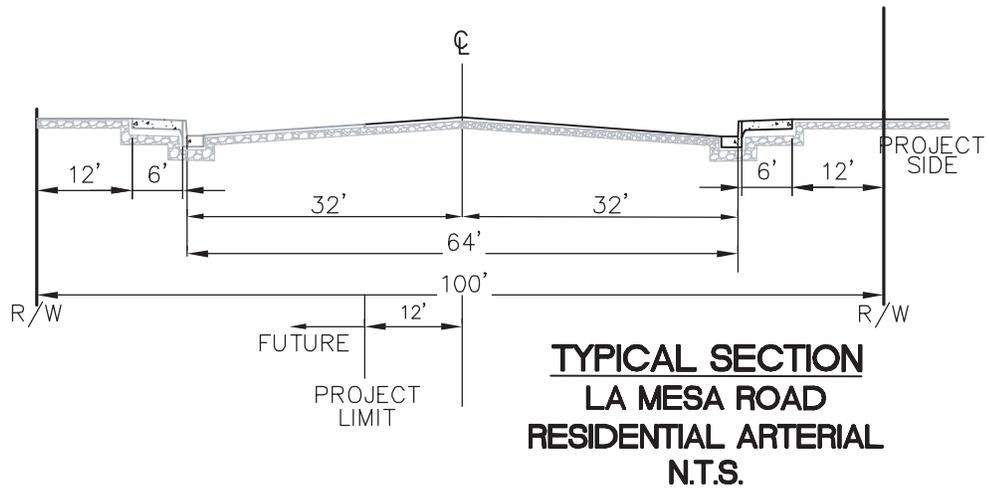
TYPICAL SECTION
MINOR COLLECTOR STREET (LOCAL)
N.T.S.



TYPICAL SECTION
MAJOR COLLECTOR STREET
BRACEO ROAD (SOUTH OF STREET 'A')
STREET 'A'
N.T.S.



TYPICAL SECTION
MAJOR COLLECTOR STREET
BRACEO ROAD (NORTH OF STREET
'A') & LUNA ROAD
N.T.S.



4.3 INFRASTRUCTURE

Public services include potable water delivery, wastewater collection, reclaimed water, storm drainage management, parks, schools, solid waste disposal, and the provision for electricity, natural gas and telecommunications. The infrastructure concept plans are intended to meet the needs of the residents at build out of this Specific Plan and support the extension of master plan services for future development in the area.

4.3.1 Potable Water Distribution

Potable water will be supplied by the Baldy Mesa Water District (BMWD). Exhibit 12, Proposed Reclaimed Water Plan identifies future reclaimed water service provisions. Exhibit 13, Proposed Water Plan identifies the major water distribution lines required to serve this area. Water lines will be constructed from the Specific Plan area to two existing points of connection in Braceo Road and Aster Road. A 12-inch water line will be extended north in Braceo Road from La Mesa Road to Maricopa Road. A 12-inch line will be constructed in La Mesa Road from Baldy Mesa Road to a second point of connection at Aster Road. BMWD will also require subsequent tentative tracts to construct 12-inch water lines in Baldy Mesa road and Luna Road. Internal distribution will be provided by a looped network of 8-inch water lines to provide adequate pressure and fire flow to meet the demands of the planned community.

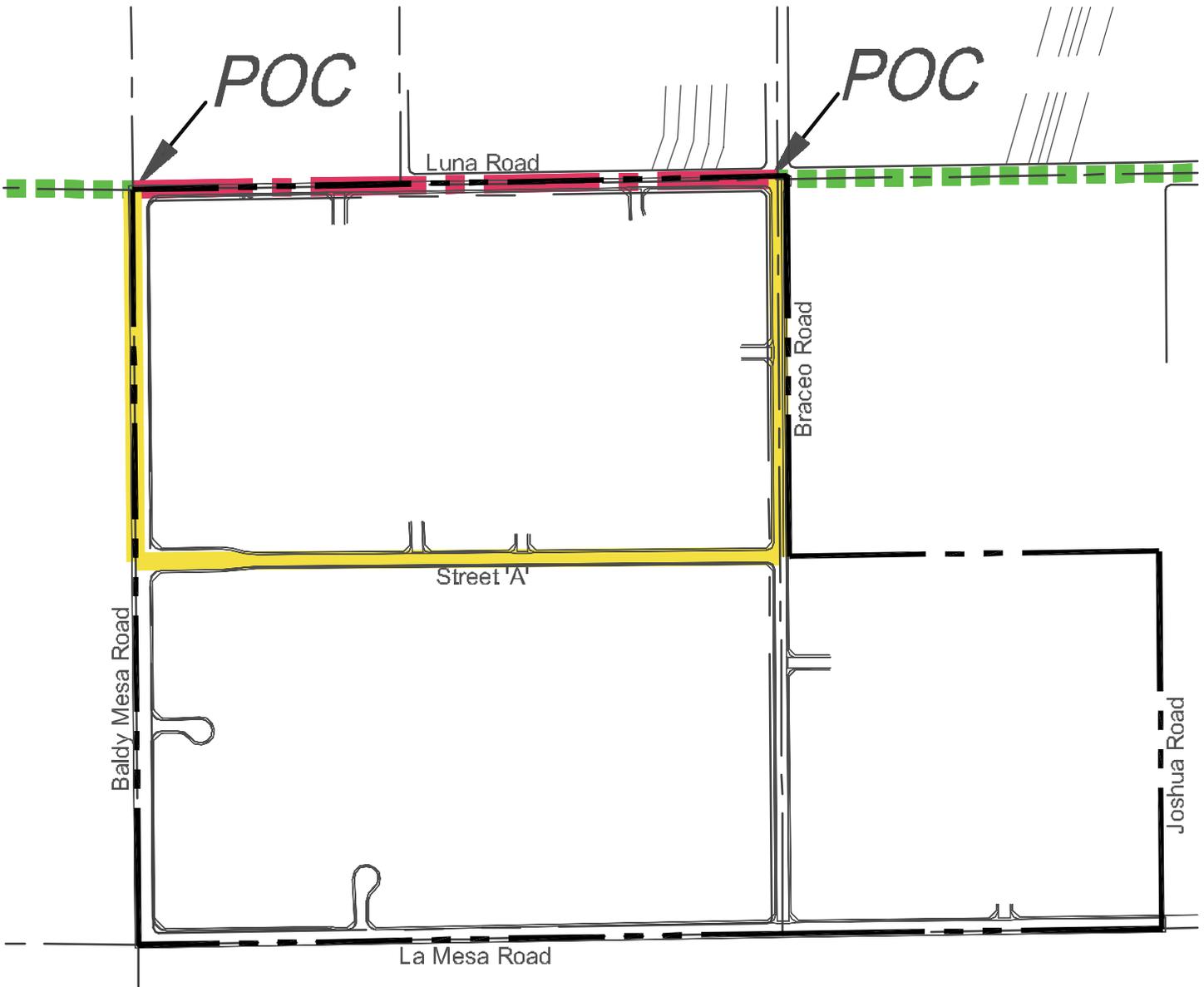
The water lines shown on the Proposed Water Plan and Proposed Reclaimed Water Plan have been submitted for plan check review and are anticipated to be in place in advance of grading for subsequent tentative tract maps.

Financing of water facility improvements will use mechanisms adopted by BMWD. These can include bonds, community facility district (CFD) assessments, fees and developer funded construction. BMWD charges connection fees for each new residential unit. Subsequent tentative tract maps are subject to development impact fees in order to provide service to the Specific Plan area.

4.3.2 Reclaimed Water Distribution

Due to the expected growth of the City of Victorville, it is the desire of Baldy Mesa Water District (BMWD) to have a reclaimed water system in the area. This system is expected to provide water for landscaping purposes in parks, Landscape Maintenance Assessment Districts (LMAD), etc. Once in place this will take a considerable burden off of the potable water supply within the region.

The preliminary plan is to have an 18-inch reclaimed water line within Luna Road from White Road to Bellflower Street.



LEGEND

- Proposed 8" Reclaimed Water
- Proposed 18" Reclaimed Water
- - - Proposed 18" Rec. Water (by others)
- POC Point of Connection

Exhibit 12
**Proposed Reclaimed
 Water Plan**

Parkview

Lewis Operating Corp.



LEGEND

- · — Proposed 8" Water
- · — Proposed 12" Water
- - - Proposed 12" Water (By Others)
- - - Proposed 18" Water (By Others)
- · - Pressure Zone Boundary
- POC Point of Connection

Note: 8" mains will be used on all interior streets

Subsequent tentative tract maps will install the line adjacent to the Specific Plan Area between Baldy Mesa Road and Braceo Road. Also subsequent tentative tract maps will install 8-inch purple pipe in Baldy Mesa Road from Luna Road south to Street “A”, easterly in Street “A” to Braceo Road, then northerly in Braceo Road back to the 18-inch line in Luna Road. This can serve the park, school, and LMAD’s. The Plan for the reclaimed water system is still under review, therefore, the alignment and sizing of pipes is likely to change.

Financing for these facilities can use mechanisms adopted by BMWD. These can include bonds, community facility district assessments, fees, and developer funded construction. Developer funded construction can be supplemented with reduction in fees for upsizing lines or providing master planned facilities.

4.3.3 Wastewater Collection and Treatment

The Specific Plan is located in the Victorville Sanitary District. The District operates the local sewage collection system which conveys sewage to an interceptor pipeline. The interceptor pipeline takes sewage to a regional sewage treatment facility operated by the Victor Valley Wastewater Reclamation Authority (VWRA). The District is within the service area of VWRA. The VWRA has adequate capacity (and proposed expansion) to serve future development within its service area.

Exhibit 14, Proposed Sewer Plan shows the existing sewer lines in Baldy Mesa Road and Luna Road adjacent to the Specific Plan area. Subsequent tentative tract maps will connect to the existing 15- or 18-inch sewer line in Luna Road and potentially the 18-inch line in Baldy Mesa Road. Internal collection will be in a gravity network of 18-inch pipes.

Prior to recordation of any final tract maps, agreements with the City of Victorville for sewer service will be completed. Sewer connection fees will be collected for each unit when building permits are issued.



LEGEND

- — — Existing Sewer
- — — Proposed Sewer (By Others)
- POC Point of Connection

Note:

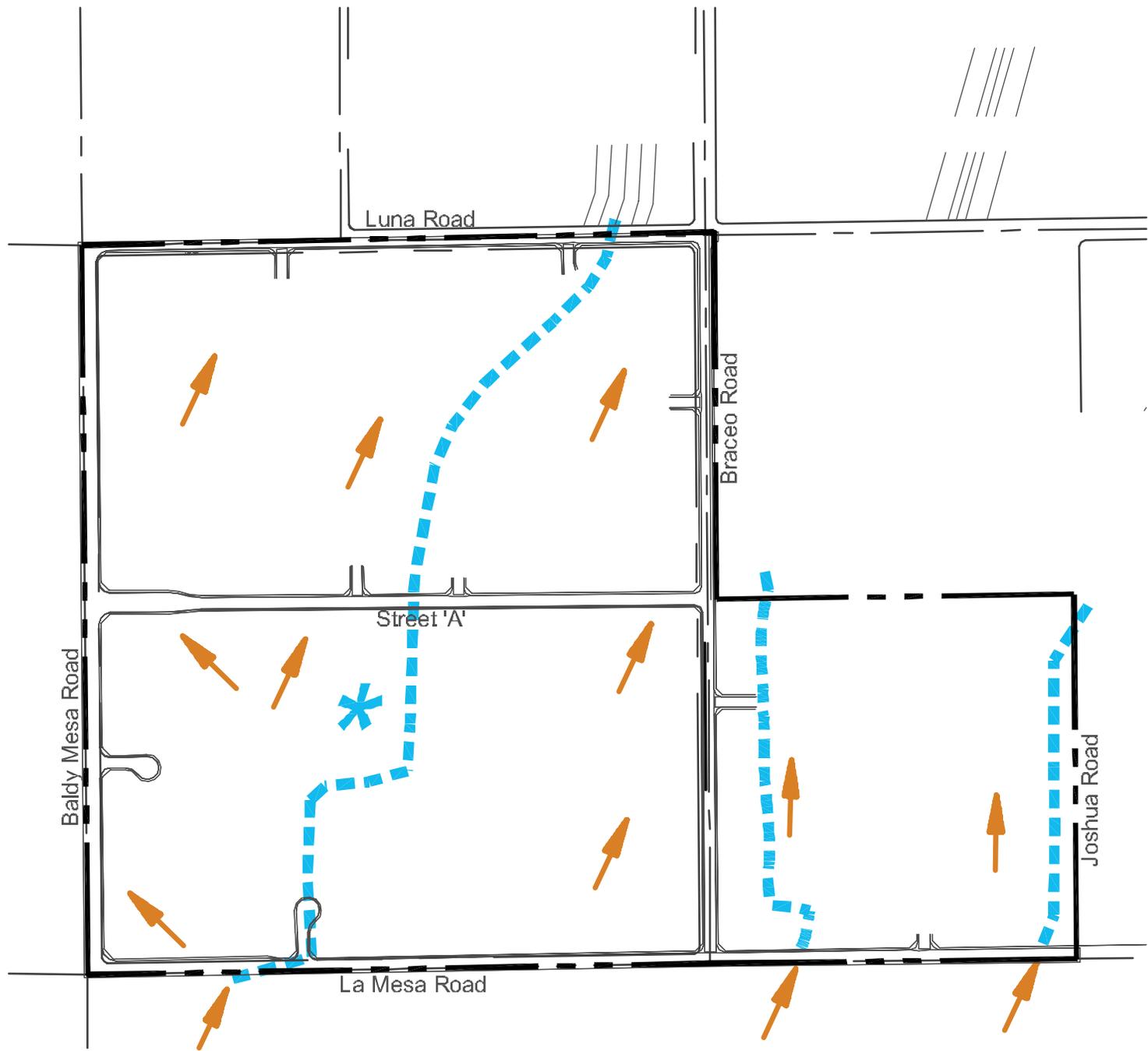
1. 8" mains will be used on all interior streets
2. All existing mains flow north or east

4.3.4 Stormwater Management and Grading

The property slopes downward in a north easterly direction. The surface drainage occurs as sheet flow and collects in four (4) existing ephemeral drainages that eventually flow toward the Mojave River. These four drainages are incorporated into the land use plan in the street and paseo trail system to maintain the existing drainage pattern through the development. The increase in runoff (difference between the historical flow and post development flow) will be detained on site in a joint use park/detention basin facility (if required) and released when there is capacity in the drainage system and existing down stream drainage courses. Refer to Exhibit 15, Proposed Drainage Plan.

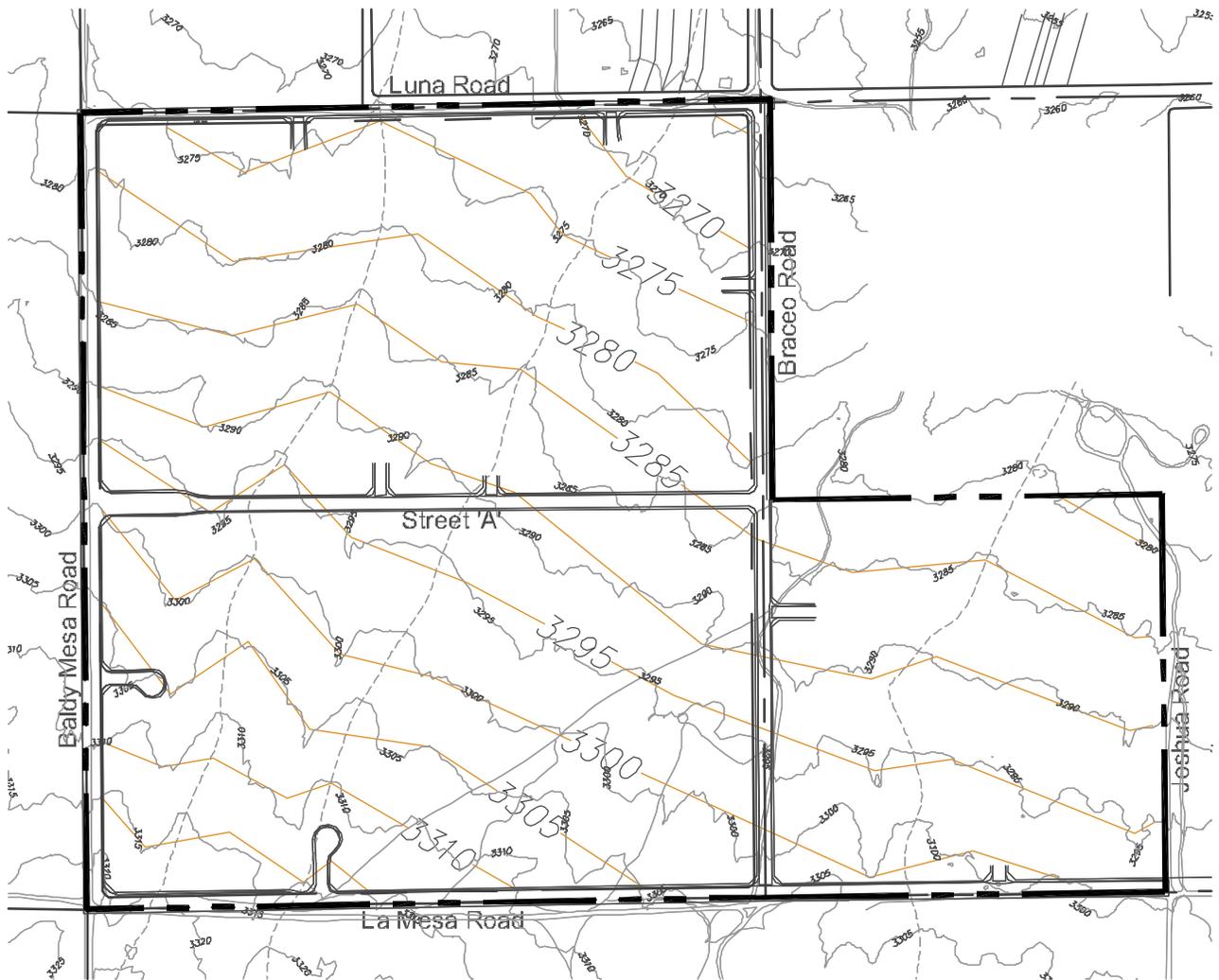
Conveyance capacity for the existing off-site flows from the upstream drainage sheds will be provided by a combination of on site streets and the construction of swales/channels, and underground facilities.

Conceptual grading is shown on Exhibit 16, Proposed Grading Plan. The grading concept follows the natural topography to the greatest extent possible to minimize required earthwork, maintain historical drainage patterns and ensure surface water flows are released to elevations below pad grades protecting structures from possible flooding.



LEGEND

-  Proposed Storm Drain Facility (Surface or Sub-surface)
-  Direction of Flow
-  Detention Facility



LEGEND

-  Denotes Design Contours
-  Denotes Existing Contours

4.4 PHASING

Parkview will be phased over an approximate two to three year period. The rate and spatial phasing of the development will be determined by local and regional market demand. The following outlines the phasing requirements of all public and private facilities for on and off-site improvements and how they will be phased in relationship to future development.

4.4.1 Water System Phasing

The water system will be constructed on site on a phased basis as development progresses within each Planning Area. The portion of the water system to serve a given area shall be operational for fire safety purposes prior to the delivery of combustible framing material on-site, or as approved by the Fire Department. This will be subject to approval of Final Tract Maps. Domestic service shall be available prior to Certificate of Occupancy for each home.

4.4.2 Sewer System Phasing

On-site sewer system facilities required to serve a given area in the Specific Plan shall be constructed and operational prior to the first Certificate of Occupancy for any permanent structure on-site. These facilities and associated landscaping improvements shall be fully constructed and operational to facilitate the development of planning area, as reviewed and approved by the City.

4.4.3 Drainage System Phasing

The Specific Plan Community Design Elements that follow in Section 4.5 are significant in establishing the on-site drainage system facilities required to serve a given area in the Specific Plan. These facilities shall be constructed and operational prior to the first Certificate of Occupancy for any permanent structure on-site. These facilities and associated landscaping improvements shall be fully constructed and operational to facilitate the development of planning area, as reviewed and approved by the City.

4.4.4 Street Improvement Phasing

All proposed streets and LMAD's within the Specific Plan boundaries shall be constructed to serve proposed development and provide adequate emergency access as approved by the City Engineer and Victorville Fire Department. These improvements will be phased through tentative tract map processes to facilitate development of each planning area.

4.4.5 Public Park Phasing

Upon approval of the Specific Plan, the public park shall be offered for sale to the City of Victorville pursuant to the Park Development Agreement between the applicant and the City of Victorville Community Services Department.

Prior to a final map recordation within the Specific Plan, the applicant/developer shall enter into a development agreement with the City regarding the construction of the Park (Planning Area-8). Prior to the completion of construction the Parks shall be granted in fee simple to the City of Victorville pursuant to the development agreement.

The construction of the Park shall commence prior to the issuance of the first residential certificate of occupancy, and the Park shall be completed within 18 months of the issuance of the first residential certificate of occupancy within The Parkview Specific Plan.

The park is also anticipated to be used for storm water detention and water quality purposes and will be designed to help solve regional drainage and water quality issues within the watershed. It is anticipated that the phasing and construction of storm water and water quality features of the park may also need to be phased and constructed on a temporary basis or in advance of the development of the park. The design of the park will be subject to the review and approval of the Director of Community Services.

4.4.6 Public School Phasing

The applicant shall offer Planning Area 7 to the Snowline Joint Unified School District (SJUSD) for the acquisition of a future school site. Upon approval of the Specific Plan, Planning Area 7 shall be acquired by SJUSD as outlined through a School Acquisition Agreement between the applicant and SJUSD. In the event a School Acquisition Agreement is not reached then the designated Public Facility Land Use for Planning Area 7 shall abide by the process set forth in Section 6.3.4, Conversion of Public Facility Land Use to Residential Land Use.

4.5 COMMUNITY DESIGN ELEMENTS

The Specific Plan Community Design Elements that follow establish a distinctive character for Parkview:

- These design elements will work to unify and create continuity in the various neighborhoods and assure the creation of an overall upscale community identity.
- The network of pedestrian and bike paths planned within open space/paseos will create a strong community linkage and a network access to the various residential neighborhoods and associated land uses with minimum street crossings.

The major community design elements listed below are described in general context and illustrated to reflect the character of the community in the following sections:

- community entries
- neighborhood entries
- community theme walls
- paseos with trails
- streetscapes
- landscape material guidelines

All public area landscape will be maintained by a Landscape Maintenance Assessment District (LMAD). Greater details of these design elements are in Appendix B, Design Guidelines, Section 6.0 Landscape Architecture Guidelines.

Exhibit 18, Conceptual Park Plan provides an example of the overall community design scheme for a neighborhood park.

4.5.1 Community Entries

Two major community entries are located along Baldy Mesa Road and La Mesa Road. The overall community identity begins at these key entry areas. Natural stone or cultured stone masonry, natural earth tone finishes and enhanced landscaping will be incorporated. Refer to Exhibit 17, Illustrative Plan and Exhibit 19, Community Entry Plan and Perspective that illustrates the overall character at these locations.

4.5.2 Neighborhood Entries

The neighborhood entries are located within each of the various neighborhoods. They extend the natural stone elements and warm earth tones established at the community entries, providing inviting elements with a rich bronze or tile inset identifying each neighborhood. Neighborhood entries are further illustrated in Exhibit 20, Neighborhood Entry Plan and Perspective. Exhibit 21, Neighborhood Entry Plan at La Mesa Road and Residential Side of Shared Commercial Entries illustrates the design elements for these particular entry ways.

4.5.3 Paseos and Trails

Paseos will create an attractive open space element for the community. Within these areas, a paved bikeway/pedestrian walk will be provided. These pathways will interconnect the majority of neighborhoods and provide a method for children and adults to bike or walk throughout the community. Refer to Exhibit 9, Conceptual Open Space/Paseo Plan, and Exhibit 22, Paseo Plan.

4.5.4 Streetscapes

Continuity is created through the design of the streetscapes. The Super Arterial (Baldy Mesa) will include four (4) feet of additional landscape area in addition to the City minimum standard to enhance the overall community theme. Exhibit 23, Bracey Road Streetscape Plan provides an example of the entryway from La Mesa Road and a wide landscaped corridor abutting the residential properties to the east. Exhibit 24, Corner Treatment, provides a conceptual example of how street corner designs enhance the arterial intersection. Streetscapes are further described in Exhibits 25, Streetscape Plan and 26a and 26b, Streetscape Sections.

4.5.5 Community Theme Walls

Refer to Exhibit 27, Wall and Fence Plan. The natural earth tones extend to the perimeter of the community with the community theme walls shown on Exhibit 28, Wall and Fence Details. Pilasters will be incorporated at key points along the community walls that face a street and paseo/trail with a maximum separation of 100 feet. All perimeter walls shall be a minimum six (6) feet high and constructed of masonry material with natural earth tone colors to compliment the entry themes and overall community character. “Split face” masonry community theme walls shall be required when the wall faces a street and along the paseo/community trail. Refer to Appendix B for more Landscape Architecture Guidelines.

A six (6) foot high community theme wall or combination wall may be constructed in Planning Areas 6, 7, 8, and 9 except where indicated on Exhibit 27, Wall and Fence Plan. The walls to be constructed along these boundaries must follow the same design and materials as previously set forth in order to maintain visual continuity.

4.5.6 Street Visible Perimeter Walls

Street Visible Perimeter fencing or walls shall be six (6) feet in height and should be either block or combination block and tubular steel. Walls should have continuity throughout the neighborhood using the same materials. Planning Area perimeter walls may be combination walls where applicable. Community theme walls where applicable shall not be combination walls.

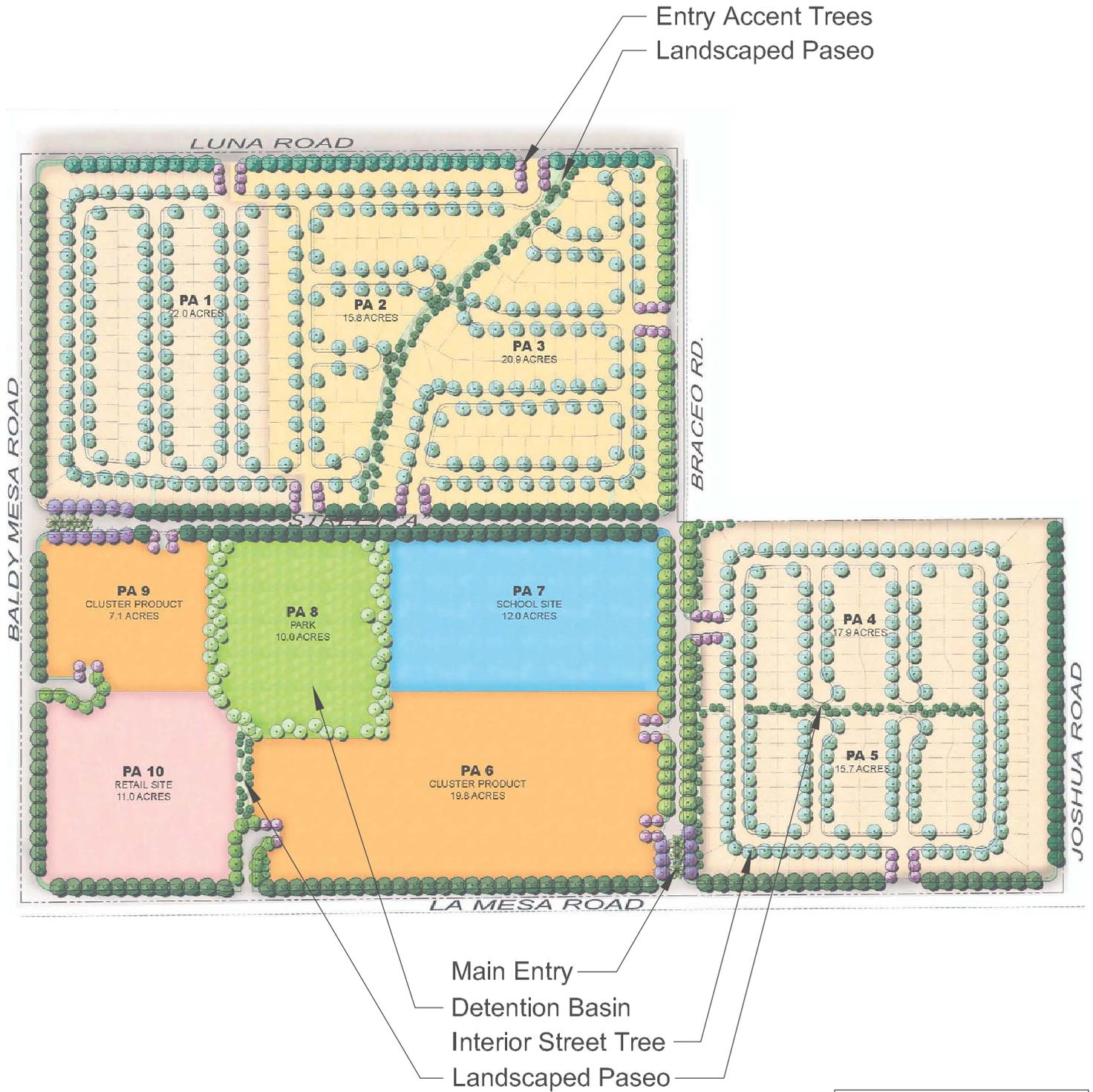
Refer to Section 6.9, Walls and Fencing, in Appendix B, Design Guidelines.

4.5.7 Neighborhood Walls and Fences

Refer to Section 6.9, Wall and Fencing, in Appendix B, Design Guidelines.

4.5.8 Landscape Material Guidelines

To assure the continuity throughout the streetscapes, paseos and other common landscape areas, a palette of plant materials has been selected. The materials have been selected based on their compatibility with the climate and with the overall character of the community. The landscape palettes may be supplemented subject to approval by the Development Director. Refer to Appendix B. Design Guidelines, Section 6.0 Landscape Architecture Master Plant List.



Note: Interior road configurations are conceptual only to illustrate intent. Actual road alignments will be finalized during tentative tract / final map preparation.

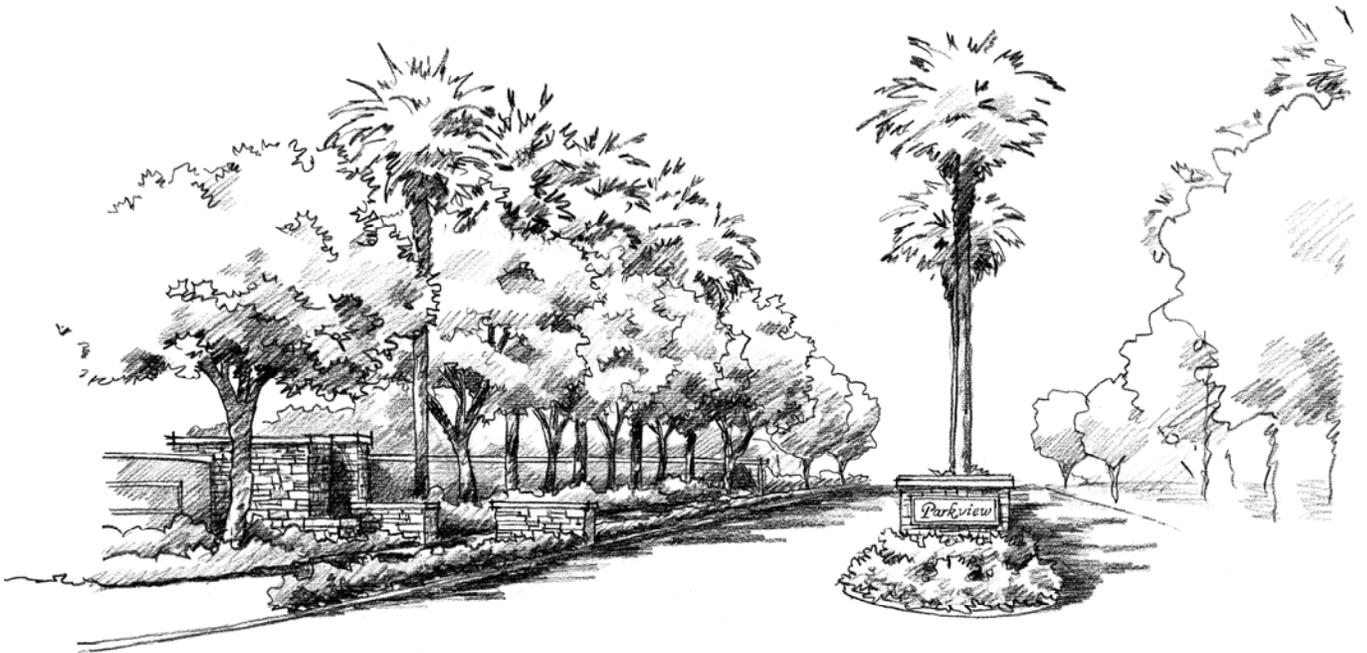
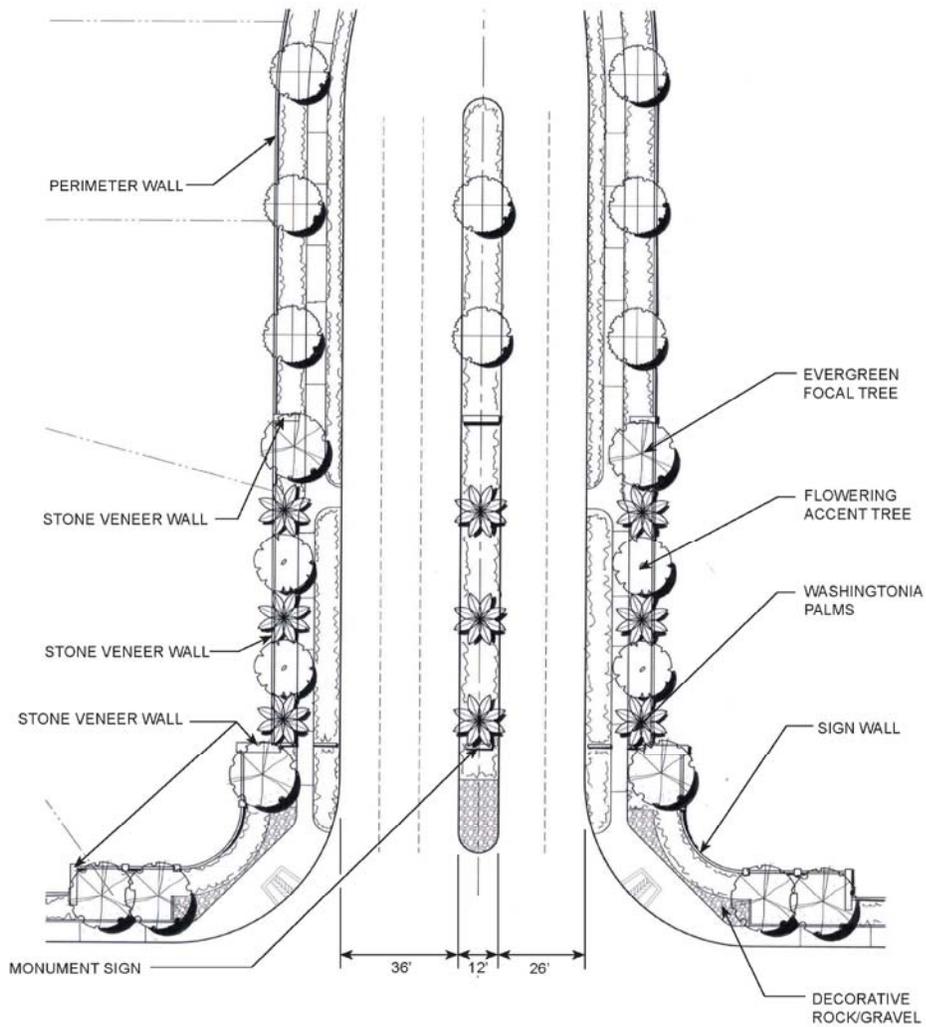


Note: Interior road configurations are conceptual only to illustrate intent. Actual road alignments will be finalized during tentative tract / final map preparation. Park layout is conceptual only.

Parkview

Lewis Operating Corp.

Exhibit 18 Conceptual Park Plan



Parkview
Lewis Operating Corp.

Exhibit 19
Community Entry
Plan and Perspective

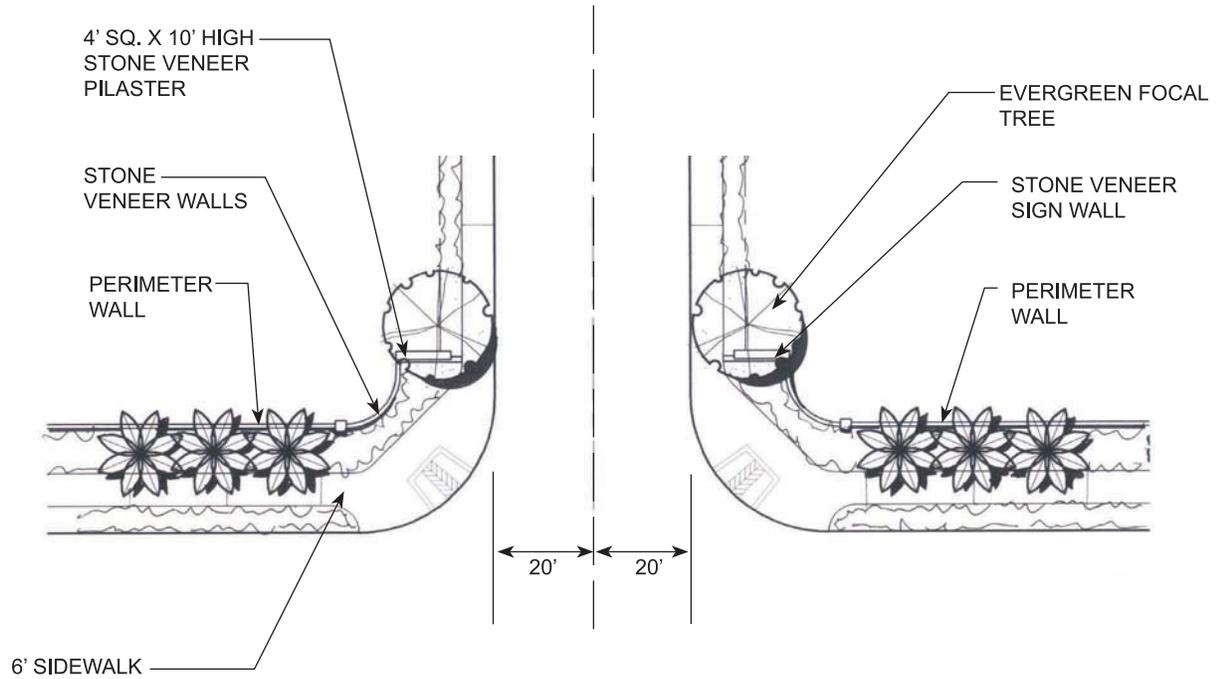
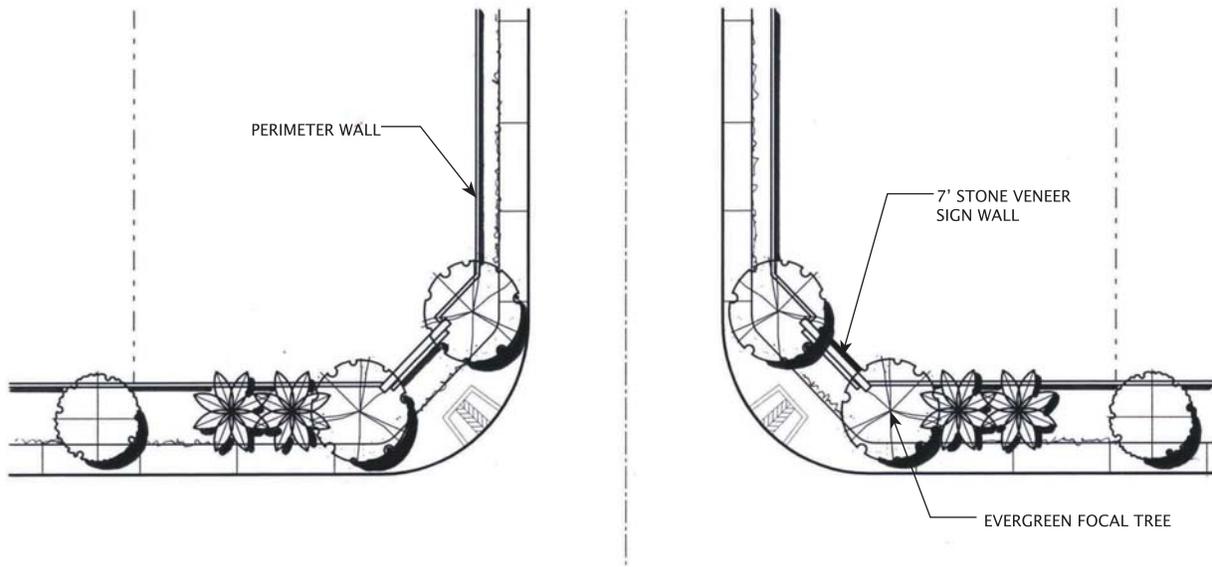


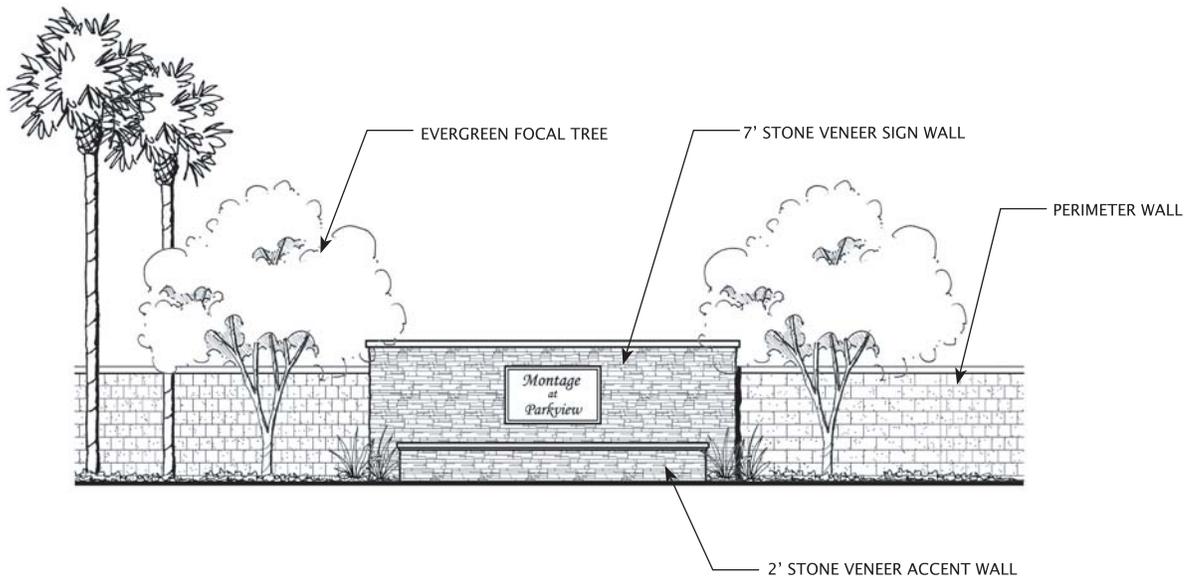
Exhibit 20
*Neighborhood Entry
 Plan and Perspective*

Parkview

Lewis Operating Corp.



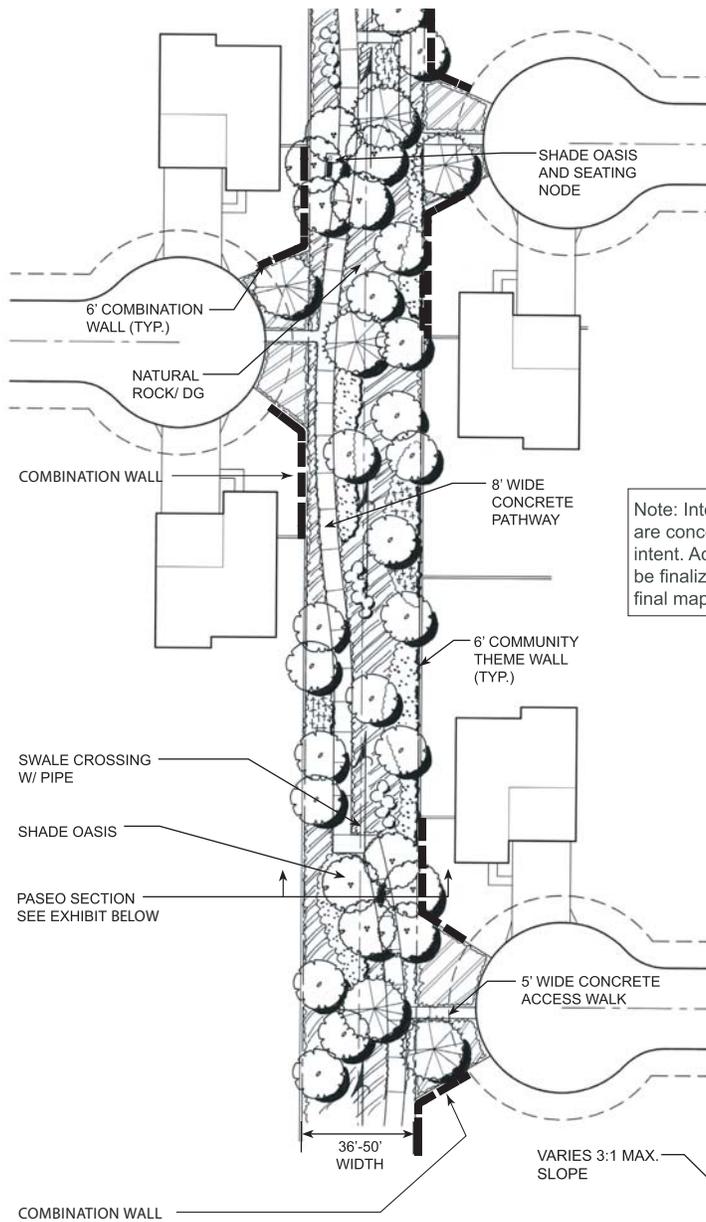
LA MESA ROAD



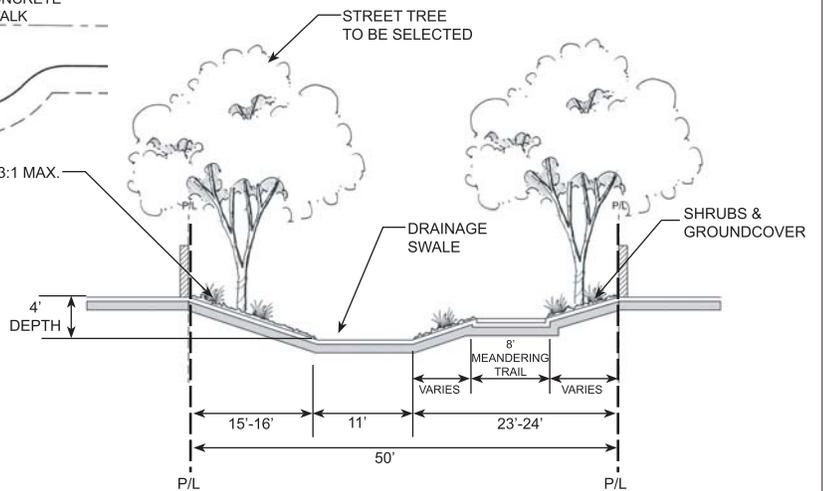
Parkview

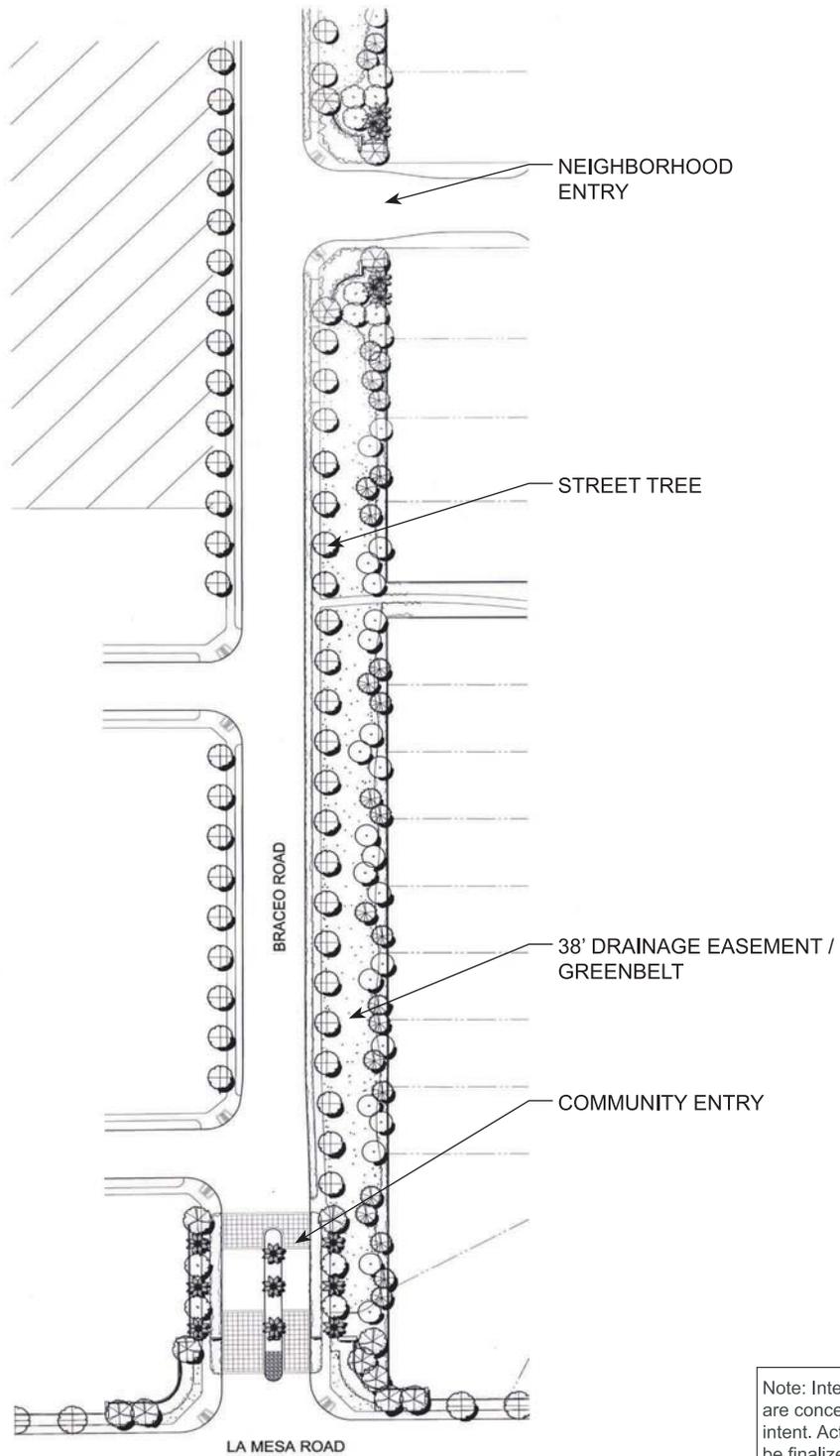
Lewis Operating Corp.

Exhibit 21
*Neighborhood Entry Plan at La Mesa &
 Residential Side of Shared Community Entries*



Note: Interior road configurations are conceptual only to illustrate intent. Actual road alignments will be finalized during tentative tract / final map preparation.



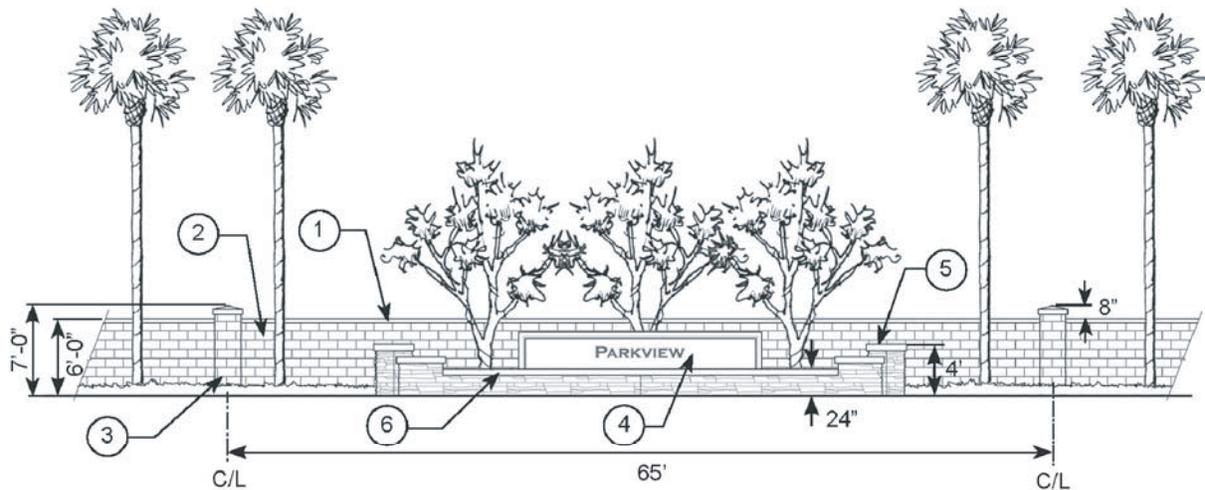
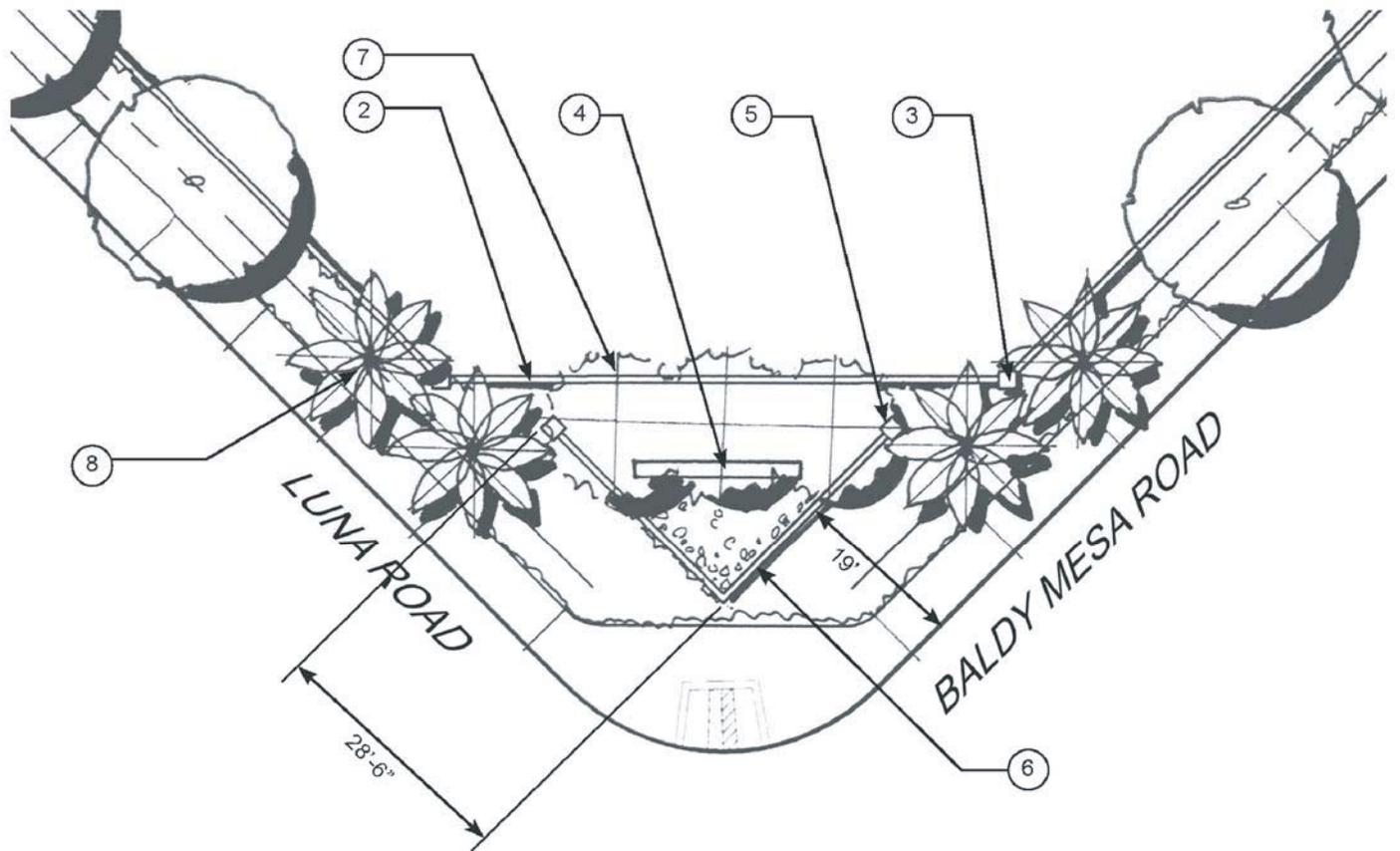


Note: Interior road configurations are conceptual only to illustrate intent. Actual road alignments will be finalized during tentative tract / final map preparation.

Parkview

Lewis Operating Corp.

Exhibit 23 Braceo Road Streetscape Plan



- | | |
|--|--|
| <p>① 8"x4"x16" SPLITFACE BLOCK CAP BOTH SIDES, COLOR TO BE #300 BY ANGELUS BLOCK, GROUTED SOLID.</p> <p>② 6"x8"x16" SPLITFACE BLOCK (1) SIDE; COLOR TO BE # 200 BY ANGELUS BLOCK.</p> <p>③ 24" SQ. COMMUNITY THEME PILASTER + 6"x8"x16" SPLITFACE BLOCK: COLOR TO MATCH WALL CAP. + COLOR CONCRETE PRE-CAST CAP</p> <p>④ 36" HIGH STUCCO SIGN WALL W/ PRECAST CAP.</p> <p>⑤ (2) 30" SQ. DECORATIVE PILASTER W/ PRECAST CAP</p> | <p>⑥ 24" HIGH STONE VENEER PLANTER WALL W/ PRECAST CAP.</p> <p>⑦ TRANSPLANTED JOSHUA TREES ACCENTED WITH AESTHETIC UPLIGHTS</p> <p>⑧ WASHINGTONIA PALMS ACCENTED WITH AESTHETIC UPLIGHTS</p> |
|--|--|

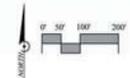
Parkview

Lewis Operating Corp.

Exhibit 24 Corner Treatment

LEGEND

-  PRIMARY COMMUNITY ENTRY
-  NEIGHBORHOOD ENTRY
-  PASEO
-  BALDY MESA ROAD STREETSCAPE
-  LUNA ROAD STREETSCAPE
-  LA MESA ROAD STREETSCAPE
-  BRACEO ROAD NORTH STREETSCAPE
-  COMMUNITY TRAIL

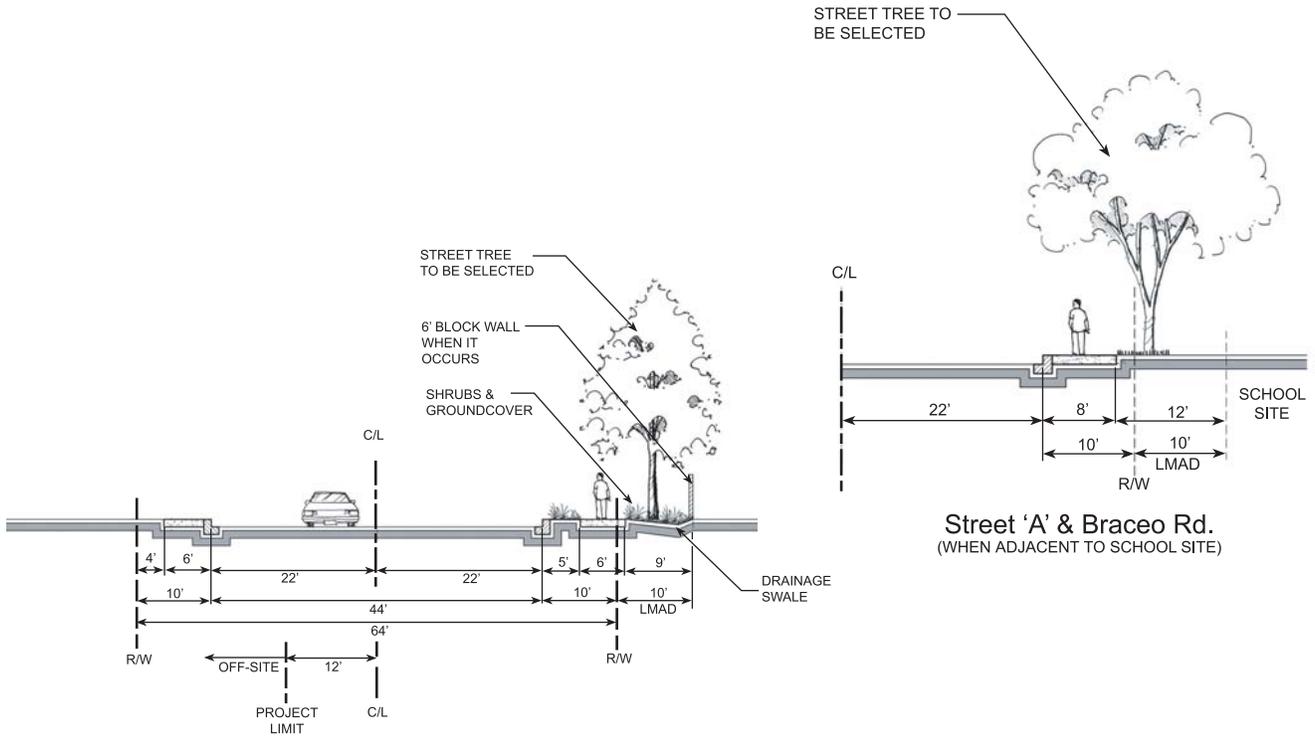


Note: Interior road configurations are conceptual only to illustrate intent. Actual road alignments will be finalized during tentative tract / final map preparation.

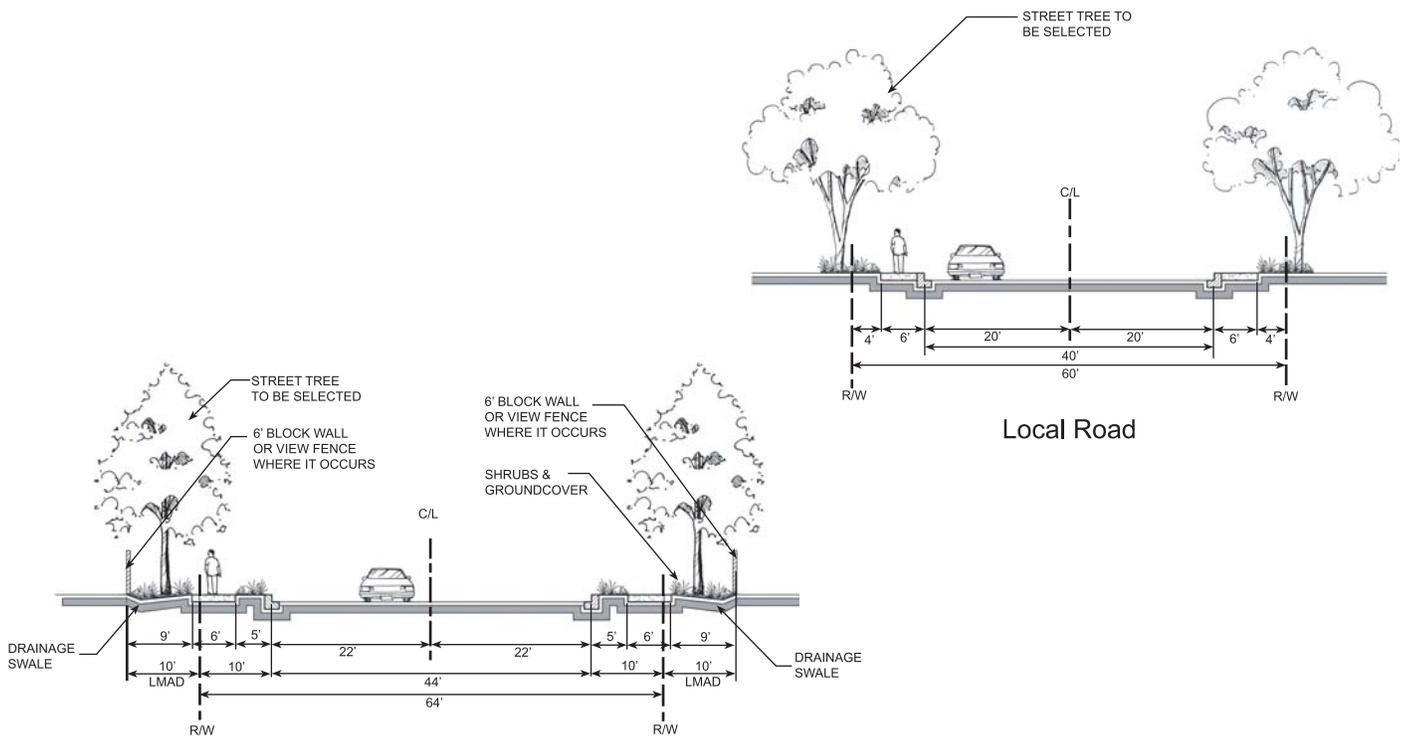
Parkview

Lewis Operating Corp.

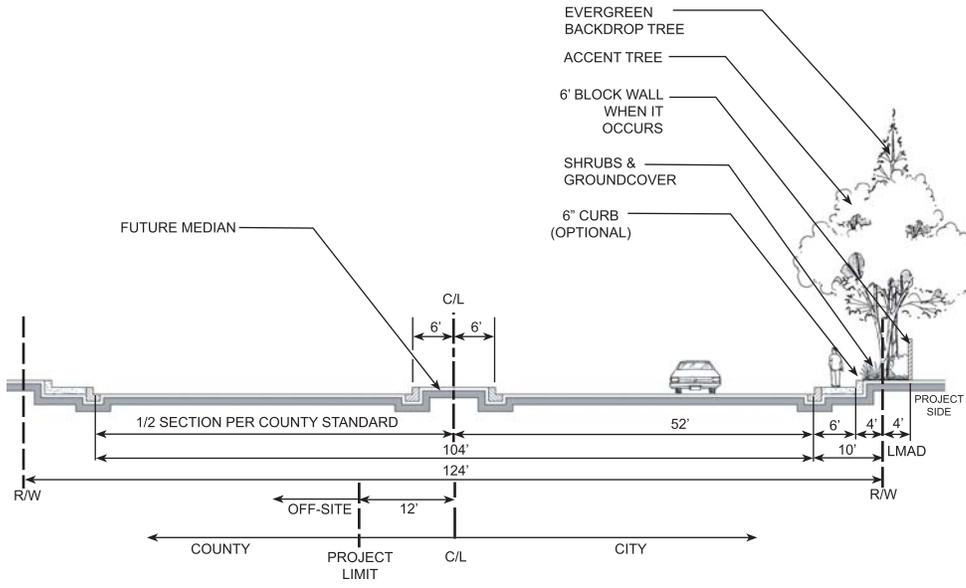
Exhibit 25 Streetscape Plan



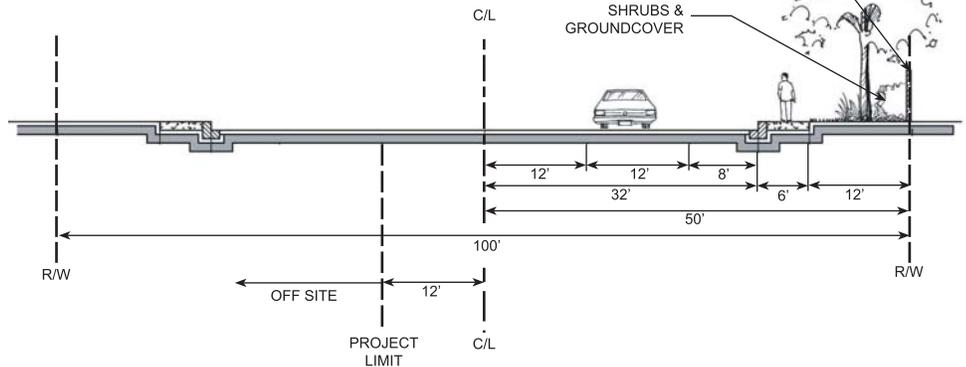
Major Collector - Luna Rd. & Braceo Rd.



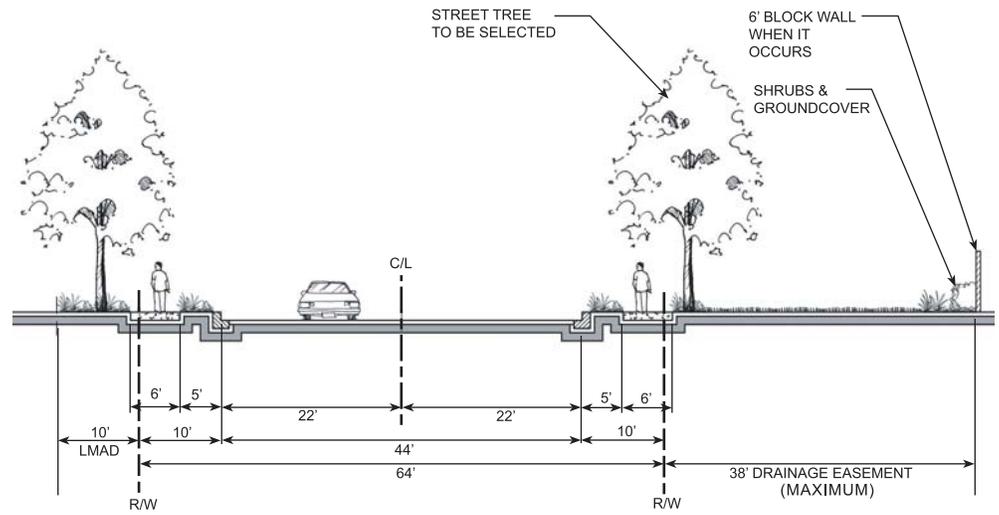
Major Collector - Street 'A'



Super Arterial - Baldy Mesa Rd.



Residential Arterial - La Mesa Rd.



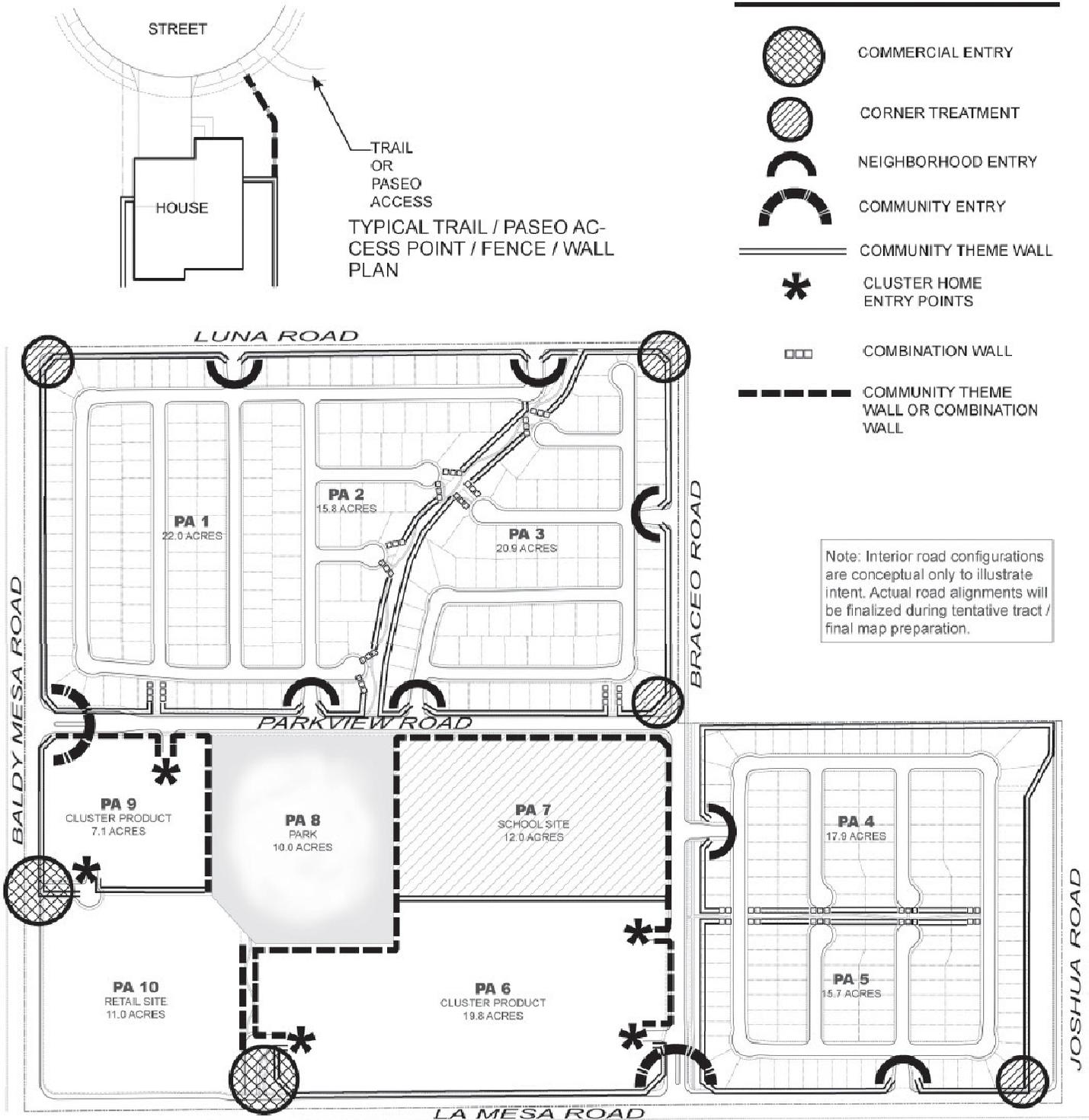
Braceo Road - South of Street 'A'

Exhibit 26b
 Streetscape
 Sections

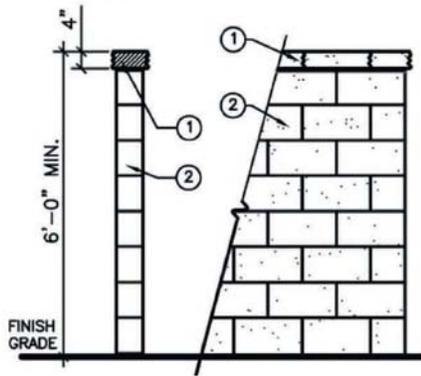
LEGEND

-  COMMERCIAL ENTRY
-  CORNER TREATMENT
-  NEIGHBORHOOD ENTRY
-  COMMUNITY ENTRY
-  COMMUNITY THEME WALL
-  CLUSTER HOME ENTRY POINTS
-  COMBINATION WALL
-  COMMUNITY THEME WALL OR COMBINATION WALL

Note: Interior road configurations are conceptual only to illustrate intent. Actual road alignments will be finalized during tentative tract / final map preparation.

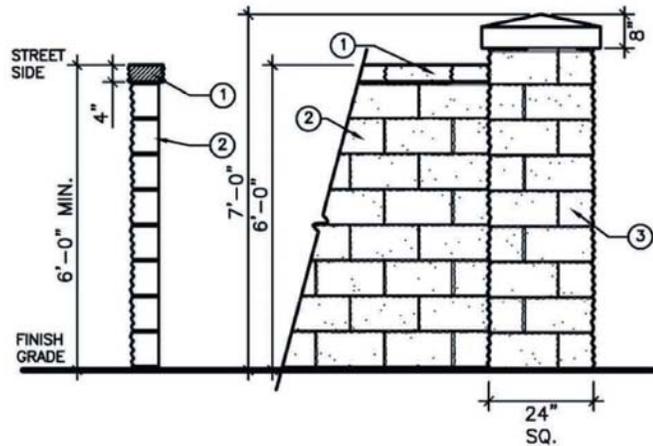


- ① 8x4x16 SPLITFACE BLOCK BOTH SIDES, COLOR TO BE #300 BY ANELUS BLOCK, GROUTED SOLID.
- ② 6x8x16 SPLITFACE BLOCK (1) SIDE, COLOR TO BE #200 BY ANGELUS BLOCK, GROUTED SOLID.

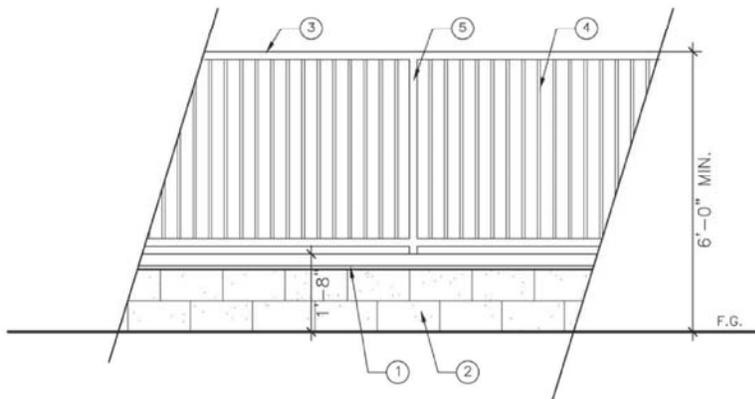


6' PRECISION BLOCK WALL

- ① 8x4x16 SPLITFACE BLOCK BOTH SIDES, COLOR TO BE #300 BY ANELUS BLOCK, GROUTED SOLID.
- ② 6x8x16 SPLITFACE BLOCK (1) SIDE, COLOR TO BE #200 BY ANGELUS BLOCK, GROUTED SOLID.
- ③ COMMUNITY THEME PILASTER
 - * 6x8x16 SPLITFACE BLOCK, COLOR TO MATCH WALL CAP
 - * COLOR CONCRETE PRE-CAST CAP



6' SPLIT FACE BLOCK WALL
(COMMUNITY THEME WALL)



COMBINATION WALL

- ① 8x4x16 SPLITFACE BLOCK BOTH SIDES, COLOR TO BE #300 BY ANELUS BLOCK, GROUTED SOLID.
- ② 6x8x16 SPLITFACE BLOCK (1) SIDE, COLOR TO BE #200 BY ANGELUS BLOCK, GROUTED SOLID.
- ③ 2"x 1-1/2" 12 GA. TUBULAR STEEL, TOP & BOTTOM RAILS LAY FLAT.
- ④ 5/8" SQ. 16 GA. TUBULAR STEEL FENCE PICKETS @ 4" O.C. MAX. (TYP.).
- ⑤ 2" SQ. 12 GA. TUBULAR STEEL FENCE POST @ 6'-0" O.C. MAX.

5 DEVELOPMENT STANDARDS

5.1 GENERAL PROVISIONS

5.1.1 Purpose and Objectives

Upon adoption of the Parkview Specific Plan, the development standards and procedures established herein become the governing zoning standards for land uses within the Parkview Specific Plan Area.

The Parkview development standards are established to protect and promote the public health, safety, convenience, and welfare of Parkview residents and the public as a whole. The development standards herein were developed in compliance with the spirit and intent of the Victorville General Plan and City Zoning and Development Code. The purpose of these standards is to provide for the classification of land uses and to define specific regulations for the orderly development of the Parkview Specific Plan. This Section is further supported by Design Guidelines outlined, described, and illustrated in Appendix B, Design Guidelines.

5.1.2 Planning Area Summary and Statistical Listing

The Parkview Land Use Summary Table (Table 1 in Section 4) provides a referenced summary of the information illustrated on the Exhibit 8, Land Use Plan. The Planning Area (PA) numbers reference specific land uses identified on Exhibit 17, Illustrative Plan.

5.1.3 Definition of Terms

Words, phrases and terms not specifically defined herein shall have the same definition as provided in the Victorville City Municipal Code.

5.1.4 General Plan Consistency

The Parkview Specific Plan is consistent with all elements of the Victorville General Plan by the approval and adoption process of the Planning Commission and City Council. Refer to Section 3, General Plan Relationship, for a more detailed discussion of the Specific Plan's relation to the General Plan Elements.

5.1.5 Development Code Consistency

Any details or standards not specifically covered by these development standards shall be subject to the regulations of the City of Victorville Municipal Code and Zoning Ordinance and applicable local, state and federal regulations. In case of differences between the development standards and the City's Municipal Code and Zoning Ordinance, these Specific Plan development standards shall prevail.

5.1.6 Construction Codes

All construction shall comply with applicable provisions of the Uniform Building Code and various other mechanical, electrical, and plumbing codes in effect at the time of construction.

5.1.7 Interpretation

These standards shall be held to be minimum requirements in their application and interpretation. No provision herein is intended to abrogate or interfere with any deed restriction, covenant, easement, or other agreement between parties. If there is dispute regarding the interpretation of any of these standards, the City of Victorville Development Director shall interpret the intent. Any person aggrieved by such an interpretation may request an interpretation by the Planning Commission. If this person is aggrieved by the interpretation of the Planning Commission, he/she may appeal to the City Council for a final determination.

5.1.8 Planning Area Permitted Density

The dwelling unit density permitted in any residential planning area, as designated in the Parkview Specific Plan, shall apply to the overall residential planning area and shall not be literal to any division thereof. Transfer of densities from individual planning areas shall be considered consistent with the General Plan and Specific Plan provided: a) the overall Specific Plan Project maximum of 715 dwelling units is not exceeded, and b) minimum lot size standards within the respective land use category are maintained. Refer to Section 6.3, Specific Plan Changes of this Specific Plan for further regulations

5.1.9 Interim Uses

Agricultural uses shall be permitted on the property until the property is developed in accordance with the Specific Plan.

5.1.10 City Council Declaration/Severability

If any section, subsection, sentence, clause, phrase, or portion of these standards is, for any reason, declared by a court of competent jurisdiction to be invalid or ineffective in whole or in part, such decision shall not affect the validity of the remaining portions thereof. The City Council hereby declares that they would have enacted these standards and each portion thereof, irrespective of whether one or more portions were declared invalid or ineffective.

5.1.11 Permitted Temporary Uses

In order to facilitate the development of the Specific Plan, the following temporary uses, and any others listed in the City Development Code, may be permitted within any of the development areas upon review and approval of a temporary use permit by the Development Director or his/her designee:

- Temporary construction facilities and parking areas for contractor's equipment during construction. Facilities shall be located away from existing residential areas and occupied units of the development.
- Real estate signs relating to the sale, lease, or other disposition of the real property on which the sign is located are regulated by the City sign ordinance, Chapter 18.62 of the Municipal Code.
- Christmas tree and Halloween pumpkin sales.
- Temporary tract sales offices within a commercial mobile home only until model homes become available for use as a sales office.
- Model homes, temporary real estate offices, temporary on-site construction offices, and any model homes to be used as a temporary tract sales office.

5.2 RESIDENTIAL LAND USE STANDARDS

The Parkview Community will provide a variety of residential opportunities. Development standards for the various residential land uses follow.

5.2.1 PARKVIEW RESIDENTIAL 7000 (PVR-7000) – up to 4 Dwelling Units per Acre, Planning Areas 2 and 3.

1. Description and Purpose

This designation permits the development of quality residential uses composed of individual single family homes with lot sizes of a minimum 7,000 square feet.

2. Permitted Uses

Only the following uses are permitted within this land use district subject to the standards and guidelines set forth in this Plan.

- Permanent single-family detached dwellings including garages.
- Accessory uses and structures customarily incidental to any permitted residential use including, but not limited to: community pedestrian/bicycle trails/paseos, parks, garages, carports, balconies, parking areas, walls and trellises, gazebos, patios, cabanas and storage sheds; swimming pools, spas, water fountains and related equipment and other recreational amenities; satellite dishes, solar collectors and related structures in

conformance with the City's guidelines; and other uses as regulated by the City of Victorville Municipal Code and Zoning Ordinance.

- Home occupations, subject to the provisions of the City of Victorville Municipal Code and Zoning Ordinance.
- Signs, for identification of the development only and subject to Development Department review. Other types of signs shall be prohibited.
- Temporary uses, as permitted by this Specific Plan.

3. Conditional Uses

The following uses are permitted only upon the issuance of a Conditional Use Permit pursuant to the provisions of the City of Victorville Municipal Code and Zoning Ordinance.

- Religious Facilities
- Community or Private Clubs
- Community Facilities
- Family Home Care/Day Care Centers/Pre-School/Nursery School
- Public/Private Schools/Privately Owned Recreational Facilities

4. Site Development Standards (Refer to Appendix B. Design Guidelines unless otherwise noted)

a. *Lot Coverage*

Building coverage shall not exceed 45% of the lot area.

b. *Lot Area*

7,000 square feet minimum.

c. *Lot Width*

Sixty (60) foot minimum at the front property line. Lots fronting on knuckles or cul-de-sacs may have a minimum frontage of twenty-five (25) feet at the front property line and sixty (60) feet measured twenty (20) feet from the front property line. Corner Lot width shall be sixty-five (65) feet minimum.

d. *Lot Depth*

Minimum lot depth shall be ninety-five (95) feet.

e. *Building Setbacks From Property Line*

(1) *Frontyard Setback*

Front facing garages shall maintain a minimum setback of twenty (20) feet. Side entry garages and the building face of living areas shall maintain a minimum setback of fifteen (15) feet. The front setback for a porch or balcony is ten (10) feet.

(2) *Sideyard Setback*

Five (5) feet minimum on one side and ten (10) feet on the other side. Dwelling units shall have a separation of fifteen (15) feet minimum. Minimum streetside or corner lot setback shall be ten (10) feet from property line.

(3) *Rear Setback*

Twenty (20) feet minimum. A ten (10) foot setback is required from the rear property line for garages in the rear yard.

(4) *Architectural Features*

Eaves, cornices, chimneys, fireplaces, bay windows, pot shelves bracket encroachments, cantilevered roofs, wing walls, and other architectural features may project into any required set back areas a maximum of two (2) feet.

(5) *Building Height*

Thirty-five (35) feet maximum.

(6) *Parking*

Minimum two (2) spaces within a garage in compliance with Title 18. All driveways shall be a minimum of twenty (20) feet in length from front property line to provide for guest parking.

(7) *Recreational Vehicles*

Recreational vehicles (e.g., boats, trailers, campers, and motor homes) are permitted in side yards ten (10) feet wide or greater and located behind the front yard setback. Access to the recreational vehicle parking or storage area shall be obtained from the public right-of-way only where said rights-of-way abut a front or side yard. Further, recreational vehicles can be stored provided: a) the required off-street parking areas are not utilized and access thereto is not obstructed; b) said R.V. parking shall be restricted only to those lots of adequate size so as to assure that the recreational vehicle is behind the front portion of the dwelling unit and is screened by a view-obscuring fence; and c) said recreational vehicles must be under the same ownership as either

the owner of the residential lot or the tenant, if the residence is being rented.

(8) *Accessory Structures*

Accessory structures shall conform to the City of Victorville Development Code, except as provided for in this section.

Refer to conceptual lotting plans in Appendix B. Design Guidelines, Section 3.2 PARKVIEW RESIDENTIAL 7000 and Exhibit B-1, 7000 Square Foot Lot Typical Plotting Concept.

(9) *Administrative Development Plan Requirement*

Building elevations and front yard landscaping shall be subject to administrative review by City Staff, prior to issuance of a building permit.

5.2.2 PARKVIEW RESIDENTIAL 5000 (PVR-5000) and PARKVIEW RESIDENTIAL 6000 (PVR-6000) – up to 6 Dwelling Units per Acre, Planning Areas 1, 4, and 5.

1. Description and Purpose

This designation permits the development of quality residential uses composed of individual single family homes with lot sizes ranging between 5,000 and 6,000 square feet with a minimum of 5,000 square feet.

2. Permitted Uses

Only the following uses are permitted within this land use district subject to the standards and guidelines set forth in this Plan:

- Permanent, single-family, detached dwellings, including garages.
- Accessory uses and structures customarily incidental to any permitted residential use including, but not limited to: community pedestrian/bicycle trails/paseos, parks, garages, carports, balconies, parking areas, walls and trellises, gazebos, patios, cabanas and storage sheds; swimming pools, spas, water fountains and related equipment and other recreational amenities; satellite dishes, solar collectors and related structures in conformance with the City's guidelines; and other uses as regulated by the City of Victorville Municipal Code and Zoning Ordinance.
- Home occupations, subject to the provisions of the City of Victorville Municipal Code and Zoning Ordinance.

- Signs, for identification of the development only and subject to Development Department review. Other types of signs shall be prohibited.
- Temporary uses, as permitted by this Specific Plan.

3. Conditional Uses

The following uses are permitted only upon the issuance of a Conditional Use Permit pursuant to the provisions of the City; of Victorville Municipal Code and Zoning Ordinance.

- Religious Facilities
- Community or Private Clubs
- Community Facilities
- Family Home Care/Day Care Centers/Pre-School/Nursery School
- Public/Private Schools/Privately Owned Recreational Facilities

4. Site Development Standards (Refer to Appendix B. Design Guidelines unless otherwise noted)

a. PVR-6000 (Planning Areas 1 and 4)

(1) Lot Coverage

6,000 Square Foot lots, 48% of lot area.

(2) Lot Area

6,000 square feet minimum.

(3) Lot Width

Fifty-five (55) foot minimum at the front property line. Lots fronting on knuckles or cul-de-sacs may have a minimum frontage of twenty-five (25) feet at the front property line and fifty-five (55) feet measured twenty (20) feet from the front property line. Corner lot width shall be sixty (60) feet minimum.

(4) Lot Depth

Minimum lot depth shall be ninety-five (95) feet.

b. PVR-5000 (Planning Area 5)

(1) Lot Coverage

5,000 Square Foot Lots, 50% of lot area.

(2) Lot Area

5,000 square feet minimum lot sizes.

(3) Lot Width

Fifty (50) foot minimum at the front property line. Lots fronting on knuckles or cul-de-sacs may have a minimum frontage of twenty-five (25) feet at the front property line and fifty (50) feet measured twenty (20) feet from the front property line. Corner lot width shall be fifty-five (55) feet minimum.

(4) Lot Depth

Minimum lot depth shall be ninety-five (95) feet.

c. Building Setbacks from Property Line

The following setbacks apply to both 5,000 and 6,000 square foot minimum lot products.

(1) Frontyard Setback

Front facing garages shall maintain a minimum setback of twenty (20) feet. Side entry garages and the building face of living areas shall maintain a minimum setback of ten (10) feet. Front porch or balcony shall be a minimum of six (6) feet from the front property line.

(2) Sideyard Setback

Five (5) feet minimum. Minimum streetside or corner lot setback shall be ten (10) feet from property line.

(3) Rear Setback

Fifteen (15) feet minimum. Ten (10) feet from rear property line for a single-story garage.

(4) Architectural Features

Eaves, cornices, chimneys, fireplaces, bay windows, pot shelves bracket encroachments, window boxes, cantilevered roofs, wing walls, and other architectural features may project into any required set back areas a maximum of two (2) feet.

(5) Building Height

Thirty-five (35) feet maximum.

(6) Parking

Minimum two (2) spaces within a garage in compliance with Title 18. All driveways shall be a minimum of twenty (20) feet in length from front property line to provide guest parking.

(7) Recreational Vehicles

Recreational vehicles (i.e., boats, trailers, campers, and motor homes) are permitted in side yards ten (10) feet wide or greater and located behind the front yard setback. Access to the recreational vehicle parking or storage area shall be obtained from the public right-of-way only where said rights-of-way abut a front or side yard. Further, recreational vehicles can be stored provided: a) the required off-street parking areas are not utilized and access thereto is not obstructed; b) said R.V. parking shall be restricted only to those lots of adequate size so as to assure that the recreational vehicle is behind the front portion of the dwelling unit and is screened by a view-obscuring fence; and c) said recreational vehicles must be under the same ownership as either the owner of the residential lot or the tenant, if the residence is being rented.

(8) Accessory Structures

Accessory structures shall conform to the City of Victorville Development Code, except as provided for in this section.

Refer to conceptual lotting plan in Appendix B. Design Guidelines, Section 3.3 PVR-6000 and PVR-5000, and Exhibit B-2, 6,000 and 5,000 Square Foot Lots Conceptual Typical Plotting Concept.

(9) Administrative Development Plan Requirement

Building elevations and front yard landscaping shall be subject to administrative review by City Staff, prior to issuance of a building permit.

5.2.3 PARKVIEW RESIDENTIAL CONDOMINIUM (PVC) – up to 12.5 Dwelling Units per Acre, Planning Areas 6 and 9.

1. Description and Purpose

This designation permits the development of clustered homes of up to 12.5 dwelling units per gross acre with shared common open spaces. Clustered home types are alley loaded and front onto paseos, courtyards, green courts, and/or neighborhood streets.

2. Permitted Uses

Only the following uses are permitted within this land use district subject to the standards and guidelines set forth in this Plan:

- Permanent, detached condominiums, including garages.
- Accessory Uses and Structures customarily incidental to any permitted residential use including, but not limited to: community pedestrian/bicycle trails/paseos, parks, garages, carports, balconies, parking areas, walls and trellises, gazebos, patios, cabanas and storage sheds; swimming pools, spas, water fountains and related equipment and other recreational amenities; satellite dishes, solar collectors and related structures in conformance with the City’s guidelines; and other uses as regulated by the City of Victorville Municipal Code and Zoning Ordinance.
- Home Occupations, subject to the provisions of the City of Victorville Municipal Code and Zoning Ordinance.
- Signs, for identification of the development only and subject to Development Department review. Other types of signs shall be prohibited.
- Temporary uses, as permitted by this Specific Plan.
- Permanent attached condominiums.



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Cluster Court Conceptual Illustration



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6 Plex Conceptual Illustrative

3. Conditional Uses

The following uses are permitted only upon the issuance of a Conditional Use Permit pursuant to the provisions of the City; of Victorville Municipal Code and Zoning Ordinance.

- Religious Facilities
- Community or Private Clubs
- Community Facilities
- Family Home Care/Day Care Centers/Pre-School/Nursery School
- Public/Private Schools/Privately Owned Recreational Facilities

4. Site Development Standards

There are many applications of the cluster home product intended for this land use designation. The Design Guidelines (Appendix B) of this Specific Plan present three (3) examples of cluster product types and associated development standards. These illustrate minimum setbacks and typical layouts for each product type. They are meant to provide product examples and are not required products. Future product proposals are subject to Development Director review to ensure products are consistent with intent of this land development use designation.

(1) Accessory Structures

Accessory structures shall conform to the City of Victorville Development Code, except as provided for in this section.

Refer to Appendix B. Design Guidelines, Exhibit B-3, Courtyard Cluster Conceptual Plotting Diagram, Exhibit B-4, Garden Cluster Conceptual Plotting Diagram, and Exhibit B-5, Greencourt Cluster Conceptual Plotting Diagram.

5. Site Plan Review Requirement

Site Plan Review shall be in accordance with Title 18 Section 18.71 Site Plan.

6. Parking: Per Zoning Ordinance

5.3 OPEN SPACE LAND USE STANDARDS

The Parkview community open space uses shall be permitted consistent with the Parkview Specific Plan. Open Space within the OS zone shall be dedicated to the City of Victorville. Maintenance of these open space areas shall be provided by a LMAD or similar entity. Refer to Section 4, Development Components and Exhibit 9, Conceptual Open Space / Paseo Plan.

5.3.1 Open Space – OS Designation, Planning Area 8.

1. Permitted Uses

- Public park
- Landscaped open space
- Public paseos, trails and recreational facilities
- Accessory buildings, structures, parking lots and uses related and incidental to the above
- Public botanical gardens
- Storm water detention for water quality purposes

2. Site Development Standards

Subject to Site Plan review at the time of development by the City of Victorville.

3. Fencing

Along the perimeter of the park and paseos, rear yard fencing shall be required where residential lots are adjacent to the park or paseos. Refer to and Exhibit 27, Wall and Fence Plan, and Exhibit 28, Wall and Fence Details.

5.3.2 Public Park Phasing and Detention Basin

Refer to Section 4.4.5, Public Park Phasing.

5.4 NEIGHBORHOOD COMMERCIAL LAND USE STANDARDS

The Neighborhood Commercial Land Use is for the purpose of providing a retail shopping center within the Specific Plan area that supports nearby resident needs. Refer to Appendix B. Design Guidelines, Section 5.0 Neighborhood Commercial Design Guidelines.

5.4.1 Neighborhood Commercial -- C-N Designation, Planning Area 10

1. Permitted Uses

Permitted uses within this land use district are subject to the standards and guidelines set forth in this Plan. Refer to Chapter 18.28 C-1 – Neighborhood Retail District in the City of Victorville Municipal Code Zoning Ordinance for permitted unless otherwise stated in this document.

- Audio and/or visual store with a maximum floor area of seven thousand square feet.
- Pet shop with a maximum floor area of ten thousand square feet.
- Sporting goods store, except the sale of fire-arms, with a maximum floor area of six thousand square feet.
- Stationary store with a maximum floor area of five thousand feet.
- Financial institution with a maximum floor area of six thousand square feet.

2. Conditional Uses

The following uses are permitted only upon the issuance of a Conditional Use Permit pursuant to the provisions of the City of Victorville Municipal Code and Zoning Ordinance. Refer to Chapter 18.28 C-1 – Neighborhood Retail District in the City of Victorville Municipal Code Zoning Ordinance.

3. Accessory Uses

Uses not involving open storage, customarily incidental to any of the above uses and accessory buildings, when located on the same lot, including a storage garage for the exclusive use of the patrons of the above stores and businesses are permitted in the C-N district.

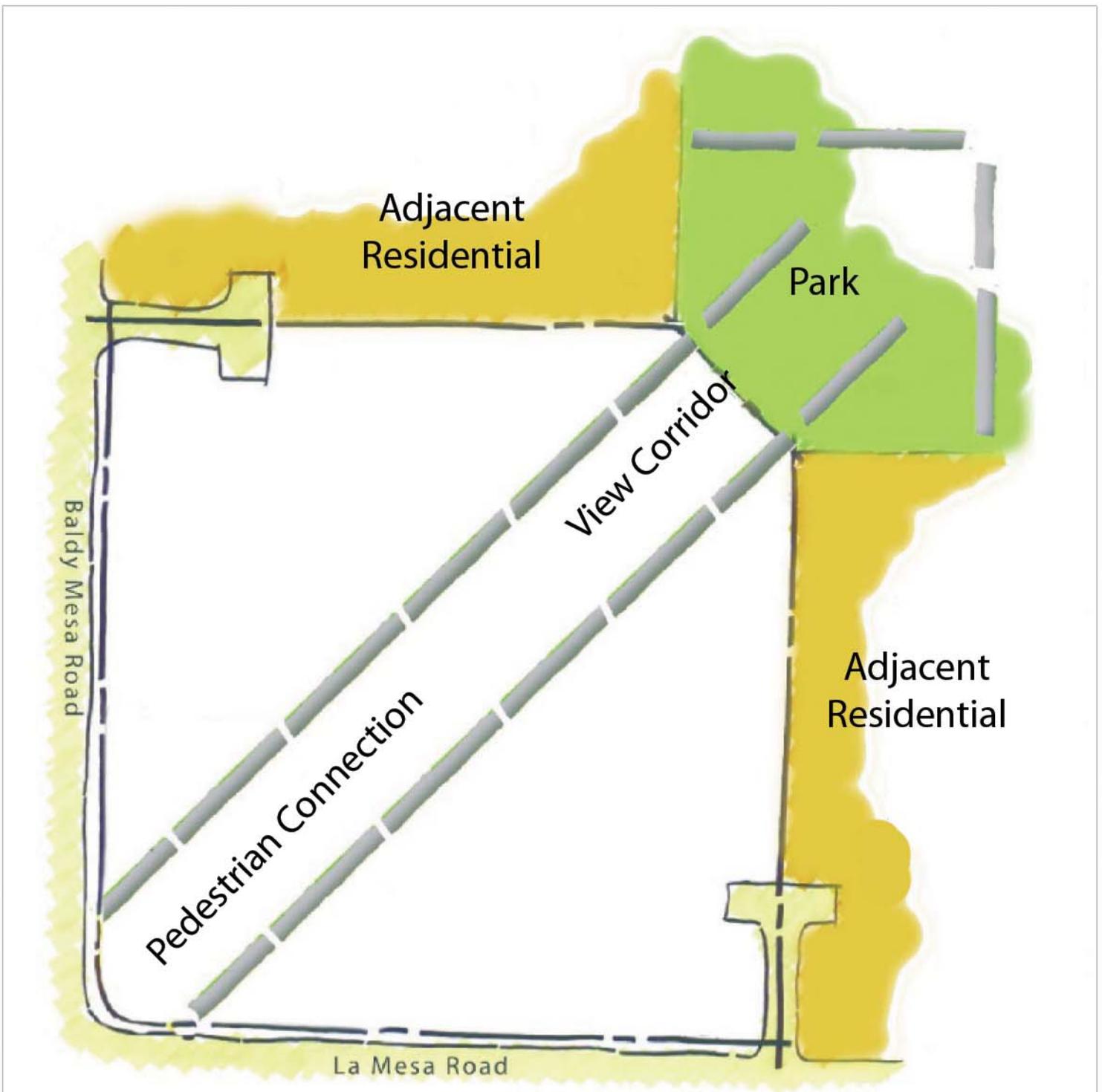
4. Site Development Standards

a. *Site Orientation*

The Neighborhood Commercial site shall be designed where a visual corridor shall occur between the northeast intersection of La Mesa and Baldy Mesa Road that visually links the southwest corner of the park to the arterial intersection.

This connection shall not be blocked by buildings and shall be incorporated into the design of the overall site.

Buildings and landscaping may frame the corridor to create the visual connection. Refer to Exhibit 29, Conceptual Visual Corridor.



Actual location of corridor to be determined pursuant to Appendix B, Design Guidelines, Section 5.2.1, and subject to site plan review, Specific Plan Section 5.4.

Parkview

Lewis Operating Corp.

Conceptual Visual Corridor

Exhibit 29

b. *Lot Coverage*

Building Coverage of a lot shall not exceed forty (40) percent of the area of the lot.

c. *Building Setbacks From Property Line*

(1) *Front Setback*

Ten (10) feet.

(2) *Rear and Side Setback*

Minimum ten (10) feet when adjacent to residential properties, five (5) feet where adjacent to the street and zero (0) feet when adjacent to other commercial zoning.

(3) *Architectural Features*

Eaves, cornices, cantilevered roofs, wing walls, and other architectural features may project into any required set back areas a maximum of two (2) feet.

(4) *Building Height*

Forty-five (45) feet.

(5) *Signs*

Sign requirements shall follow the sign program to be set forth in a separate document.

(6) *Parking and Loading Requirements*

Refer to Parking, Chapter 18.60, City of Victorville Municipal Code Zoning Ordinance.

(7) *Accessory Structures*

Accessory structures shall conform to the City of Victorville Development Code, Section 18.28.

(8) *Site Plan Requirement*

Site plans shall be in accordance with Title 18, Section 18.71.

5.5 PUBLIC FACILITIES LAND USE STANDARDS

The proposed Public Facilities Land Use is for the purpose of providing a future school site location within the Specific Plan area. The Public Facilities designation will provide opportunities for quasi public land uses to be provided for instance a private school, library or similar type use that provides a public service.

5.5.1 PUBLIC FACILITIES -- PF Designation, Planning Area 7

1. Permitted Uses

The only uses permitted within this land use district subject to the standards and guidelines set forth in this Planning Area are:

- a. *Public Schools*
- b. *Private Schools*
- c. *Childcare Facilities*

2. Conditional Uses

The conditional uses are only permitted within this land use district subject to the standards and guidelines set forth in this Planning Area. Refer to Chapter 18.48, Public and Civil District of the City of Victorville Municipal Code.

3. Site Development Standards

- a. ***Lot Area***
Minimum lot area is one (1) acre in size for a public use.
- b. ***Lot Width***
No minimum
- c. ***Lot Depth***
No minimum
- d. ***Building Setbacks from Property Line***
 - (1) *Front Yard Setback*
Twenty (20) feet.
 - (2) *Side Yard Setback*
Ten (10) feet adjacent to all zones except commercial.

- (3) Rear Yard Setback
Same as Side Yard Setback.
- (4) Architectural Features
Architectural features (non-mechanical or utility) may project into any required set back areas a maximum of two (2) feet.
- (5) Building Height
Fifty (50) feet, or four (4) stories maximum.
- (6) Parking
Refer to Parking, Chapter 18.60, City of Victorville Municipal Code Zoning Ordinance.
- (7) Accessory Structures
Accessory structures shall conform to the City of Victorville Development Code, except as provided for in this section.
- (8) Signs
Sign requirements shall follow the sign guidelines identified in the C-1 district, Chapter 18.28.120 Signs in the City of Victorville Municipal Code Zoning Ordinance.
- (9) Site Plan Requirement
Site plans shall be in accordance with Title 18, Section 18.71.

5.5.2 Public Facility Conversion

Refer to Section 4.4.6 Public School Phasing and Section 6.3.4 Conversion of Public Facility Land Use to Residential Land Use.

6 IMPLEMENTATION

6.1 SPECIFIC PLAN NAME

“Parkview Specific Plan” refers to the document and support information only. If a name other than “Parkview” for the community name is selected by the applicant at a future date, it shall require approval by the Development Director which shall not be unreasonably withheld.

6.2 SPECIFIC PLAN ADOPTION

Once the Parkview Specific Plan is adopted, it will serve as the Zoning and General Plan implementation document for the property in conjunction with City Municipal Code. The methods and procedures for implementation and administration of this Specific Plan document are as follows:

SPECIFIC PLAN ADOPTION, Government Code Section 65453 (a) states that:

“A Plan shall be prepared, adopted and amended in the same manner as a General Plan, except the Specific Plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body.”

The Parkview Specific Plan functions as both a regulatory document and a land use policy plan. The development standards are structured in a format consistent with the City of Victorville Municipal Code and Zoning Ordinance.

The Parkview Specific Plan is adopted by ordinance in accordance with Government Code 65453.

6.3 SPECIFIC PLAN CHANGES

6.3.1 Administrative Changes

The following changes in the Specific Plan may be made with the approval of the Development Director and without amending the plan.

1. The addition of new information to the Specific Plan maps or text for the purpose of clarification that does not change the effect or intent of any regulation.
2. Changes to the project area infrastructure such as drainage systems, roads, water and sewer systems, etc., which do not have the effect of significantly increasing or decreasing capacity in the Project area beyond the specific density range, and do not otherwise change the intent of any provision of this plan.

3. Adjustments in the Planning Area boundary's, not to exceed an increase or decrease of 20% of the original size resulting from final road alignments, geotechnical or engineering refinements to the tentative and/or final tract map shall not require an amendment of the Specific Plan where such adjustments are consistent with the intent of the city General Plan and this Specific Plan. Boundaries not dimensioned in the Specific Plan are established by the large lot parcel, tentative or final subdivision map. At no time shall the park, commercial, and school site areas be reduced in size with the exception of the Public Facility land use area that may be converted to a residential land use per Section 6.3.4 Conversion of Public Facility Land Use to Residential Land Use.
4. The maximum number of dwelling units for each planning area is established by the Specific Plan Land Use Plan. Permitted density ranges for each residential category are also specified herein. The total number of residential units allowed within each planning area can exceed the total allowed by the Land Use Plan up to ten percent (10%), as long as the cumulative project total does not exceed 715 residential units. In addition, development of a lower number of dwelling units, or of a lower density than that specified for a planning area, may occur without requiring an amendment to this Specific Plan. Residential planning areas, as established by this Specific Plan, can be further subdivided for tentative tract purposes (including bonding) for individual residential lot development, model home complexes, and for phasing development (including utilities) that may include open space, recreational amenities, paseo, and/or pathway network.
5. An adjustment in any site development standard and/or regulation including density by not more than fifteen percent (15%) of that otherwise specified herein and which does not increase the overall specific maximum density range.
6. The Development Director shall have the duty to interpret the provisions of this Specific Plan. All such interpretations shall be reduced to written form and be permanently maintained. Any person adversely affected by such an interpretation may request that such interpretation be reviewed by the Planning Commission.
7. In approving or conditionally approving a minor adjustment, the Development Director shall find that because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of development standards contained herein deprives such property of privileges enjoyed by other properties in the vicinity. In addition, the Development Director shall find:
 - There are practical reasons or benefits of improved design which justify a deviation from prescribed development standards.

- The adjustment, with any conditions imposed, will provide equal or greater benefit to adjacent property.
 - The adjustment is not in conflict with the objectives of the General Plan or the general intent of this Specific Plan.
8. Upon appeal to the Planning Commission of any decision of the Development Director made pursuant to this Section, the Planning Commission shall set the matter for hearing in a manner prescribed in the Victorville Municipal Code Zoning Ordinance.

6.3.2 Amendments

The following changes to the Specific Plan shall require an amendment to the Specific Plan:

1. Changes to the text or maps of the Specific Plan other than the addition of new information which does not change the effect or intent of any regulation or is otherwise permitted as described within this Specific Plan.
2. Changes in the overall Specific Plan Area boundaries.
3. Changes in the Specific Plan land use district boundaries beyond twenty (20) percent.
4. Increase in dwelling unit density beyond the specified total density range identified in Table 1 Parkview Land Use Summary, Section 4 Development Components. The density range is based on gross acres.
5. Changes in infrastructure such as drainage systems, roads, water and sewer systems, etc., which have the effect of significantly increasing or decreasing capacity beyond the specific density range in the Specific Plan Area.
6. Major changes in the designated alignment or location of the backbone infrastructure system.
7. Any other additions or deletions which deemed by the Development Director would change the effect or intent on any regulation.

6.3.3 Amendment Procedures

The following procedures, as outlined in California Government Code Section 65500, are required to be followed when adoption of an amendment to a Specific Plan is desired.

1. An application, with any necessary supporting documentation along with the required fee, shall be submitted to the Development Director stating in detail the reasons for and nature of the proposed amendment.
2. Before taking an action on a proposed amendment to the Specific Plan, the Planning Commission must hold at least one public hearing. Notice for this hearing shall be given at least ten (10) days in advance and must be published at least once in a newspaper of general circulation.
3. The recommendation of an amendment to the Specific Plan shall be approved by a resolution carried by a majority of the total voting members of the Planning Commission.
4. The recommendation of the Planning Commission together with additional related documents and information shall be transmitted to the City Council. The transmittal may also include any pertinent information with regard to the reasons for the Planning Commission decision.
5. The City Council shall hold at least one public hearing for each proposed amendment pursuant to the provisions of the California Government Code. The action of the City Council shall be to approve, disapprove or conditionally approve the proposed Specific Plan and to adopt the necessary resolution or ordinance, as appropriate.
6. An amendment to the Specific Plan may be initiated by the City of Victorville. The City Council shall first refer such proposal to the Planning Commission for report. Before making a report, the Planning Commission shall report within forty (40) days after the request by the City Council. Before adopting the proposed plan or amendment the City Council shall hold at least one public hearing. Notice of the time and place of hearing held pursuant to this section shall be given in the time and manner provided for the giving of notice of hearings by the Planning Commission as specified above.
7. Amendments to the Specific Plan can also be requested by a property owner of record within the study area. Such amendments require that actual development be proposed by the applicant (to minimize speculation) and submitted to the Development Director, unless the Development Director determines that certain materials are not required. The Development Director shall review all requests for amendments and prepare a report and recommendation for submission to the Planning Commission, and thereafter to the City Council.

All proposed amendments to the Specific Plan shall be processed and acted upon pursuant to the Zone Change amendment provisions contained in the City of Victorville Municipal Code Zoning Ordinance.

6.3.4 Conversion of Public Facility Land Use to Residential Land Use

The Specific Plan Land Use Plan designates Planning Area 7 as Public Facility (PF) which allows for a potential Elementary School use. Planning Area 7 may convert to a Residential Land Use designation as identified in the Specific Plan if one or more of the following findings occur:

FINDINGS:

1. A written notification that the Snowline Joint Unified School District does not have any further interest in the site location; and a written notification that the California Department of Education does not have any further interest in the site location; or
2. That both parties, the Snowline Joint Unified School District and the applicant, do not come to a mutual agreement regarding the property prior to the submittal to the City staff of the Final Map for any Clustered dwelling in Planning Area 6 adjacent to Planning Area 7.

Upon determination of one or more of these findings, the applicant may make a request of the Planning Commission at a duly noticed public hearing, to initiate a conversion from Public Facility Land Use to a Residential Land Use for Planning Area 7. The Public Facility designation may be converted to any Residential Land Use designation as permitted in and regulated by this Specific Plan through an approval by the Planning Commission. However, the increased residential acreage shall not facilitate a change in the maximum dwelling units allowable within the Specific Plan Area. The applicant shall provide the Planning Commission with the following submittal requirements to complete the land use conversion application:

SUBMITTAL REQUIREMENTS:

1. A written request by the applicant to the Development Director for the conversion of Public Facility to a Residential Land Use designation as categorized in the Specific Plan. A specific plan amendment application and filing fee shall be required as part of the written request.
2. A letter from the Snowline Joint Unified School District stating that the district does not have any further interest in the subject site and acknowledges that the property will revert to a Residential Land Use. (Absence of written

correspondence or public comment at the Planning Commission hearing will be considered a decline of its intent to utilize the subject site for a future elementary school.)

3. The residential dwelling units designated from other Planning Areas shall not affect an increase in the total number of planned units in the Specific Plan (i.e. 715 dwelling units);
4. The conversion shall be documented by a submittal to the City of a revised Land Use Plan and Land Use Plan Statistical Summary Table in which dwelling units transferred shall become the planned units for Planning Area 7;
5. Written verification from a traffic engineer as approved by the City Engineer that the conversion from the Elementary School site (PF) to a Residential Land Use in the Specific Plan complies with the Parkview Mixed-Use Development Traffic Study, City of Victorville, California, JN:03158-03, Urban Crossroads, December 20, 2005.

6.4 IMPLEMENTATION

The Parkview Specific Plan shall be implemented through the processing of tract maps, parcel maps and site plans. The implementation process, as described below, provides the mechanism for reviewing tract maps, parcel maps, and site plans and ensuring development consistency with the Specific Plan objectives.

6.4.1 Applicability

All development within the Parkview Specific Plan shall be subject to the implementation procedures described herein.

6.4.2 Development Review Process

Tentative Tract/Parcel Maps and Site Plans for development within a Specific Plan area shall be submitted to the Development Department for review and processing. Tentative Maps and Site Plans shall be prepared and submitted in accordance with City Municipal Codes. They will be reviewed by the City for consistency with the Land Use Plan Map and with the (Section 4) Development Components and (Section 5) Development Standards that are set forth in this document.

6.5 REVIEW PROCEDURES

The Parkview Specific Plan may be implemented through the large lot tentative tract map and the tentative tract map review process.

6.5.1 Large Lot Tentative Parcel Map

A large lot tentative parcel map is intended for parcelization and financing purposes, addresses only large parcels and is not intended for construction purposes. The large lot tentative parcel map submittal shall meet all requirements stipulated by the Title 17, Subdivision in the City of Victorville Municipal Code. It may be filed, concurrent with, or subsequent to the Specific Plan and/or prior to or concurrent with other tentative tract maps (those for construction purposes).

6.5.2 Parcel/Tentative Tract Map

A tentative tract map or parcel map, as applicable, shall be filed subject to the provisions as stipulated in Chapters 17.04 through 17.103 et seq. of the City of Victorville Municipal Code Subdivision Ordinance. After map approval, the final map may be recorded and building permits may be issued.

6.5.3 Site Plan, Architectural, and Landscape Design Review Requirements.

A Site Plan Review presentation for information purposes shall be provided to the Planning Commission when a an administrative design decision to this Specific Plan is being proposed or when the Development Director initiates his/her authority and interpretation of this Specific Plan when design changes occur that significantly affect the aesthetics of the original Specific Plan requirements. Site plan and design reviews are subject to the discretion of the Development Director and subject to his/her requirements for such a presentation or as referenced in Chapter 18.71, SITE PLAN in the City of Victorville Municipal Code Zoning Ordinance.

6.5.4 Administrative Design Review

Any deviations in regards to architectural design and site design that are different than what is stated within this specific plan shall be reviewed and considered by the Development Director. Action taken by the Development Director that does not significantly deviate from the intent of this specific plan shall be administratively approved. In consideration of the Planning Commissions authority, the Development Director shall present a report to inform the Planning Commission of such design and site changes that were approved.

Any significant design changes that deviate from the intent of this specific plan or its guidelines and standards shall be presented to the Development Director as a written request and presented to the Planning Commission as a variance or as a conditional use permit as recommended by the Development Director.

6.6 PARCEL/TENTATIVE TRACT MAP REVIEW REQUIREMENTS

6.6.1 General Provisions

Parcel/Tentative tract maps shall comply with the review requirements established in titles of City of Victorville Municipal Codes entitled “Zoning” (Title 18) and “Subdivision” (Title 17).

6.6.2 Parcel/Tentative Tract Map Submittals

The exact format, content and order of project data for parcel maps and tentative tract map submittals shall be determined in consultation with the City of Victorville, reference Title 17, Subdivision, in City of Victorville Municipal Code.

6.6.3 Parcel/Tentative Tract Map Review Procedures

The Parcel/Tentative Tract Map review process involves a pre-application conference as follows:

1. Pre-Application Conference

This is intended to provide the Development Department with knowledge about the developer’s intent and to provide the developer an understanding of what is required to develop under the Parkview Specific Plan. There are no particular requirements for submission of materials and plans by a developer at a pre-application conference. However, the more information the developer has, the more response they may get from the conference. Staff shall explain all relevant City Ordinances and Specific Plan provisions.

Another function of the pre-application conference is to determine levels of information necessary to implement satisfactorily all provisions of this Specific Plan. Further, submittal and review schedules meeting statutory and staff and workload requirements, shall also be established as part of the pre-application conference.

The Development Director may choose to form a pre-application conference team which routinely conducts this function. This team may include members of the planning staff, and others from related departments such as engineering, public works, traffic, and police and fire, and the City Manager’s office.

Refer to Title 17, Subdivision, City of Victorville Municipal Code in regards to filing parcel/tentative tract maps and final parcel/tract maps.

6.7 ENFORCEMENT

Enforcement of these provisions shall be as stated below:

- The Development Director shall have the duty to enforce the provisions of this Specific Plan.
- The Development Director shall have the duty to interpret the provisions of the Parkview Specific Plan. All such interpretations shall be reduced to written form and be permanently maintained. Any person aggrieved by such an interpretation may request that such interpretation be reviewed by the Planning Commission.
- Upon adoption of the Parkview Specific Plan, the development standards and procedures established herein will become the governing zoning regulations and standards for land uses within the Parkview Specific Plan area. Any details, regulations, or issues not specifically covered by the Parkview Specific Plan shall be subject to the City of Victorville Municipal code. Terms used herein shall have the same meaning as defined in the City of Victorville Municipal Code unless otherwise defined herein.
- All construction within the boundaries of this Specific Plan shall comply with all provisions of the Uniform Building Code and the various mechanical, electrical, plumbing, fire and security codes adopted by the City of Victorville.
- Any land use not specifically designated in this Specific Plan shall be deemed inappropriate and not permitted unless formally amending this Specific Plan through the public hearing process and as approved by the City of Victorville Planning Commission.
- If any regulation, condition, program or portion thereof, that the Specific Plan is for any reason held invalid or unconstitutional by a court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision and the invalidity of such provision shall not affect the validity of the remaining provisions hereof.

6.8 PHASING OF COMMON OPEN SPACE / PUBLIC FACILITIES

6.8.1 Detention Basin Landscaping

Detention basin landscaping shall be completed at the time the detention basin is completed.

6.8.2 Street Landscaping

The roadside walking paths and drought-tolerant landscaping shall be completed within 90 days of the completion of each roadway as determined by the City engineer.

6.8.3 Open Space/Trails

The required open space, including pathways for each individual tract shall be installed prior to the issuance of fifty (50%) percent of the residential certificates of occupancy for each tract.

6.9 MAINTENANCE RESPONSIBILITIES

6.9.1 Public Park, Open Space and Trails/Paseos, Maintenance

Generally, the maintenance of all open space and landscaped facilities such as paseos, parkways, trails and setback areas adjacent to major roads will be funded through LMAD or other similar type districts. The ten (10) acre park is to be maintained by Victorville Park Maintenance District. Land belonging to other private, public and quasi-public agencies may be maintained by those entities.

6.10 FINANCING MECHANISMS

The Development of public facilities and the provision of public services associated with the Specific Plan Area could occur through a combination of financing mechanisms. These mechanisms are described below:

6.10.1 Possible Financing Mechanisms

An infrastructure financing program is important to implementation of the Specific Plan. The financing program needs to assure the timely financing of public streets, utilities, and other necessary capital improvements.

Various techniques are available for financing of the improvements associated with Project Development. The exact financing method for various improvements will be determined in conjunction with the phasing of the infrastructure. Some of the possible funding mechanisms for public improvements include, but are not limited to:

- Impact fees (AB 1600 Fees);
- Conventional subdivision financing;
- Turn key construction by Project Applicants;
- Land reservation, offers of dedication, fee dedications and/or easements;
- Per unit hook up charges;
- Community Facilities District and/or Assessment Districts
- Landscape Maintenance Districts
- Drainage Maintenance Districts
- Reimbursement agreements; and
- State and/or Federal grants and loans (e.g., Federal Transportation Funds and various infrastructure financing programs).

6.10.2 Impact Fees

Development within the Specific Plan and the provision of public services shall be subject to impact fees defined in a fee schedule adopted by the City of Victorville, special districts, and other governmental agencies except for those fees that are specifically addressed in a Development Agreement.

A. Legal Description

LEGAL DESCRIPTION

Parcel 1

The Southwest Quarter of the Southeast Quarter of Section 30, Township 5 North, Range 5 West, San Bernardino Base and Meridian in the City of Victorville, County of San Bernardino, State of California according to the Official Government Survey on file in the District Land Office.

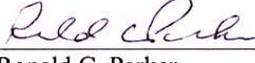
Excepting and reserving unto grantor all oil, gas and other hydrocarbon substances and minerals lying in and under said land above described or produced and saved therefrom; and further excepting and reserving to grantor the sole and exclusive rights to drill into, from and through said land, and all subsurface easements necessary or convenient to prospecting for, producing and developing oil, gas and other hydrocarbon substances and minerals by means of slant drilling operations conducted from surface locations outside said land, into or through said land, to producing intervals either within or beyond said land; all subject, however, to the condition that, in the enjoyment of said reserved and excepted rights and interests grantor shall not enter upon the surface of said land or into the upper 500 feet thereof measured vertically from said surface.

Parcel 2

Government Lots 1 and 2 of the Southwest $\frac{1}{4}$ of Section 30, Township 5 North, Range 5 West, San Bernardino Base and Meridian, in the City of Victorville, County of San Bernardino, State of California, according to the Official Plat of said land approved by the Surveyor General dated March 19, 1856.

Excepting therefrom $\frac{1}{16}$ of all oil, gas and other mineral deposits, together with the right to prospect for, mine and remove the same, as reserved in the Patent from the State of California, recorded September 29, 1926 in Book 149, Page 26 Official Records.

Prepared By:
Nolte Associates, Inc

 *Ronald C. Parker* 8/1/05
Ronald C. Parker Date
L.S. 4312



Design Guidelines Table of Contents

SECTION		PAGE NUMBER
1	INTRODUCTION	
	1.1 Purpose and Intent	B-1
2	COMMUNITY THEME	
	2.1 Community Entries	B-2
	2.2 Amenities	B-2
	2.3 Neighborhood Site Design	B-3
	2.4 Community Buildings and Facilities	B-3
	2.5 Public Open Spaces	B-3
3	SITE PLANNING GUIDELINES	
	3.1 Home Types	B-4
	3.2 Parkview Residential 7000	B-4
	3.3 Parkview Residential 6000 and 5000	B-7
	3.4 Parkview Condominium	B-9
	3.5 Neighborhood Design	B-17
	3.6 Pedestrian Circulation	B-17
	3.7 Conceptual Plotting	B-17
	3.8 Corner Homes	B-17
	3.9 Porches	B-18
	3.10 Garage Placement and Treatments	B-18
	3.11 Streets and Private Drives	B-22
4	ARCHITECTURAL DESIGN GUIDELINES	
	4.1 Authenticity	B-23
	4.2 Architectural Style/Plan/Color Mix	B-23
	4.3 Styles	B-24
	4.4 Elevations Subject to Public View	B-28
	4.5 Massing and Floor Plan Form	B-29
	4.6 Balconies	B-29
	4.7 Roofs	B-30
	4.8 Materials and Details	B-30

Design Guidelines Table of Contents

SECTION		PAGE NUMBER
5	NEIGHBORHOOD COMMERCIAL DESIGN GUIDELINES	
5.1	Guiding Principles	B-34
5.2	Site Planning.....	B-35
5.3	Building Design.....	B-36
6	LANDSCAPE ARCHITECTURAL DESIGN GUIDELINES	
6.1	Landscape Theme	B-39
6.2	Community Neighborhood Entries.....	B-39
6.3	Streetscape Design.....	B-43
6.4	Residential Landscape Design.....	B-46
6.5	Clustered Homes Landscape Design	B-47
6.6	Paseo / Neighborhood Park	B-48
6.7	Commercial Landscape Design	B-50
6.8	Master Signage Program.....	B-51
6.9	Walls and Fencing	B-52
6.10	Street Furniture	B-55
6.11	Model Complexes.....	B-61
6.12	Community Lighting	B-61
6.13	Landscape Standards	B-62
Appendix		
	Plant List.....	B-66

Design Guidelines List of Exhibits

SECTION	PAGE NUMBER
B-1	7,000 SF Lot Conceptual Plotting Diagram..... B-6
B-2	6,000 & 5,000 SF Lots Conceptual Plotting Diagram..... B-8
B-3	Courtyard Cluster Conceptual Plotting Diagram..... B-11
B-4	Garden Cluster Conceptual Plotting Diagram B-14
B-5	Greencourt Cluster Conceptual Plotting Diagram B-16
B-6	Driveway Radius Diagram B-20
B-7	Garage Placements..... B-21

Design Guidelines List of Tables

SECTION	PAGE NUMBER
B-1	Minimum Standards – 7,000 SF Lots B-5
B-2	Minimum Standards – 6,000 & 5,000 SF Lots B-7
B-3	Minimum Standards – Courtyard Cluster..... B-10
B-4	Minimum Standards – Garden Cluster B-13
B-5	Minimum Standards – Greencourt Cluster B-15

1 INTRODUCTION

Parkview is a new residential community located in the City of Victorville, within San Bernardino County. The historical character of this area is semi-rural, developed at the time of the first railroad line constructed at the beginning of the last century. Homebuilders that built in this area were influenced by the styles with which they were already familiar. This resulted in the development of homes that reflected function and tradition, simplicity, and eventually, authentic, regional styles. The intent of this project is to re-capture the charm and essence of these original home styles. The homes of Parkview will provide the same kind of function, quality, value and appeal that were characteristic of those original to Southern California.

The proposed community design for Parkview emphasizes the following elements:

- A community with a recognizable overall theme and character.
- Neighborhoods of single-family detached homes of various building types, styles and sizes.
- A neighborhood park and future school site.
- A neighborhood commercial center providing commercial opportunities and neighborhood conveniences.
- A pedestrian and bicycle trail system linking the future park and other community elements and amenities such as the neighborhood commercial center.

1.1 PURPOSE AND INTENT

The Design Guidelines section for Parkview provides a creative, yet flexible set of criteria and concepts for neighborhood design, architectural styles, plotting, massing and landscape. These guidelines shall facilitate the creation of a diverse and varied streetscape, reminiscent of a typical Southern California community. Using simple, quality design techniques in combination with the purest forms of scale and proportion will result in a pleasant neighborhood with landscape and classic home styles. These guidelines are written to define the fundamental techniques that builders will use to achieve this goal of simple, quality neighborhood and architectural design and create the level of character and quality that buyers will benefit from in the neighborhoods of Parkview.

2 COMMUNITY THEME

The community theme for Parkview is one that reflects the heritage and character of a typical Southern California neighborhood. These home styles are inspired by those of the American West and designed to blend with the local surrounding neighborhoods of Victorville. Homes and street scenes will reflect an overall feeling of comfort and tradition. Southern California architectural styles, indigenous materials and colors, regional and climatic elements inspire the design of neighborhood elements, architecture and landscape throughout this community. Landscaping will soften the neighborhood with tree-lined streets featuring a blend of deciduous and evergreen trees. This Southern California character will be achieved in a variety of subtle ways by integrating the following community features:

- Street layouts that reinforce connectivity among neighborhoods and surrounding areas.
- Landscaped parkways and formal street tree patterns will create a pedestrian friendly streetscene.
- Homes that feature pedestrian-scaled elements such as front porches to encourage friendly neighborhood interaction.
- Varying setbacks to porches, living spaces, and garages to create a sense of individuality for homes and create street character.
- Pedestrian and bicycle trail connections that establish connections to various community features.
- Outdoor activity and wellness is encouraged with a neighborhood park and trail connections to link all parts of the community.
- A variety of architectural styles that expand traditional neighborhood development concepts seen in neighborhoods throughout Southern California.
- A future school site provides an opportunity to address the educational needs of the community.

2.1 COMMUNITY ENTRIES

The entries into Parkview will be designed as community features that establish a sense of arrival into the community. Entry elements will introduce the overall theme of a classic Southern California neighborhood. A thematic blend of monumentation, textured walls, landscaping and site elements will create a memorable experience for residents and visitors into the community.

2.2 AMENITIES

Several community amenities will serve as attractions for homebuyers and residents in the community of Parkview. Parkview features a community trail system that links residential neighborhoods to the neighborhood park, future school site and neighborhood commercial site. The neighborhood park provides a large area of open space and opportunities for active recreation and places for people to gather for activities and sports.

The park is also adjacent to the neighborhood commercial site. This close proximity allows for additional people gathering and opportunities for activities.

2.3 NEIGHBORHOOD SITE DESIGN

Residential development occurs in a series of single-family home neighborhoods, where the neighborhood park, neighborhood commercial site, clustered-home courtyards, and pedestrian connections become the focus of public activity and neighborhood identity. The neighborhood commercial site will be enhanced with a strong visual connection to the neighborhood park, through a combination of architectural and landscape forms. This visual connection shall be viewable from the major vehicular routes entering the neighborhood commercial site. The pedestrian/bicycle connection enhances both the appeal of the commercial area and convenience for residents.

The community is designed with major collector streets that provide connections to smaller neighborhoods. Internal neighborhoods are designed with connector streets that provide ease of navigation within the smaller neighborhoods. Careful building placement and street orientation ensures visual quality and opportunities for social interaction and recreation opportunities for the residents of Parkview. Where feasible, creating vistas and preserving views to the park is encouraged.

2.4 COMMUNITY BUILDINGS AND FACILITIES

Community buildings and facility structures should always complement and reflect the selected architectural styles and character selected for the area in which they are located. The design of these structures portrays an image for the community and contributes to a sense of ‘civic pride’ expressed as an integration of architecture and landscape.

- All architectural community elements, such as street furnishings, benches, lighting standards and trash receptacles, shall be consistent with the selected overall architectural character for the neighborhood.
- Colors, massing, roof pitch and materials shall be compatible with residential buildings or project theme.

2.5 PUBLIC OPEN SPACES

Public plazas and parks should be designed as social gathering places for the community. The neighborhood park and neighborhood commercial center provides common public open spaces and areas for related activities. The community trail system provides open space connections to various amenities and other neighborhoods within the community.

3 SITE PLANNING GUIDELINES

Site development standards for each residential planning area, as described and referenced in Chapter 4 of the Specific Plan, are designated on the following pages. This section provides conceptual plotting examples and minimum required setbacks for a variety of architectural building types, arrangements and lot sizes. The plotting diagrams are provided only as examples to illustrate minimum setbacks and one typical layout for each building type. They are not intended to be mandated layouts or to represent any actual lot or building design. The sketches and graphic diagrams within this document describe the basic intent of the guidelines.

3.1 HOME TYPES

A range of home types and densities are planned for the community of Parkview from detached condominium clustered homes to lots of over 7,000 square feet. This range provides opportunities for a variety of home sizes, floor plans and architectural styles for the needs of various market segments of homebuyers within the Victor Valley. Low, low-medium, and medium density neighborhoods are planned for the community of Parkview. The following pages provide development standards and conceptual plotting diagram for each residential product and a density type.

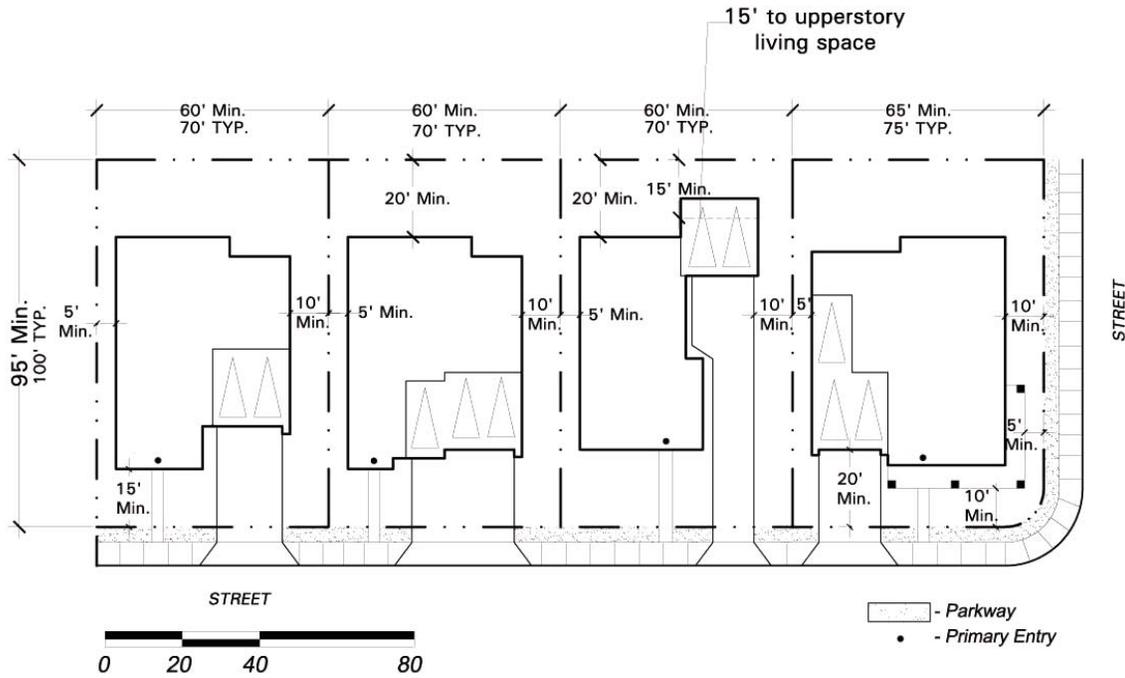
3.2 PARKVIEW RESIDENTIAL 7000 (PVR-7000) – UP TO 4 DU/AC

The Parkview Residential 7000 category provides for the development of single family detached residential homes on lots 7,000 square feet and larger and provides up to 4 dwelling units per gross acre. These lots are designed for conventional front loaded homes facing neighborhood streets with sidewalks. Low-density homes are planned for the areas at the southwest intersection of Luna and Braceo Roads, in the northern portion of the community.

3.2.1 7,000 Square Foot Lots

This lot type is a 70- x 100-square-foot lot (typical) that allows conventional homes that face the street with front loaded garages. Private backyards are provided in the rear of the homes. Resident parking is provided in garages, guest parking is provided on driveways or on the street.

Table B-1. Minimum Standards – 7,000 SF Lots	
Lot Dimensions	Setbacks From Property Line
Minimum Interior Lot Width	60'
Minimum Corner Lot Width	65'
Minimum Lot Depth	95'
Maximum Building Coverage	45%
Front	
Porch or Balcony	10'
Living Space	15'
Garage - Front Facing	20'
Garage - Swing-in (Permitted Only on Lots 55' Wide or Greater)	15'
Side	
Porch or Balcony at Corner Units	5'
Living Space or Garage on Interior Lot	5' or 10'*
Living Space or Garage on Corner Lot - Exterior Side	10'
Rear	
Living space	20'
Garage	10'
Second Story Living Space Over Garage	15'
Encroachments into Setbacks – 2' Maximum	
Roof Overhangs, Fireplace, Bay Windows, Pot Shelves/Brackets, etc.	3'
Maximum Building Height: 35'	
Parking: Per Zoning Ordinance	
*A 5-foot setback shall be permitted with a 10-foot setback on the opposite side yard location. Homes shall be separated by a minimum of 15 feet.	



Note: Conceptual prototype plotting diagrams are representative only and are not intended to be a mandated layout. All setbacks shown are minimums.

Exhibit B-1
7,000 SF Lot Conceptual Plotting Diagram

3.3 PARKVIEW RESIDENTIAL 6000 (PVR-6000) AND PARKVIEW RESIDENTIAL 5000 (PVR-5000) – UP TO 6 DU/AC

The Parkview Residential 6000 and 5000 residential category provides for the development of single-family detached residential homes on lots approximately 5,000 to 6,000 square feet in size, and provides up to 6 dwelling units per gross acre. These lots are designed for conventional front loaded homes facing neighborhood streets with sidewalks. Low-medium density homes are planned for the areas in the eastern portion of the community at the northwestern intersection of Joshua and La Mesa Roads and also at the northwestern corner of the community at the intersection of Baldy Mesa and Luna Roads.

3.3.1 PVR-6,000 to PVR-5,000 Square Foot Lots

This lot type is 50 to 60 feet wide x 100-foot-deep lots (typical) that allows conventional homes to face the street with front loaded garages. Private backyards are provided in the rear of the homes. Resident parking is provided in garages, guest parking is provided on driveways or on the street.

Table B-2. Minimum Standards – 6,000 & 5,000 SF Lots		
	6,000 S.F. Lots	5,000 S.F. Lots
Lot Dimensions	Setbacks From Property Line	
Minimum Interior Lot Width	55'	50'
Minimum Corner Lot Width	60'	55'
Minimum Lot Depth	95'	95'
Maximum Building Coverage	48%	50%
Front		
Porch or Balcony	6'	6'
Living Space	10'	10'
Garage - Front Facing	20'	20'
Garage - Swing-in (Permitted Only on Lots 55' Wide or Greater)	10'	10'
Side		
Porch or Balcony at Corner Units	5'	5'
Living Space or Garage on Interior Lot	5'	5'
Living Space or Garage on Corner Lot - Exterior Side	10'	10'
Rear		
Living Space	15'	15'
Garage	10'	10'
Second Story Living Space over Garage	10'	10'
Encroachments into Setbacks – 2' Maximum		
Roof Overhangs, Fireplace, Bay Windows, Pot Shelves/ Brackets, etc.	3'	3'
Maximum Building Height: 35'		
Parking: Per Zoning Ordinance		

3.4 PARKVIEW CONDOMINIUM (PVC) – UP TO 12.5 DU/AC

The Parkview Condominium land use designations are adjacent to the commercial and neighborhood park to the south and are intended to provide for the development of clustered homes with shared open spaces at up to 12.5 dwelling units per gross acre. Clustered homes in Parkview front onto courtyards, green courts and/or neighborhood streets with sidewalk pedestrian connections. Each neighborhood connects to a community-wide trail system with destinations to major community amenities such as the park and commercial area.

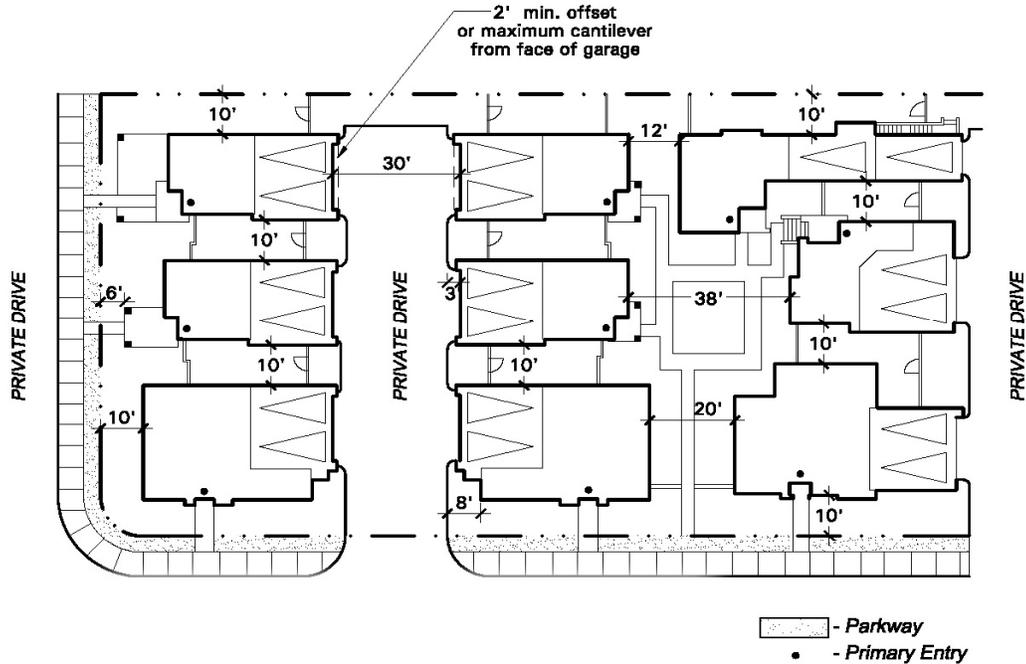
Following are 3 examples of products (Courtyard Cluster, Paseo Cluster, and Greencourt Cluster), and associated development standards for that product type that meet the intent of this land use. The plotting diagrams are provided only as examples to illustrate minimum setbacks and one conceptual layout for each building type. These concepts are not intended to be mandated layouts. It is anticipated that future product proposals may differ from the products shown here and are subject to the Development Director review to ensure that the products encompass the intent for this land use.

The intent is that three different neighborhoods are created using the following examples of cluster types, courtyard, paseo, and green court or equivalent product type. Each product type shall have a minimum of six acres.

3.4.1 Courtyard Cluster

Courtyard cluster homes are oriented around a shared courtyard area or face a neighborhood street. These homes also include private side yards within a shared use easement. Home entrances are from the front courtyard or the street. Automobile access is provided through Private Drives to rear facing garages. The Private Drive design allows garages to be hidden or removed from the street. The following example illustrates a courtyard design with two-story homes and one three-story home in the tandem garage unit.

Table B-3. Minimum Standards – Courtyard Cluster	
Building Separation	
Living Space - Front to Front - Court Entry	20'
Side to Side Living Space (First or Second Story) or Garage	10'
Front to Side	12'
Porch/Balcony/Garden Wall to Porch/Balcony/Garden Wall	12'
Garage Face to Garage Face on Private Drive	30'
Second Story Living Space over Garage on Private Drive	26'
Front or Side Setbacks - to Property Line - Street Facing	
Living Space	10'
Porch	6'
Garden Wall	3'
Setbacks - to Parcel Edge	
First or Second Story Living Space or Garage	10'
Porch, Garden Wall or Balcony	6'
Rear Setbacks - to Private Drives	
Garage Face to Private Drive (Drive Apron)	3'
Living Space over Garage - Min. Offset or Max. Cantilever from Face of Garage	2'
First Story Living Space	8'
Encroachments into Setbacks – 2' Maximum	
Fireplace, Bay Windows, Pot Shelves/Brackets, Roof Overhangs.	3'
Exterior Stairs	3'
Maximum Building Height: 35'	
Parking: Per Zoning Ordinance for Single Family Residential Dwellings	



Note: Conceptual prototype plotting diagrams are conceptual only and are not intended to be mandated layouts. All setbacks shown are minimums. Refer to Section 3.11 for the minimum width and depth of a private drive.

Exhibit B-3
Courtyard Cluster Conceptual Plotting Diagram

3.4.2 Garden Cluster

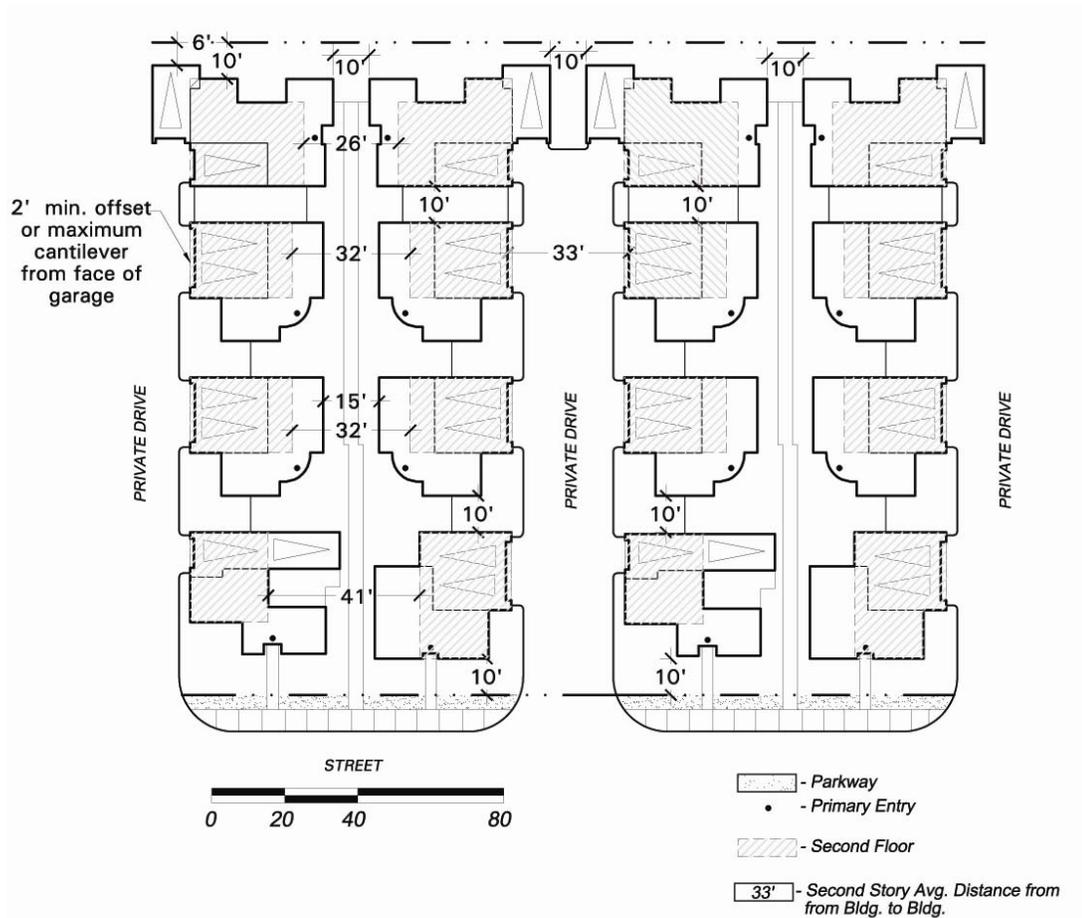
Garden Cluster homes are oriented around a common open space/pedestrian connection or a neighborhood street. These homes include private side yards within shared use easements. Home entrances are from the front courtyard or the street. Along the internal open spaces, second floors are offset to avoid a “canyon-like” view. Automobile access is provided by Private Drives with rear facing garages. Private Drive design allows garages to be hidden or removed from the street.



Example of Building Separation on a Garden Cluster Home

Table B-4. Minimum Standards –Garden Cluster	
Building Separation	
Front to Front Living Space (First Story)	15' min., 20' average'
Front to Front Living Space (Second Story)	26' min.
Side to Side Living Space (First or Second Story) or Garage	10'*
Second Story Living Space over Garage on Private Drive	26'
Garage Face to Garage Face on Private Drive	30'
Front or Side Setbacks – to Property Line - Street Facing	
Living Space	10'
Porch	6'
Garden Wall	3'
Setbacks – to Parcel Edge	
First or Second Story Living Space	10'
Garage	6'
Porch, Garden Wall or Balcony	6'
Rear Setbacks - to Private Drive	
Garage Face to Private Drive (Drive Apron)	3'
Living Space over Garage - Min. Offset or Max. Cantilever from Face of Garage.	2'
First Story Living Space	8'
Encroachments into Setbacks – 2.0' Maximum	
Fireplace, Bay Windows, Pot Shelves/Brackets, Roof Overhangs.	3'
Maximum Building Height: 35'	
Parking: per Zoning Ordinance for Single Family Residential Dwellings	

* Based on standard construction practices, a 10-foot width is provided. The distance between buildings can be less through design and construction as permitted in the Uniform Building Code and Fire Code.



Notes:

Conceptual prototype plotting diagrams are representative only and are not intended to be a mandated layout. All setbacks shown are minimums.

Based on standard construction practices, a 10-foot width is provided. The distance between buildings can be less through design and construction as permitted in the Uniform Building Code and Fire Code.

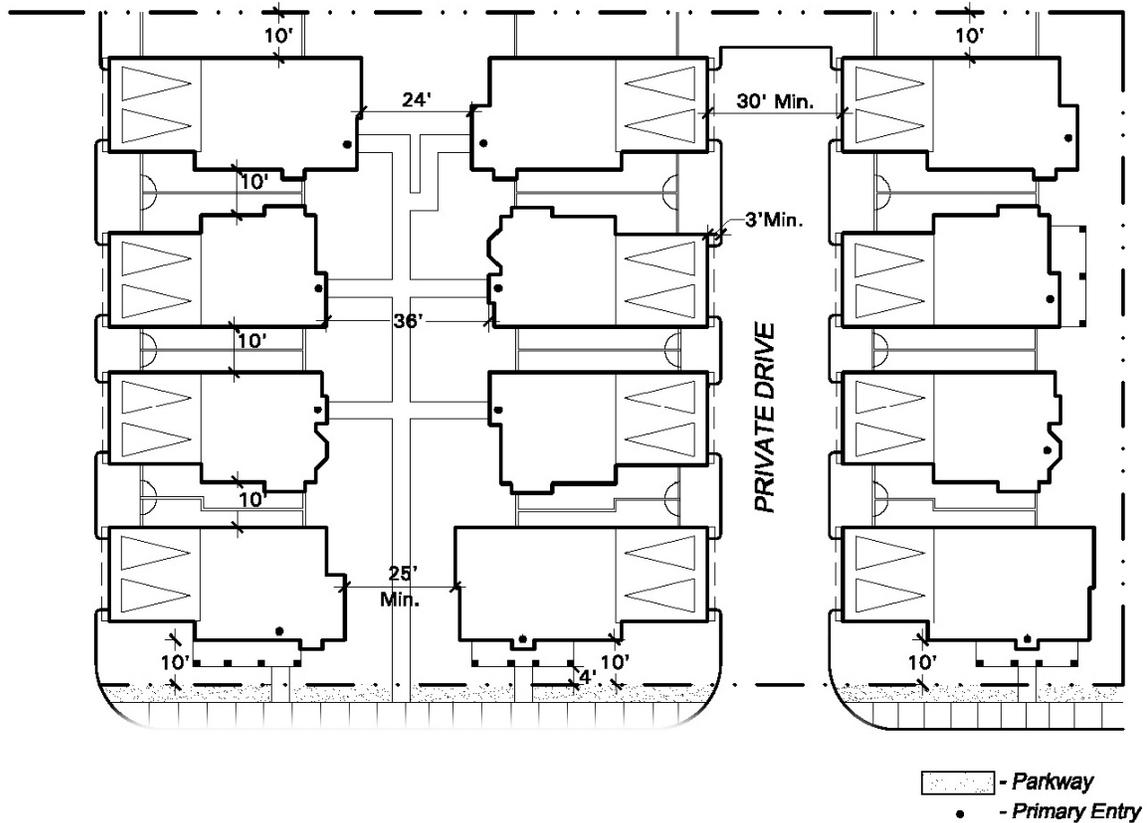
Refer to Section 3.11 for the minimum width and depth of a private drive.

Exhibit B-4
Garden Cluster Conceptual Plotting Diagram

3.4.3 Greencourt Cluster

Greencourt cluster homes face a shared greencourt/common open space area or the street and include front patios and private side yards within shared use easements. Home entrances are from the front courtyard or the street. Automobile access is provided in Private Drives with rear facing garages. Private Drive design allows garages to be hidden or removed from the street.

Table B-5. Minimum Standards – Greencourt Cluster	
Building Separation	
Front to Front Living Space (First or Second Story) at Greencourts	25'
Porch or Balcony	22'
Garden Walls	12'
Side to Side Living Space (First or Second Story) or Garage	10'*
Garage Face to Garage Face on Private Drive	30'
Second Story Living Space over Garage on Private Drive	26'
Front or Side Setbacks - to Property Line – Street Facing	
Living Space	10'
Porch or Balcony	6'
Garden Walls	3'
Setbacks - to Parcel Edge	
First or Second Story Living Space or Garage	10'
Porch, Garden Wall or Balcony	6'
Rear Setbacks to Private Drives	
Garage Face to Private Drive (Drive Apron)	3'
Living Space over Garage – Min. Offset or Max. Cantilever from Face of Garage	2'
First Story Living Space	8'
Encroachments into Setbacks – 2' Maximum	
Fireplace, Bay Windows, Potshelves/Brackets, Roof Overhangs	3'
Maximum Building Height: 35'	
Parking: per Zoning Ordinance for Single Family Residential Dwelling	
* Based on standard construction practices, a 10-foot width is provided. The distance between buildings can be less through design and construction as permitted in the Uniform Building Code and Fire Code.	



Notes:

Conceptual prototype plotting diagrams are representative only and are not intended to be a mandated layout. All setbacks shown are minimums.

Based on standard construction practices, a 10-foot width is provided. The distance between buildings can be less through design and construction as permitted in the Uniform Building Code and Fire Code.

Refer to Section 3.11 for the minimum width and depth of a private drive.

Exhibit B-5
Greencourt Cluster Conceptual Plotting Diagram

3.5 NEIGHBORHOOD DESIGN

Thematic character and distinction in the neighborhoods of Parkview is achieved with the following elements:

- A variety of house plan types including conventional front and private drive loaded courtyards and clustered arrangements.
- A compatible mix of selected architectural styles that are typical in Southern California neighborhoods and represented in this region.
- A variety of garage placements to emphasize the pedestrian environment, accommodate the traffic volume and provide variety to the street (See Garage Placement section in this document).
- Street trees chosen according to size, form, color and species for each neighborhood shall provide a sense of recognition and changeable patterns within the community.
- A wide palette of appropriate colors and materials.
- Common areas and landscape elements that establish the overall character for the community through the use of a strong concept and related elements, including colors and materials throughout the neighborhoods.

3.6 PEDESTRIAN CIRCULATION

Parkview is integrated with a community-wide system of trails and paseos that provide pedestrian and bicycle connections from residential areas to the neighborhood park, school and nearby neighborhood commercial site. This amenity provides convenience and recreational opportunities for residents.

3.7 CONCEPTUAL PLOTTING

Street scenes that function well with visual interest are a primary community objective for Parkview. Attractive and comfortable street scenes with pedestrian-oriented spaces are created by implementing “architecture forward,” practices, a variety of garage placements, and encouraging “corner home sites” to address the front and side orientation and building features through design.

Typically plans are to be reversed and plotted so that garages and entries are adjacent to each other to create an undulating setback. Occasionally this pattern should be changed to avoid a monotonous street scene.

3.8 CORNER HOMES

All corner homes shall have building articulation and wrapped materials that continue around to the side façade of the home. Wrapped materials shall transition at logical transition points and/or on the inside corners of the front and side façade.

3.9 PORCHES

Substantial overhangs are encouraged. The inclusion of covered porches and entries expand sheltered living spaces, create entry statements, and provide building elevation relief. Covered porches may differ from the roof in both pitch and material. Where a porch is included as a single story element, it is desirable for the following design dimensions to be present:

- Front porches should have a minimum of 6' depth and cover 1/2 the width of the front living area facade.
- Side porches on corner units should be a minimum of 5' in depth.
- Side porch length should be a minimum of 10' measured from front corner of porch.
- Eaves should be a minimum of 12" or 18" deep, as appropriate to style.

3.10 GARAGE PLACEMENT AND TREATMENTS

3.10.1 De-Emphasis of Garages

The home and front yard should be the primary focus of the front elevation. This should be considered when plotting homes to create an attractive street scene. The impact of repetitive, street-facing garages can be reduced by using the following techniques:

- Vary garage door pattern, windows and/or color as appropriate to individual architectural styles.
- Garage door colors should complement or blend with existing color schemes and style of the home.
- Alternate plans with different garage placements when plotting adjacent homes.
- Garage door windows shall be of an opaque material.
- Provide split and offset garages where possible.

3.10.2 Garage Placement

Garage placement shall vary within conventional front loaded neighborhoods to create a lively street scene. Standard minimum setbacks shall be maintained for each garage treatment. In each neighborhood, a minimum of three different garage placements are required:

- **Forward Garage** — Forward garages are located at least 5' in front of the front elevation living space.
- **Flush Garage** — Flush garages are located 3' behind or in front of the front elevation/living space.
- **Shallow-Recessed Garage** — Shallow recessed garages are located 5' or more behind the front elevation / living space.
- **Mid-Recessed Garage** — Mid-recessed garages are located 10' or more behind the front elevation/living space.

- **Deep-Recessed Garage** — Deep-recessed garages are located 20' or more behind the front elevation/living space.
- **Swing-In Garages** — Home plans that feature attached, swing-in (“side-loaded”) garages are encouraged. This garage placement may be located at the front, side or rear of a plan or split, thereby reducing the impact of garage door faces on the streetscape. The resultant street-facing wall shall be articulated with the same level of detail as the front façade of the home including windows, trim etc.
- **Corner with Side-Street Entry Garage** — This garage type allows the option of entering from the side street, thereby eliminating the front facing garage and driveway.

3.10.3 Three-Car Garage Requirements

- **Three-Car Garages** — When three-car garages are planned, split, swing-in and tandems are encouraged. Three-car garages may be located forward of the house or recessed. No more than two garage doors are permitted to be in the same plane—split and offset any additional doors by at least 2'. Only two plans may have front facing three-car garages.
- **Tandem Garage** — When a three-car garage is planned, the impact on the streetscape can be reduced by constructing the additional car bay in tandem behind the standard two-car garage door.

3.10.4 Driveway Criteria

- When a garage or carport does not have a direct, straight entry from a public or private street or drive (e.g. side entrance garage), the driveway providing access to the entrance of the garage shall have a minimum of 24 feet backup area.
- When the vehicular entrance into a garage or carport faces directly onto a public street, said garage or carport shall be set back at least 20 feet from the street-side property line.
- All driveways, except circular driveways, shall provide access to parking spaces located outside the required setbacks.
- Driveways shall not exceed 50% of the lot width at the front setback. For single-family lots, no less than two feet of landscaping shall be provided between driveway and any interior side property line.

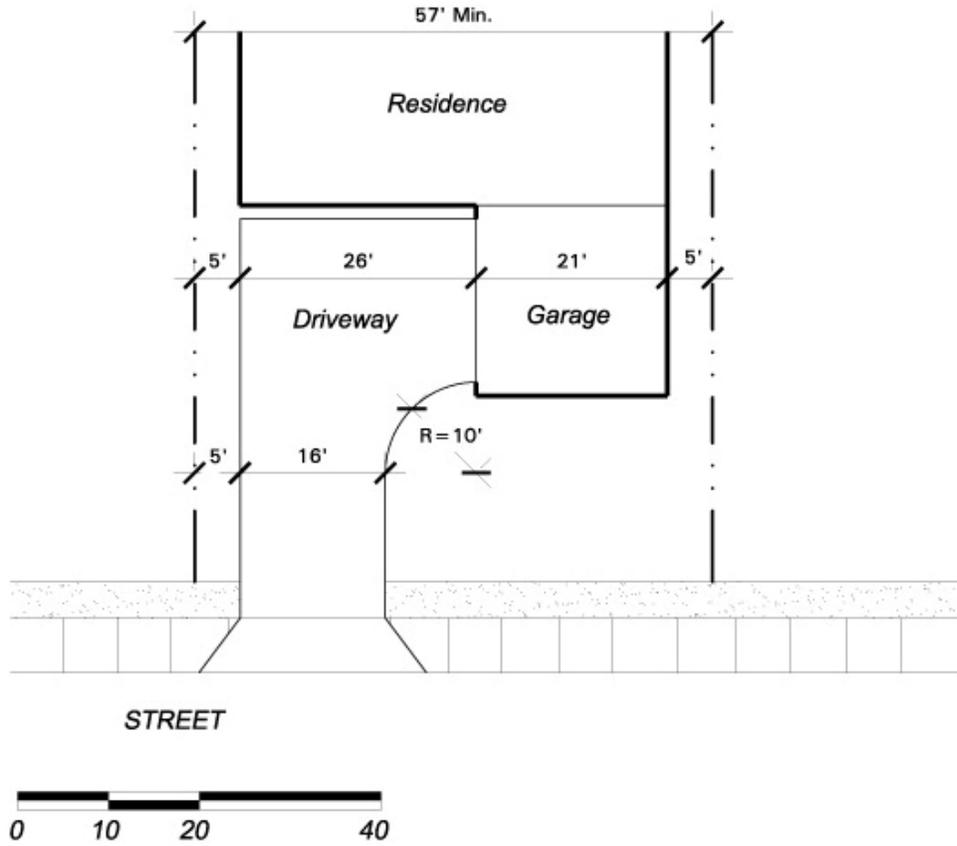
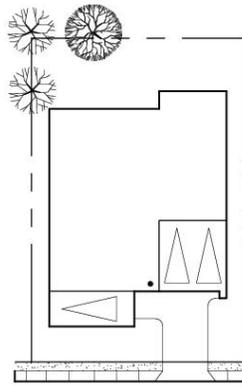
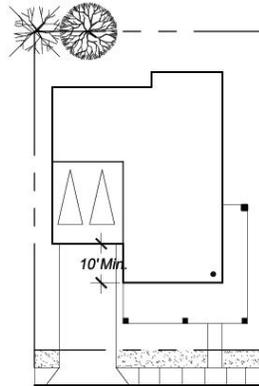


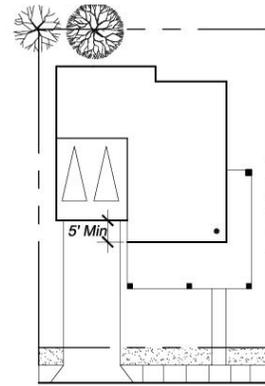
Exhibit B-6
Driveway Radius Diagram



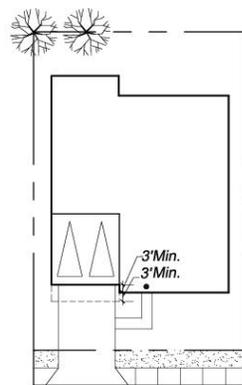
Swing-in



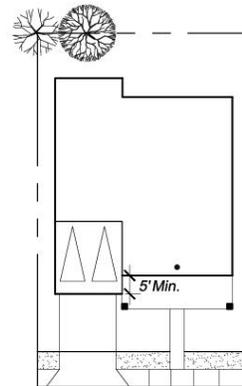
Mid-recessed



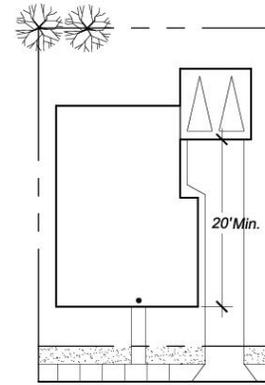
Shallow-recessed



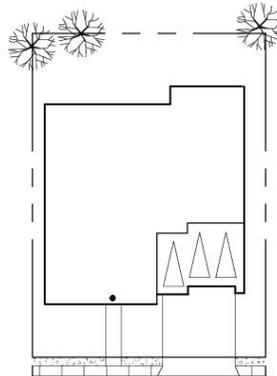
Flush



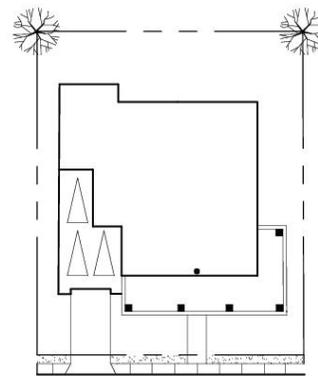
Forward



Deep-recessed



Three-Car



Tandem

Note: Conceptual prototype plotting diagrams are representative only and are not intended to be a mandated layout. All setbacks shown are minimums.

3.10.5 Private Drive-Loaded Garage

Although private drives are thought of as merely a transitional vehicular space, they also provide garage and pedestrian access, trash collection and other daily utility uses. Homeowners may experience them as often as the front entries to these homes. Therefore when designing private drives there are both functional and aesthetic issues to be considered. It is the intent to provide a pleasant experience for daily users by incorporating both in the elements of private drive design.

Private drives facing garages should be set back from the alley to facilitate ease of vehicular movement and provide relief from an otherwise continuous line of garage doors meeting the hard drive plane. This setback allows some planting between the drive and the building faces, softening and interrupting the view of hard surfaces.

Private drives lined with homes that have similar or identical facades, setbacks, rooflines, color schemes and landscape treatments are monotonous and lack individual identity. This condition is not permitted.

In order to avoid this, the following requirements must be met:

- Avoid a multi-storied, “canyon-like” effect within the private drive by providing varied massing and rooflines, vertical and horizontal offsets of primary architectural elements. All drive apron and building separation setback requirements shall still be maintained, (see Development Standards for specific product requirements/setbacks).
- Articulate building elevations with style-appropriate window trim, elements and details.
- Vary garage door appearance by using door patterns, colors, and windows as appropriate to individual architectural styles and/or adding perpendicular trellis elements above or at the sides of garage doors.
- Design and locate rear privacy walls and pedestrian gate entries to provide ease of access to the rear yard, allow sufficient dimension for landscape requirements and screen trash can storage from private drive view.
- Provide sufficient lighting for safety and security in private drives.

3.11 STREETS AND PRIVATE DRIVES

The width and depth of streets and/or private drives within the Parkview Condominium Land use shall be subject City Standards and the review and approval of the City, during Site Plan review. The street design shall run throughout the development, allowing for sufficient on-street parking for guests. Private drives shall be limited in length and shall include adequate width to provide sufficient emergency access.

3.12 PRIVATE OPEN SPACE

Homes with the Parkview Condominium Land Use shall have private open space. This private open space can include porches, entry courts, patio areas behind garden walls and areas behind six (6) foot high walls

4 ARCHITECTURAL DESIGN GUIDELINES

The architecture within the residential neighborhoods shall be designed to enhance and reinforce the overall community character for Parkview. These guidelines are intended to facilitate the creation of a diverse and varied streetscape, reminiscent of an all-American small town community. The following architectural guidelines were created to help develop architecture that represents quality in design, simplicity in form and plan, and contributes charm and appeal to the proposed neighborhoods.

4.1 AUTHENTICITY

The design criteria in these guidelines are offered to encourage excellent architecture and authenticity of styles through the use of appropriate elements and scale. Although detail elements may be used to further convey the character of a style, the overall massing of the buildings along with appropriate roof forms should be used to establish a recognizable style. Proper scale and proportion of architectural elements and appropriate choice of details, colors and materials are all factors in achieving authenticity.

4.2 ARCHITECTURAL STYLE/PLAN/COLOR MIX

An important goal in this community is to develop varied and interesting street scenes. In order to achieve this, the following architectural style and plan requirements must be met:

All single family detached neighborhoods including condominium neighborhoods shall provide:

- A minimum of 2 plans and 3 elevations when neighborhood is 9 dwelling units or less.
- A minimum of 3 plans and 3 elevations when neighborhood is 10-119 dwelling units.
- A minimum of 4 plans and 3 elevations when neighborhood is 120 dwelling units or more.
- A minimum of 3 color schemes per plan.
- No home on either side or directly across from a dwelling shall have the same color scheme.
- No identical plan and elevation are permitted side by side.
- Opposite hand footprints with different elevations and color schemes are permitted on up to 2 adjacent dwellings.
- Condominium projects may be designed with one architectural style for a cohesive neighborhood thematic design concept.

4.3 STYLES

Each residential neighborhood will be comprised of a variety of architectural styles. These styles were selected as being compatible with the overall traditional all-American theme of the community.

Selected styles may include but are not limited to the following:

- California Ranch
- Craftsman
- Cottage/Country European
- American Colonial
- American Farmhouse
- Spanish Colonial/Monterey
- Tuscan

As future phases of this community are developed architectural styles may be added or deleted provided that they are compatible with the overall style palette and approved by the Development Director.



California Ranch



Craftsman



Cottage/Country European



American Colonial



American Farmhouse



Spanish Colonial/Monterey



Tuscan

TIGALL

4.4 ELEVATIONS SUBJECT TO PUBLIC VIEW

The upper stories and side elevations of homes adjacent to streets or publicly accessible open space areas, and visible from surrounding areas, shall be treated in a similar manner to the front elevation. This treatment is needed on upper stories visible along parcel edges, above fence lines and side elevations on corner lots. These elevations are viewed in three ways: from adjacent units, as foreground along adjacent streets and as distant silhouettes viewed from adjacent neighborhoods and public areas. It is required that front elevations and those portions of side and rear elevations of homes that abut a street and are visible from public areas share common materials and articulation. Such dwellings shall incorporate the following elements:

4.4.1 Single Story Elements

Single story homes, when part of the builder's product program, are encouraged to be plotted as often as feasible on visible perimeter conditions. On two-story dwellings, single story elements such as balconies or patio covers should be used to provide articulation and visual interest to the rear or side elevation.

4.4.2 Varying Rear Setbacks

No more than three adjacent dwellings may have the same rear setback; otherwise an additional offset of at least 2 feet is required. The additional setback may be achieved in one of two ways:

- Wall planes on an individual house that are offset a minimum of 2 feet.
- Staggered rear setbacks on adjacent homes with a minimum offset of 2 feet.

4.4.3 Variation of Roof Planes

A variety of roof forms are encouraged using gable, cross-gable, hip, and shed elements. No more than two adjacent residences may have primary gable end roof forms facing the visible perimeter edges of the parcel. Ridgelines of adjacent residences should be in different directions to the extent feasible.

4.4.4 Architectural Enhancements

The rear or side of elevations visible from perimeter to edge conditions shall be sufficiently articulated to provide visual interest, including:

1. Required:

On elevations subject to public view, provide detailing of the second floor and/or corner lot side elevations with materials, color, window surrounds and changes in wall planes as appropriate to style.

AND

2. Select at least two of the following:

- Offset wall planes (Minimum offset: 2 feet).
- Roof Plane Breaks.
- Color Blocking.
- Shutters on 2nd story windows when accompanied by corresponding pot shelf with minimum 12-inch projection (not permitted on the Craftsman style).
- Introduction of accent building materials and colors.
- Introduction of accent elements such as clay vents, outlookers and decorative grille work consistent with the front elevation.
- Other similar features that provide articulation to the visible side or rear elevation.

4.5 MASSING AND FLOOR PLAN FORM

Building massing and floor plan variations should be oriented so that a diverse architectural featured neighborhood may be created.

- Building massing and floor plan variations should be oriented so that a diverse architectural-featured neighborhood may be created.
- Employ variation in massing, height and garage placements between plans to achieve diversity in the street scene.
- Keep selected styles in mind and use simple and appropriate massing, architectural elements and roof lines/pitches to establish clearly identifiable styles.
- Selection of style mix should consider common roof forms/pitches, massing and elements that may be expressed appropriately in several styles with minor additions or adjustments.
- Boxy two-story building forms that overwhelm the street scene are discouraged.
- The building mass should be broken up with similar design elements, where feasible, to provide visual interest and articulation to the neighborhood street alone.

4.6 BALCONIES

The design of balconies as part of the building façade is encouraged in some architectural styles for both aesthetic and practical reasons. As well as providing outdoor living areas and elevated private spaces for individual homes, they are useful in breaking up wall planes, offsetting floors, creating human scale and adding visual interest.

- Balconies may be recessed into the mass of the building or utilized as a projecting element. They may be covered or open.
- Design balconies as an integral element, with details, eaves, supports, and railings, in keeping with the overall architectural style of the building.
- Avoid designing plans that place multiple balconies side by side.

4.7 ROOFS

- Roof slopes shall be consistent with architectural style of the building.
- Broken roof pitches extending over porches, patios or other similar features are encouraged where appropriate to the architectural style.
- Gambrel and mansard roof forms are prohibited.

4.8 MATERIALS AND DETAILS

The character and style of homes should be established primarily through the use of massing, roof forms, and key architectural elements. Appropriate secondary character elements, detailing and accent materials also provide an effective means of reinforcing and enhancing character and style interpretations.

Key elements are those primary architectural features of the home that clearly discern one style from another. Secondary elements and details are identified as those that help to reinforce or enhance an already identifiable style. Key or Primary elements are:

- Doors and Entries
- Windows
- Exterior Light Fixtures
- Roof Materials
- Color
- Accent Materials
- Wall Finishes

4.8.1 Doors and Entries

Building entries represent an important point of interface between public and private spaces typically creating the initial impression for the user and a focal point for the viewer. Front doors and associated entry spaces should thereby be treated with a sense of importance and detailed so as to emphasize their location and purpose. In designing the door and entry space of homes the following guidelines shall be observed:

- Design of door and entry spaces shall be consistent with the architectural style of the home.
- Doors shall be protected by a deep recess, porch or other covered element.
- Door and entry spaces shall reflect a level of detail appropriate to their function and architectural style.

4.8.2 Windows

- Proportions and alignment shall be appropriate to individual style.
- Shutters shall be sized proportionally to match window opening.
- Style-appropriate grates, shutters and tile surrounds are encouraged.
- Full window trim is encouraged on visible elevations.

4.8.3 Exterior Light Fixtures

Exterior light fixtures shall be selected to conceal the light source, lamp or bulb. Recessed canister lighting or fully shielded fixtures are required. The appearance of exterior light fixtures should be appropriate to the style, character and color of the home. Exterior light fixtures are required at each garage located on a private drive. These fixtures can be either recessed canister lighting or fully shielded fixtures.

4.8.4 Roof Materials

- Roof materials, colors and treatments should correspond to the individual character or style of the home or building and be compatible with the overall look of the neighborhood.
- Concrete or clay tiles may be used appropriate to the style of home.

4.8.5 Chimneys

- Chimneys, when provided, shall be compatible in design, material, and color with the adjoining building.
- Chimney caps should be compatible with the architecture of the building and shall be approved as part of the fireplace assembly, pursuant to the local fire code. Exposed fire arrestors are prohibited.

4.8.6 Color

A variety of natural looking materials and colors provide the diversity required for visual interest while unifying the homes with their settings and creating a timeless appeal. The primary purpose of color selection is to avoid monotony, provide a variety of colorful schemes, and promote visual diversity. To further this diversity, the following criteria shall be met:

- Each elevation shall have a minimum of three colors (Four is preferred. For example, one body color, one trim color and two accent colors.)
- Individual color schemes must be appropriate to the architectural styles with a harmonious selection of accent materials, roof profiles and colors.
- All color changes shall occur on an inside corner or coincide with an architectural element/massing change that conceals their meeting point.
- In conventional front loaded neighborhoods, adjacent homes shall have different color schemes.

4.8.7 Accent Materials

- Accent materials shall enhance and reinforce the architectural style and composition of individual homes and provide variety in the street scene. Selective use of appropriate materials, color and placement can provide maximum impact while providing a sense of unique character to each home.
- Accent materials shall terminate at inside corners or coincide with an edge or architectural element to conceal changes in material. Where views are limited or edges concealed by an architectural element, accent materials may terminate at privacy wall conditions.
- Natural stone, approved manufactured or cultured stone, painted or natural brick, precast concrete, ceramic tile, wrought iron, slump block, and horizontal or vertical wood siding (or approved manufactured siding, i.e. cementitious board) are encouraged.
- Accent materials shall be selected to complement the overall color and style of the home or building.

4.8.8 Wall Finishes

Style-appropriate wall finishes shall visually enhance individual homes. The use and placement of extreme contrasts in color and/or materials should be carefully considered in order to maintain a compatible overall look throughout the neighborhood. Footings shall be exposed no higher than 6” above finished grade.

Permitted finishes include:

- Stucco - light to medium sand finish (“Spanish Lace” finish is prohibited)
- Exposed masonry walls (brick, slump block, etc.)
- Stone, brick, adobe, brick veneers (accent materials)
- Horizontal plank siding (concrete material is OK)
- Board and batten siding (concrete material is OK)

4.8.9 Gutters and Downspouts

Exposed gutters and downspouts shall be colored to compliment or match fascia or accent trim color(s).

4.8.10 Exterior Stairs

Stairs should be compatible in type and material to the deck and landing. Use of open stair treads can only be justified where the balcony or landing element projects out from the main wall of the building. Location of exterior stairs is permitted on the side or rear of the home or garage except on facades that side or back onto public streets or publicly viewable / accessible open space areas. Applicable setbacks shall be maintained.

4.8.11 Mechanical Equipment

Mechanical equipment shall not detract from the architectural design of the home. Special care should be taken to ensure that all mechanical equipment including junction boxes, trash receptacles and air conditioners are properly screened from public view via walls, enclosures, etc.

- Air conditioning units shall not be placed in the front yard. Ground mounted air conditioning units shall be located behind side yard privacy return walls.
- Mechanical equipment such as air conditioners, heaters, evaporative coolers, and other devices shall not be mounted on roofs.
- Mechanical devices such as exhaust fans, vents and pipes shall be painted to match roof surfaces.
- The placement of mechanical equipment within side yards shall not restrict pedestrian access in emergency situations. Mechanical equipment may be accommodated within the rear yard with minimal impact on yard use and layout.

5 NEIGHBORHOOD COMMERCIAL DESIGN GUIDELINES

Neighborhood commercial development within Parkview will continue the pedestrian-friendly character established in the residential community. By reducing the impact of automobiles on the appearance of the commercial development, appropriate site planning can de-emphasize the vehicle, creating an outdoor environment without ignoring the necessary needs of vehicular traffic. Through well executed planning, architecture, and landscape design, the neighborhood commercial uses within Parkview will complement and, to some extent, integrate the residential community rather than turn its back completely to the Parkview community residents. The Commercial Design Guidelines Section is organized into the following components:

- Guiding Principles
- Site Planning
- Building Design
- Architectural Details
- Open Space and Landscaping

5.1 GUIDING PRINCIPLES

Guiding Principles for commercial design for Parkview include:

- Buildings should contribute to the qualitative nature of the overall neighborhood.
- Proper scale and proportions in massing and details should be used.
- Pedestrian open spaces should be implemented.
- Massing and articulation should be varied.
- Buildings should be designed at a pedestrian-scale.
- Parking lots should be de-emphasized as much as possible.
- Buildings should have an enduring quality.
- Design should draw inspiration from the rich and diverse Southern California architectural heritage.
- Materials and colors typical to Southern California should be used.
- Details and ornamentation should be authentic, as much as possible.
- Design should create an inviting place to shop.
- An open view corridor to the park site shall be established from the intersection of Baldy Mesa Road and La Mesa Road as described in Section 5.4 Neighborhood Commercial Land Use Regulations in the Parkview Specific Plan.

5.2 SITE PLANNING

5.2.1 Orientation

The Neighborhood Commercial site shall be designed where a visual corridor shall occur between the northeast intersection of La Mesa and Baldy Mesa Road that visually links the southwest corner of the park to the arterial intersection.

This connection shall not be blocked by buildings and shall be incorporated into the design of the overall site.

Buildings and landscaping may frame the corridor to create the visual connection.

Buildings should be oriented for best visibility from the surrounding streets. Windows and entries should face the streets, avoiding blank walls, which could dominate public views. Stores with entries not visible from the street may be oriented towards pedestrian open space. All primary entries should face onto a street or a connecting internal walkway. Refer to Exhibit 29, Conceptual Visual Corridor, in the Parkview Specific Plan, Section 5 – Development Standards.

5.2.2 Driveways

The site shall be provided with a limited number of driveways to reduce the traffic impact along Baldy Mesa and La Mesa Roads. Pedestrian crossing distances should be minimized at driveways. Driveways should be paved with asphalt, concrete or an enhanced paving material. Enhanced paving materials shall be used at entry points and pedestrian crossings.

5.2.3 Sidewalks

Sidewalks should be of sufficient width and located along natural travel paths for pedestrians to provide easy access from parking areas into shops.

5.2.4 Street Frontage and Buildings

Streetside buildings, or those with no parking separating them from the street, shall use design details and entry features to soften the building's appearance from the street. These buildings should not be more than 150-feet long without a pedestrian plaza or walkway breaking the building mass and connecting the parking lot with the street. On corners, buildings should utilize massing elements to anchor the corner.

5.2.5 Service and Storage Areas

Loading docks and storage areas shall be located behind or to the side of buildings, siding onto secondary access and not primary streets. These features must be screened with walls and landscaping as much as possible from public view of streets, residences, pedestrians walkways and connecting trails. Loading docks and storage areas should not conflict with pedestrian walkways.

5.2.6 Refuse Containers, Utility and Mechanical Equipment

Refuse containers and equipment should be easily accessed by service vehicles but screened from view of the streets, parking lots, and connecting walkways through roof forms, walls and/or landscaping. Screening details should incorporate elements that are compatible with the architectural style of the building. Proper landscaping, including trellises, also may help to screen these elements.

5.3 BUILDING DESIGN

5.3.1 Massing

With larger buildings, appropriate massing becomes more important to maintain the pedestrian-scale of the development and create a visually pleasing environment. Design elements or features are encouraged at focal points, such as corners, plazas, major entrances, where walkways meet streets and at the pedestrian/bicycle connection to the park.

5.3.2 Roof Forms

Roof pitches should be compatible with the architectural style of the building. Flat roofs should vary in height and be accompanied by cornice, trim or other accent features.

5.3.3 Entry Design

Building entries should be prominent and easily identified. Various elements can be used to enhance the entry features including massing variation, materials and color change, change in roof form, and awnings. For smaller neighborhood commercial buildings, as part of a cluster or strip, arcades, awnings, and simple signage may be acceptable as entries.

5.3.4 Arcades, Trellises and Awnings

Outdoor arcades along storefronts are encouraged over pedestrian walkways. Arcades may be used to connect separate buildings, or to provide a more pleasing experience for pedestrians. Trellises or awnings may also be used to create a covered walkway to protect pedestrians from the sun and rain.

5.3.5 Architectural Styles

A consistent architectural style should be used throughout the commercial development in Parkview to create a sense of continuity between the buildings. Related elements, such as trellises, planters, light-standards, windows, doors, etc. should also adopt detailing that is compatible with the selected architectural style. The selected style for the neighborhood commercial buildings does not necessarily need to be of any one of those available for the residential community but should be compatible with them.

Architectural styles should derive from Southern California and Victorville's history. Acceptable styles generally respond to the region's climate including such features as shaded windows, outdoor circulation, courtyards and/or plazas, awnings, arcades, loggias and trellises.

5.3.6 Building Wall Treatment

No wall should have a blank, uninterrupted length exceeding 50 feet without including one of the following:

- Change in texture
- Change in material
- Change in plane
- Lattice
- A tree or equivalent element

Facades that are visible from adjacent streets or walkways should display even greater visual interest by using architectural elements that break up the massing of large buildings, such as windows, arcades, awnings, porticos, and other architectural features.

5.3.7 Base and Top Treatments

Base and top treatments help to balance the “weight” of the building visually. Bases should appear to “ground” the building, while tops create a defined edge to the roofline. Possible treatment techniques are as follows:

1. Base

- Thicker walls
- Natural materials
- Different colored materials
- Enriched landscaping with a mature height of at least 18”

Special materials, such as ceramic tile, granite, stone, and marble, are encouraged on the base of buildings that face streets or connecting walkways, especially adjacent to major entries.

2. Tops

- Cornice treatments
- Roof overhangs with brackets
- Stepped parapets
- Textured materials
- Different colored materials

5.3.8 Exterior Materials

Recommended materials include stucco, exterior plaster, brick, wood siding, tile, or stone. Selected materials and detailing should have an enduring appearance.

5.3.9 Roof Materials

Roofing materials that are generally acceptable include metal standing seam, concrete tile, ceramic tile and slate or slate-like materials.

5.3.10 Colors

Color selection should be consistent with the selected architecture style.

6 LANDSCAPE ARCHITECTURAL DESIGN GUIDELINES

6.1 LANDSCAPE THEME

The high- desert environment provides a rich palette of colors, textures and materials within the landscape. Parkview is a community that will take advantage of the natural aesthetic setting that encourages residents to have a closer contact with their outdoor environment. Repeated use of desert themed landscape elements such as colored gravel and rock, natural boulders, Joshua trees and other appropriate plant material shall bring the high- desert environment into Parkview.

All landscape areas within the Landscape Maintenance Assessment District shall be built consistent with this chapter and per city standards subject to the approval of the Director of Community Services.

6.2 COMMUNITY, COMMERCIAL AND NEIGHBORHOOD ENTRIES

Entry points leading into the community are essential in creating a sense of place and identity. Community and neighborhood entry points shall use landscape design elements that embrace the high-desert landscape to help set the stage on building the arrival sequence of visitors and residents alike. The landscape design at the entrances shall reflect the community's quality of life and provide continuity in neighborhood design. All landscaping in the sight triangle of all road instructions shall not have trees or bushes, only low ground cover and low plants are permitted

Highlights:

- Entry points shall be accentuated through an enhanced landscape of unique accent trees, palms, shrubs and groundcovers.
- Changes in height, texture and color of plant material will highlight visibility and introduce the overall landscape theme of Parkview.
- Enhanced accent paving shall be used on community entrances to encourage vehicular traffic to slow down.
- Entry points shall likewise have thematic signage and markers for identity and emphasis. This design shall remain consistent throughout the entire community.
- Wall treatments on entry points shall employ the use of rich colors and materials that shall coordinate with adjacent architecture styles for character.

6.2.1 Community Entries

Two key entries leading into the community are identified on Baldy Mesa Road and La Mesa Road. The purpose of these two entries is to introduce the landscape theme to all who travel through Parkview. The introduction of stylized plant groupings that reflect the high-desert landscape are central to the success of the Community Landscape Theme.

Highlights:

- Community entries shall suggest a grander scale with tree lined streets to enhance character and appeal to visitors and residents.
- Both entries shall have a median landscape strip with desert themed planting for transition into the community.
- All trees and plant materials shall correspond with the approved trees and plant list that corresponds to community theme and appropriate scale.
- Stone veneer walls shall accent the entry process
- Parkview community entries shall have themed monumentation to enhance the arrival experience.
- Enhanced paving on entry ways not only accentuates community entries but also encourages slower vehicular movement and improves pedestrian mobility and safety.

Methods:

- Use of eight (8) focal evergreen trees with a minimum size of 48” box
- Use of (9) accent palms (minimum 12’ brown trunk height) – (3) located within the median and (3) located on each side of the entry.
- Use of (4) flowering accent trees (minimum size of 36” box – (2) located on each side of the entry.
- Massing of a variety of minimum of 5-15 gallon shrubs and groundcovers in planting beds located at entry points and roadways.
- A mixture of decomposed granite, decorative rock and boulders shall be used to create the ground plane within the entry and median:
 - 3” layer of “Desert Rose” fines over native;
 - 4” layer of “Desert Rose” cobble (3” diameter minimum);
 - Natural boulders that complement the “Desert Rose” color; and
 - All gravel/rock areas as well as planted landscape areas shall be separated by a six inch (6”) concrete mow curb.
- Accent lighting used on focal points to enhance character and appeal to visitors and residents.
- Stone Veneer finish shall be El Dorado Veneto Field Ledge with standard grout.
- Enhanced paving shall be 80 mm thick Antique Cobble by Angelus, laid in I-pattern. Color will be Cream-Charcoal (tumbled) with 24” natural concrete bands at edges

6.2.2 Neighborhood Entries

These entries are located within each of the various neighborhoods. The landscape design of neighborhoods shall make use of unique accent trees, palms and Joshua trees along with decorative gravel/rock to create a “scaled-down” version of the community entry. This will provide both hierarchy and continuity to the community at the same time.

Highlights:

- All entries shall have a median landscape strip with desert themed planting for transition into the neighborhood.
- All trees and plant materials shall correspond with the approved trees and plant list that corresponds to neighborhood theme and appropriate scale.
- Stone veneer walls shall accent the entry process
- Parkview neighborhood entries shall also have themed monumentation to identify arrival into each individual neighborhood
- Enhanced paving on entry ways not only accentuates neighborhood entries but also encourages slower vehicular movement and improves pedestrian mobility and safety.

Method:

- Use of (4) four focal evergreen trees with a minimum size of 36” box.
- Use of (6) six accent palms (minimum 12’ brown trunk height) – (3) on each side of the entry.
- Massing of a variety of a minimum of 5-15 gallon shrubs and groundcovers in planting beds located at entry points and roadways.
- Parkview neighborhood entries shall have themed monumentation to enhance arrival experience.
- A mixture of decomposed granite, decorative rock and boulders shall be used to create the ground plane within the entry and median:
 - 3” layer of “Desert Rose” fines over native
 - 4” layer of “Desert Rose” cobble (3” diameter minimum)
 - Natural boulders that complement the “Desert Rose” color.
 - All gravel/rock areas as well as planted landscape areas shall be separated by a six inch (6”) concrete mow curb.
- A six-foot wide sidewalk located on both sides of the street allow for pedestrian circulation.
- Stone Veneer finish shall be El Dorado Veneto Field Ledge with standard grout.
- Enhanced paving shall be 80 mm thick Antique Cobble by Angelus, laid in I-pattern. Color will be Cream-Charcoal (tumbled) with 24” natural concrete bands at edges.

6.2.3 Commercial Entries

The commercial entries are recognized to be a part of the street scene for La Mesa Road and Baldy Mesa Road. The elements used within the entries shall reflect the character and design of the Parkview community, but shall be at a smaller scale to allow for increased visibility into the commercial site. Stone veneer signage, unique accent trees and palms, and decorative rock shall complement the overall landscape theme. Construction of commercial entries including all improvements and furnishings of entry areas shall be the entire responsibility of the commercial developer.

Highlights:

- All trees and plant materials shall correspond with the approved trees and plant list that corresponds to community theme and appropriate scale.
- Parkview commercial entries shall also have a themed entry to identify arrival into the commercial center.
- Enhanced paving on commercial entry ways not only suggests arrival but also encourages slower vehicular movement and improves pedestrian mobility and safety.

Methods:

- Use of (4) four focal evergreen trees having a minimum size of 36" box.
- Use of (6) six accent palms (minimum 12' brown trunk height) – (2) on each side.
- Massing of a variety of a minimum of 5-15 gallon shrubs in planting beds located at entry points and roadways.
- 24" high stone veneer wall with precast concrete cap
- A mixture of decomposed granite, decorative rock and boulders shall be used to create the ground plane within the entry and median:
- 3" layer of "Desert Rose" fines over native
- 4" layer of "Desert Rose" cobble (3" minimum)
- Natural boulders that complement the "Desert Rose" color.
- All gravel/rock areas as well as planted landscape areas shall be separated by a six inch (6") concrete mow curb.
- Enhanced paving shall be 80 mm thick Antique Cobble by Angelus, laid in I-pattern. Color will be Cream-Charcoal (tumbled) with 24" natural concrete bands at edge.

6.3 STREETScape DESIGN

“Healthy streets create healthy neighborhoods.” (Dan Burden)

Landscape design plays a crucial role in effective street design that goes beyond form and aesthetics. Streetscape connects neighborhoods allowing a smooth circulation of vehicular traffic for visitors and residents. It addresses comfort, safety, security and accessibility for residents and visitors. Streets on neighborhoods will be to be more enjoyable, walkable and interactive to pedestrians. Construction of neighborhood streetscapes including all improvements and furnishings of its areas shall be the entire responsibility of the parcel developer.

Highlights:

- Perimeter streetscapes/street tree patterns shall adhere to the criteria set forth by the City of Victorville.
- Interior streetscapes shall be designed to provide a cohesive and hierarchal element tying the community together as a whole.
- Shrub and groundcover areas shall be a mixture of drought tolerant plant material and decorative rock/gravel.
- At identified perimeter corners, an enhanced corner landscape treatment shall be installed that will consist of a raised planter and Joshua Trees with accent lighting.
- In some areas within the community, corners of adjacent residential lots, shall be thematically landscaped for transition into neighborhood and community spaces. Wall treatments will be made more apparent and distinct with decorative pilasters accentuated by selected trees and plants for visual impact. Trees shall be strategically located so as not to interfere with driving visibility.

Methods:

6.3.1 Perimeter Streets - (Baldy Mesa Road, Luna Road, La Mesa Road and Joshua Road)

- Baldy Mesa Road, Luna Road, La Mesa Road and Joshua Road shall be planted in accordance with the specific plan design.
- Street trees will be at a minimum size of 24” box with required caliper and dimension standards
- Root barriers will be used to discourage root growth invasion on pavement.
- Average street tree spacing shall not exceed 40’ o.c.
- Thirty percent (30%) of the perimeter landscape shall be a combination of decorative gravel in ‘Desert Rose’ color and natural boulder selection to complement the themed landscape.
- All gravel/rock areas as well as planted landscape areas shall be separated by a six inch (6”) concrete mow curb.
- All trees and plant materials shall correspond with the approved trees and plant list to reinforce community theme.

- Background shrubs shall be at a minimum of 5 gallons in size and shall be spaced at 75% of their growth of maturity spread.
- Foreground shrubs are to be a minimum of 1 gallon in size.
- A minimum of two rows of shrubs will be installed in planting beds.
- Where specified, groundcover will be spaced at a maximum of 12” o.c.

6.3.2 Collector Streets – (Braceo Road and Street “A”)

- On ‘Street A’ and ‘Braceo Road’, a parkway will separate vehicular traffic from pedestrians and will be planted with groundcover and shrubs. Shrubbery planting within the parkway will not exceed 24” in height at maturity.
- Street trees will be at a minimum size of 24” box with required caliper and dimension standards
- Root barriers will be used to discourage root growth invasion on pavement.
- Average street tree spacing shall not exceed 40’ o.c.
- All trees and plant materials shall correspond with the approved trees and plant list to reinforce community theme.
- Background shrubs behind sidewalk shall be at a minimum of 5 gallons in size and shall be spaced at 75% of their growth of maturity spread.
- Foreground shrubs behind sidewalk are to be a minimum of 1 gallon in size.
- A minimum of two rows of shrubs will be installed in planting beds.
- Where specified, groundcover will be spaced at a maximum of 12” o.c.

6.3.3 Traditional Single Family Neighborhood Streetscape

- The following is the average criteria for street tree spacing within Parkview:
 - **5,000 square foot lot**
A minimum of one (1) street tree per lot. Lots with over 52 feet of linear curb face shall have (2) street trees
 - **6,000 square foot lot**
A minimum of two (2) shade type street trees per lot evenly spaced at 30’ on center. Trees are to be spaced at a maximum of 32’ on center. Lots with over 64 feet of linear curb face shall have three (3) street trees
 - **7,000 square foot lot**
A minimum of two (2) shade type street trees per lot evenly spaced at 35’ on center. Trees are to be spaced at a maximum of 37’ on center. Lots with over 74 feet of linear curb face shall have three (3) street trees

- All trees and plant materials will correspond with the approved trees and plant list to reinforce community theme.
- Street trees will be at a minimum size of 24” box with required caliper and dimension standards
- Root barriers will be used to discourage root growth invasion on pavement.

VICTORVILLE TREE LIST

<i>BOTANICAL NAME</i>	<i>COMMON NAME</i>	Baldy Mesa Road	La Mesa Road	Luna Road	Braceo Road	Street 'A'	Interior Neighborhood Streets	Corner Treatments	Primary Community Entries	Neighborhood Entries	Interior Paseo & Pocket Parks	Accent Points
Albizia julibrissin 'Rosa'	Silk Tree	•		•							•	
Cercidium hybrid 'Desert Museum'	Thornless Hybrid Palo						•					•
Chamaerops humilis	Mediterranean Fan Palm							•	•			•
Chitalpa tashkentensis	Chitalpa Tree	•						•	•	•	•	•
Cupressus sempervirens	Italian Cypress	•						•		•		•
Eucalyptus sideroxylon	Red Ironbark			•							•	
Fraxinus angustifolia 'Raywood'	Raywood Ash						•		•			
Gleditsia t. inermis 'Shademaster'	Honey Locust						•				•	
Koelreuteria bipinnata	Chinese Flame Tree				•		•				•	
Ligustrum lucidum	Glossy Privet		•				•				•	
Magnolia grandiflora 'Russet'	Southern Magnolia									•	•	
Olea europaea	Olive							•	•	•		
Pinus eldarica	Afghan Pine	•	•		•	•						•
Pistacia chinensis	Chinese Pistache		•	•	•	•	•		•		•	
Prunus cerasifera	Cherry Plum						•					
Prosopis chilensis	Chilean Mesquite								•		•	•
Quercus ilex	Holly Oak						•					
Ulmus parvifolia 'True Green'	Evergreen Elm						•				•	
Washingtonia robusta	Mexican Fan Palm							•	•	•	•	•
Yucca brevifolia	Joshua Tree							•	•	•		•
Zelkova serrata	Sawleaf Zelkova						•		•			

6.3.4 Clustered Homes Neighborhood Streetscape

- Street trees will be at a minimum size of 24” box with required caliper and dimension standards and spaced at a maximum of 40’ o.c. based upon linear footage of curb face.
- All trees and plant materials will correspond with the approved trees and plant list to reinforce community theme.
- Root barriers will be used to discourage root growth invasion on pavement.

6.4 RESIDENTIAL LANDSCAPE DESIGN

6.4.1 Traditional Single Family Neighborhood Landscape Design

1. Front Yard Conceptual Landscape Design

The Landscape Design for the traditional single family neighborhood developments shall serve the purpose of creating a sense of neighborhood within each development. An overall theme of water conservation shall be represented throughout each neighborhood in the manner that the front yard landscapes are to be design and maintained. Drip irrigation principals are to be used within the front yard landscape.

Highlights:

- The landscape will feature a mixture of trees, shrubs, groundcovers and rockscape with different shapes, textures and colors that will coordinate with the landscape theme of Parkview.
- Size of trees and placement will be appropriate with neighborhood scale. Opportunities for summer shade and sunlight penetration shall be considered.
- No turf shall be allowed within the front yard landscape

Methods:

Front Yard Landscape Requirements

- | | |
|---------------------------------------|----------------------------------|
| • Minimum Street Tree Quantity | (see above) |
| • Minimum Front Yard Tree Quantity | 2 |
| • Minimum Tree Size | 24” box |
| • Primary Tree Type | Shade |
| • Secondary Tree Type | Accent |
| • Minimum Shrub Size | 5 gallon |
| • Maximum Shrub Spacing | 75% of growth of maturity spread |
| • Minimum Accent Shrub Size | 1 gallon |
| • Minimum Ground Cover Size | 1 gallon |
| • Maximum Ground Cover Spacing | 24” o.c. |
| • Minimum Decorative Rock/Gravel Area | 25% |

2. Interior Slope Landscape Design (where applicable)

- Construction of interior slope landscape for slopes larger than 5' high shall be the entire responsibility of the parcel developer.
- All trees and plant materials selected shall correspond with the approved trees and plant list to reinforce community theme.
- Trees will be at a minimum size of 5 gallon size with required caliper and dimension standards with one tree per 500 square feet of slope area.
- All shrubs shall be a minimum of 1 gallon in size with one shrub per 64 square feet of slope area.
- Ground cover will be placed under shrub areas with a maximum spacing of 12" o.c. or less to ensure 100% slope coverage.
- Considerations for permanent hydroseeding will be considered.

6.5 CLUSTERED HOMES LANDSCAPE DESIGN

The Landscape Design for the clustered homes developments shall serve the purpose of a unifying element for all that live within that neighborhood. Open space and common area amenities are encouraged to create a sense of community within each parcel. Desert themed landscape elements shall be used in appropriate locations to link each development into the community of Parkview.

Highlights:

- The landscape will feature a mixture of trees, shrubbery and groundcovers with different shapes, textures and colors that will tie in with the landscape theme of Parkview.
- To foster a more dynamic and interesting landscape, the use of specimen trees, unusual clustering, or an accent tree shall be planted to create for planned surprises within the neighborhood
- Tree/plant massing will be preferred on occurrence of building massing to soften hard edges.
- Informal tree clustering will be placed on harsh sun exposures for shade and passive cooling during harsh summer days and creating opportunities for people places.
- Where applicable, tree/plant massing will be planted informally to break the monotonous pattern of equal spacing and create for a more vibrant rhythm.
- Size of trees will be appropriate with neighborhood scale. Opportunities for summer shade and sunlight penetration shall be considered.

Methods:

- All open space and street frontage shall be the entire responsibility of the parcel developer.
- All trees and plant materials selected shall correspond with the approved trees and plant list to reinforce community theme.
- Tree sizes will be at a minimum of 24" box to a maximum of 72" box.

- Background shrubs shall be at a minimum of 5 gallons in size and will be spaced at 75% of their growth of maturity spread.
- Foreground shrubs are to be a minimum of 1 gallon in size.
- Ground covers are placed under shrub areas with a maximum spacing of 12" o.c.
- A mixture of decomposed granite, decorative rock and boulders shall be used to create the ground plane within the entry and median:
- 3" layer of "Desert Rose" fines over native
- 4" layer of "Desert Rose" cobble (2" minimum) for 50% of the rockscape
- 4" layer of an accent cobble (1" minimum) for 50% of the rockscape
- Natural boulders that complement the "Desert Rose" color
- All gravel/rock areas as well as planted landscape areas shall be separated by a 2x4 (or equivalent) composite headerboard/benderboard.
- On specified turf areas, all areas are to be sodded or hydroseeded tall variety fescue turf with the maximum slope shall be 4:1.
- Turf areas shall be limited to 25% of the total landscape area within the parcel development.

6.6 PASEO / NEIGHBORHOOD PARK

6.6.1 Paseo/Community Trail

The Paseo/Community Trail system provides a dual purpose for the residents of Parkview. First, the paseo is a designed network of landscaped pathways that provides a "walkable" connection for the residents through landscaped areas to the park, school or stores at the commercial center. Second, it also serves to convey storm water that is generated both on and off-site through the community in a safe manner. Taking advantage of this drainage feature to create pedestrian environments for this community not only will provide for aesthetic appeal throughout, but it will also create the opportunity for people to get outdoors and live a healthy lifestyle. The "Paseo" exists between Planning Areas 6 and 10, and Planning Areas 2 and 3. The "Community Trail", located within Planning Areas 4 and 5, shall provide a pedestrian linkage through this residential area to the school and park beyond.

Highlights:

- The paseo provides for small gathering spaces encouraging opportunities for social interaction among neighbors, and promotes physical, emotional and mental activities for a healthy community.
- The paseo/trail will have meandering pathways running alongside an aesthetic landscape; dotted with an assortment of trees and a variety of shrubs, groundcovers and rockscape creating for a more sensory, walk-through experience.
- The paseo/trail will have a block wall six feet in height for site enclosure when adjacent to resident's side and rear yard areas, except for areas within a front yard, which shall have a combination wall and fence.
- Signage shall be easily visible and be harmonious with the community theme design.

- A variety of canopy trees shall be strategically located to provide a “shade oasis” at specific intervals and seating node locations to add comfort for pedestrians using the paseo.

Methods:

- The paseo/trail will have a minimum width of thirty-six feet from the exterior walls.
- An 8’ wide paved concrete walkway trail shall meander along the paseo/trail.
- Accent focal evergreen trees (36” box minimum), and decorative gravel/rock shall be used at paseo access points so they can be easily located.
- A “Shade Oasis” is to comprise of a minimum of (5)-24” box deciduous shade trees clustered in a manner to provide shade to the pathway and adjoining seating node (if applicable). A “shade oasis” is to occur randomly at a maximum of 300 feet on center to create a sense of “destination” for the pedestrians.
- Seating nodes are comprised of a bench and trash can offset from the walkway with decorative rock/gravel as an accent.
- A mixture of decomposed granite, decorative rock and boulders shall be used to create the ground plane around the node and along the paseo/trail. The groupings of boulders will be laid in a manner to recreate a natural rock outcropping:
 - 3” layer of “Desert Rose” fines over native
 - 4” layer of “Desert Rose” cobble (3” minimum)
 - Natural boulders that complement the “Desert Rose” color
- All gravel/rock areas as well as planted landscape areas shall be separated by a six inch (6”) concrete mow curb.

6.6.2 Neighborhood Park

The neighborhood park presents an opportunity for shared recreation between neighbors and organized sports for the Parkview community, thereby fostering relationships and building a healthy community. The landscape design allocates spaces for these activities where passive and active recreation come together.

Highlights:

- Overhead structures such as trellises, arbors, archways shall have opportunities for shade. This design shall coordinate with the community’s character and theme.
- Site furnishings such as picnic tables, barbecues, benches, waste receptacles and other site amenities will harmonize with the neighborhood’s theme.
- Signage shall be easily visible and be harmonious with the community theme design.
- Benches shall be set on a concrete pad.
- Vertical trees shall be planted for visual screen and privacy of adjacent neighbors. Trees shall have a minimum of 15 gallon size.
- All trees and plant materials selected shall correspond with the approved trees and plant list to reinforce the community theme.

- Size of trees located within turf areas shall provide opportunities for shade and seasonal change for accent.
- Massing of shrubbery is encouraged along the perimeter of the wall or slope.
- Site furnishings such as picnic tables shall be set on concrete pads and shall each have a trash receptacle.
- Lighting shall be directed downward and full cut-off shields shall be utilized to direct light only onto sports activity areas to avoid impacts to surrounding residential uses.
- The park may contain, but is not limited to, the following amenities:
 - (2) multi-purpose fields
 - (1) designated baseball field (200' little league dimensions)
 - (1) Concession/restroom combination building
 - (1) Maintenance building.
 - (1) Tot lot (3-6 years old)
 - (1) Picnic area
 - (1) Basketball court
 - (1) Volleyball court

6.7 COMMERCIAL LANDSCAPE DESIGN

6.7.1 Commercial Perimeter Landscape

The commercial perimeter landscape for Parkview provides the opportunity to introduce the citizens of Victorville to the unique way of life within the community. A patchwork of trees and shrubs throughout the parking lot and around the perimeter of the site will provide a variety of visual access opportunities into the merchants that reside within the center. At the same time, the landscape will provide the visitors protection from the sun by providing areas of shade throughout the parking lot.

6.7.2 Commercial Interior Landscape

The perimeter landscape of commercial areas shall reflect characteristics of the Parkview community and strengthen its community landscape theme, at the same time, employ water conservation techniques to provide a sensible and complete landscape solution for the center.

- Commercial landscape shall make use of street trees having a minimum size of 24" box spaced at regular maximum intervals of 40' o.c., and with an informal clustered massing of trees with a minimum size of 15 gallons for accent in areas where applicable.
- To screen parking areas in all perimeter conditions so to not interfere with vehicular sight lines, the use of planted hedges with a maximum height of 36" at maturity growth or the construction of a 36" high earthen berm shall be installed.
- Thirty percent (30%) of the perimeter landscape shall be a combination of decorative gravel in 'Desert Rose' color and natural boulder selection to complement the themed landscape.

- Drip irrigation technology shall be used to provide irrigation to shrub/tree areas within the perimeter landscape.
- An 8-foot minimum planter strip shall be installed where the property abuts La Mesa and Baldy Mesa Roads, excluding all driveway approaches.
- All gravel/rock areas as well as planted landscape areas shall be separated by a six inch (6") concrete mow curb.

6.7.3 Commercial Signage

Commercial signage shall be designed with primary consideration to being part of the Parkview community. The neighborhood commercial site identification sign element shall be precast concrete with inset lettering. The name of the center shall be "{Center Name} at Parkview" (for example, "Crossroads at Parkview" or "Centerpoint at Parkview") and shall be set in Monotype Corsiva font. The main sign element shall be a masonry structure with stone veneer. The Stone Veneer finish shall be El Dorado Veneto Field Ledge with standard grout. Two neighborhood commercial site signs shall exist with one being located on Baldy Mesa Road and one on La Mesa Road.

6.8 MASTER SIGNAGE PROGRAM

To further support the landscape theme, the signage for Parkview shall depict the colors and materials of the surrounding desert environment. Colors in the beige tones emulating the color of earth, decorative rock in rose tones to suggest a sunset and stone veneer in the warm grey/brown colors to match the surrounding mountains. All of these elements shall be employed to create a signage program that will solidify the landscape theme in all parts of the Parkview community.

The following is a list of materials that the different signs are to be constructed from:

- Stone Veneer: Stone Veneer finish shall be El Dorado Veneto Field Ledge with standard grout.
- Precast Concrete Wall Cap: "Flat Wall Cap" by Ginger Precast Designs
- Sign Element: Colored concrete "Mesa Beige" (color by L.M. Scofield) with a light sandblast finish with "Parkview" inset in Monotype Corsiva font.

6.8.1 Community Entry

The community entry sign wall is located within the 12' median in the entry and is to announce arrival into the community of "Parkview".

6.8.2 Neighborhood Entry

The Neighborhood Sign Wall is located on either side of the road in a large stone accent wall that announces entry into the parcel developer's project.

6.8.3 Park and School Signs

These signs are to employ the same construction elements as noted above for community continuity. Actual content, size and layout of signs shall be similar to the community entry sign. The sign element shall be colored concrete (see above) with a light sandblast finish with “*name here*” inset in Monotype Corsiva font.

6.9 WALLS AND FENCING

Construction of all neighborhood walls and fences shall be the entire responsibility of the parcel developer in accordance with the standards established herein.

- Exterior wall colors shall harmonize with the site at all times. Textures are to be integrated with the site to produce a variety of shade and texture. Walls and fences will reinforce the community’s character and appeal.
- Wall design, materials, color and finishes shall complement adjacent architecture while keeping the community design theme cohesive.

6.9.1 Community Walls

- View fences or view walls along community open spaces are encouraged wherever privacy or screening is not necessary. These shall be constructed by the parcel developer to conform to the community standard.
- Community walls consist of either solid walls or view fences. Walls and fences must step, not slope, to accommodate grade changes.
- Community pilasters are required at wall angle points and along the community walls that face a street and paseo/trail, with a maximum separation of 100 feet.
- The LMAD will maintain the outside face and top of community walls along roadways and community open space.

6.9.2 Product Walls

- Product walls are all walls interior to a project that are not community walls and are built by the parcel developer. Parcel developers shall develop a unified parcel wall theme that reflects the architecture of the parcel.
- Product walls are visible from adjacent non-residential parcels, streets or community open space. Side yard wall returns, side yard privacy walls along corner lots, and rear yard privacy walls along neighborhood streets are all product walls. All product walls shall be constructed of concrete masonry (CMU) block. The exterior face of the product walls shall be decorative concrete block, painted stucco or integral color stucco on concrete block.
- All view walls built by the parcel developer within or at the perimeter of single family neighborhoods shall meet County pool requirements and comply with the community standard design.
- Product wall height shall not exceed 7 feet. If additional height for retaining is necessary, walls must be terraced.

- Where two product side walls meet at adjoining parcels, exteriors of connecting walls shall match in color, finish, and location.
- The maximum step is 16 inches with a minimum of 32 inches horizontal between steps.
- Walls or wrought iron fencing shall be installed where the Parkview Condominium land uses and school site abut the park site. Pilasters are required at the key points and have not exceeded a separation of 100 feet.
- A tubular steel or combination wall may be constructed between Planning Area 8, Neighborhood Park, and Planning Area 7, Public Facility, depending on the needs of the public facility. The wall or fence to be constructed along this boundary must follow the same design and materials as set forth along Planning Area 9 and 6 also abutting the park site, in order to maintain continuity.
- Interior walls that are not visible from the street are also considered product walls and shall be constructed of concrete masonry (CMU) block. These types of walls are located where two residential properties rejoin usually along the side and rear property lines.

6.9.3 Retaining Walls

- Free-standing retaining walls next to or visible from any street or community open space shall not exceed 4 feet in height. Grade changes that require more retaining must be terraced with a minimum 4 foot wide planter as measured from face of wall to face of wall.
- Free-standing retaining walls must be set back a minimum of 5 feet from back of sidewalk. Retaining walls shall not abut a sidewalk. All free-standing retaining walls must have a return back to the adjacent product wall.
- Retaining walls may be combined with a product or community wall so long as the total visible height of solid wall, as measured on the exterior side of the wall, does not exceed 7 feet.
- All retaining walls must be damp-proofed. Walls must also be adequately drained, if required, on the surcharge side.
- Retaining walls interior to a parcel, but visible from any street or community open space shall be finished in one of the following ways:
 - Painted stucco or integral color stucco on concrete block
 - Stone or manufactured stone face
 - Mortar washed split face concrete block
- Unpainted or unfinished gray concrete block is not permitted for retaining walls visible from any street or community open space. Treated wood is also not permitted.
- Retaining walls located within Landscape Maintenance Assessment Districts (LMAD) areas shall not exceed 3 feet in height.

6.9.4 Garden Walls

Garden walls or fences shall not exceed 36 inches in height and may be constructed of CMU block or with materials that match the architectural style of the home.

*Parkview
Specific Plan*



**"Desert Rose"
Decorative Gravel**



Veneto Field Ledge



Mesa Beige Concrete Color



"Spice" Split-Face Block



**"Cherry Mist"
Decorative Gravel Accent**

MATERIAL EXAMPLES

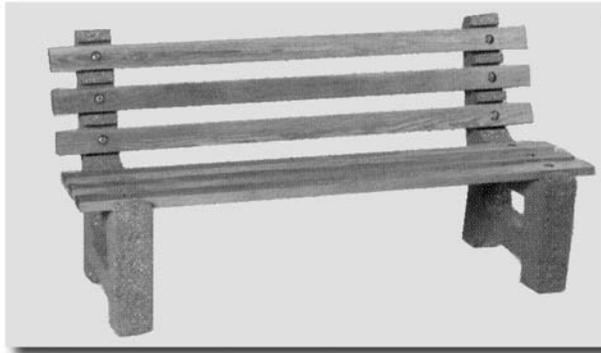


6.10 STREET FURNITURE

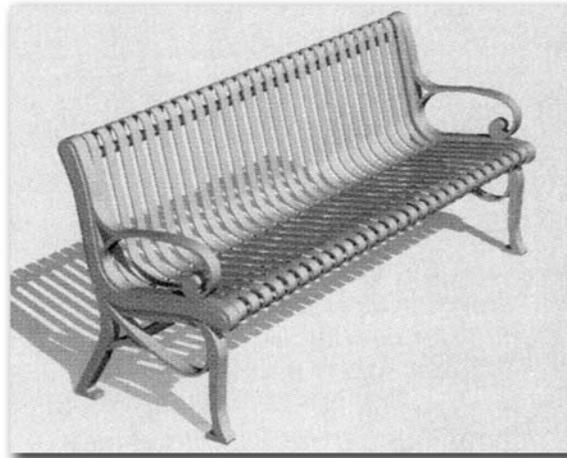
The design of street furniture such as street lighting, trash receptacles, benches, bollards, posts, signage markers and others shall suggest consistency and connectivity with surrounding neighborhoods and harmonize with the community’s design theme.

Colors and materials of selected street furniture shall complement the surrounding desert landscape.

Furniture/Area	Color/Material
BENCHES	
Paseo and Park	Yellowstone (#Q4YS72B) by Quick Crete; Color and finish: C3-T4
Clustered Homes / Commercial Center	#CR-38 by Victor Stanley; color is to be selected by developer
TABLES	
Picnic Table	LBT Picnic Table by Quick Crete; color and finish: C3-T2
Gaming Table	#QS42FC3 by Quick Crete w/ Game Board insert; Color and Finish: C3-T2
TRASH RECEPTACLES	
Paseo and Park	“Santa Clara” (#QS-SC2651SDW); Color and Finish: C3-T3
Clustered Homes / Commercial Center	#S-42 by Victor Stanley; Color to be selected by developer
BOLLARDS	
Unlit Concrete Bollard	#QR-12B by Quick Crete; Color and Finish: C3-T4
Lit Concrete Bollard	#QR-1BLB by Quick Crete; Color and Finish: C3-T4
Street Lights and Park/Paseo Lights	R53GCEA on P-4030 pole by Hadco; color/finish: “Verde” Height of pole to be determined by lighting consultant



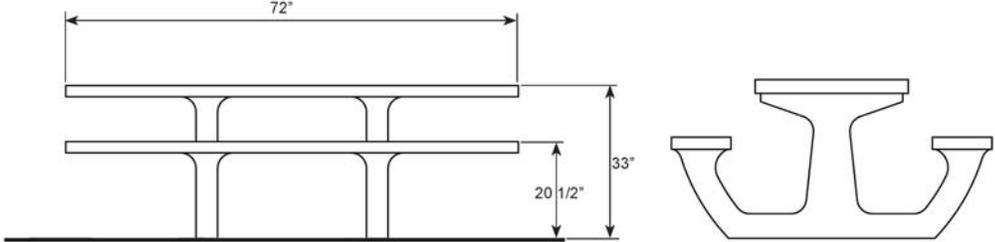
CONCRETE BENCH
MODEL # Q4YS72B
"YELLOW STONE" BY
QUICK CRETE
COLOR/ FINISH: C3-T4



BENCH
CLASSIC SERIES
MODEL # CR-38
BY VICTOR STANLEY
COLOR TO BE SELECTED
BY DEVELOPER

BENCHES





SIDE ELEVATION

END ELEVATION

PICNIC TABLE
MODEL # QLBT72PT
BY QUICKCRETE
COLOR/ FINISH: C3-T2

*TO BE PERMANENTLY ANCHORED TO
CONCRETE PER MANUFACTURER'S SPECS.

PICNIC TABLE

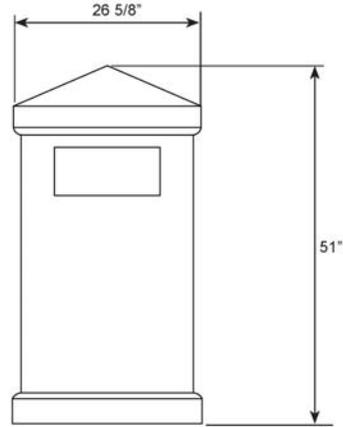


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QS-SC2651SDW
SANTA CLARA
COLOR/ FINISH: C3 T3

PASEO & PARK TRASH CAN



BACK & SIDE VIEW

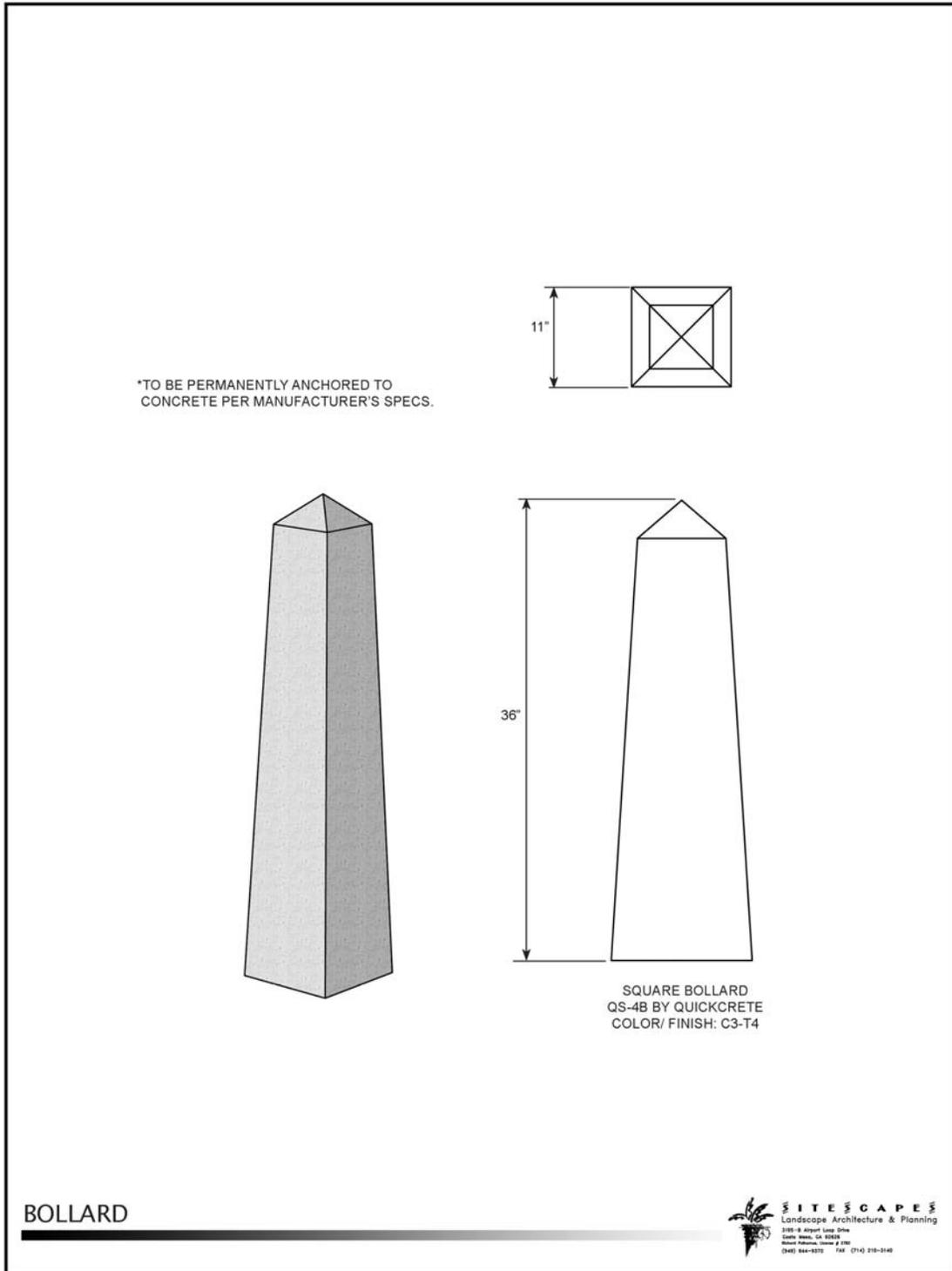


MODEL S-42
36 GALLON LITTER RECEPTACLE
COLOR TO BE SELECTED
BY DEVELOPER

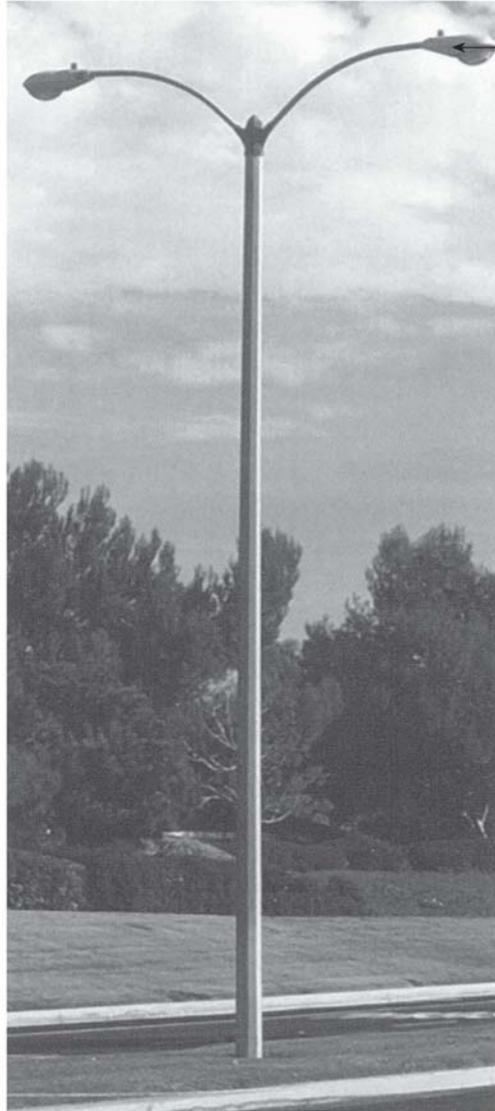
COMMERCIAL & MULTI-FAMILY TRASH CAN

WASTE CONTAINERS





*Parkview
Specific Plan*



OCTOGON POLE AND
COBRA HEAD FIXTURE

HEIGHT OF POLE TO BE
DETERMINED BY
LIGHTING CONSULTANT.
POLE SHOWN IN DOUBLE ARM
CONFIGURATION (WILL BE USED
IN MEDIANS WHERE ROAD IS ON
BOTH SIDES); SINGLE ARM IS ALSO
AVAILABLE (WILL BE USED WHERE
THE ROAD IS LOCATED ON ONE
SIDE).

FOR MORE INFO, CONTACT
SCE AT (800) 655-4555

STREET LIGHTING



6.11 MODEL COMPLEXES

Model complexes provide each parcel developer the opportunity to present their product to prospective buyers. The complexes will be recognized as a part of the Parkview community and will adhere to the following design directions for continuity purposes. Model complexes shall conform to Section 18.68.020 of the Victorville Municipal Code, entitled Temporary Uses.

- Model directional signs shall be located along collector streets (Street “A” and Braceo Road) near each community entry, and significant intersections to help potential residents locate each model complex within Parkview. Each sign will have “Parkview” represented at the top in Monotype Corsiva font. The Parcel Developer may insert their project name within the directional sign.
- All model parking areas shall be asphalted concrete paving, and set back from the street and adequately screened for the street. Parcel Developer will be encouraged to provide adequate parking stalls to minimize on-street parking for prospective buyers.
- Any temporary outdoor handicap accessible restroom elements provided by the parcel developer shall be set at the back of the parking area or out of direct site from the street, and shall be screened with a minimum 7’ high wood screen fence.
- All decorative model trap fencing shall be constructed from tubular steel and painted either “Black”, “White” or “Green” in color.

6.12 COMMUNITY LIGHTING

The community lighting program is designed to provide both aesthetic and security lighting elements within Parkview to allow residents and visitors alike to enjoy all that this community has to offer both day and night.

6.12.1 Street Lighting

The street lighting is designed to be a unifying element that is integral to the streetscape design and the community as a whole. Light fixture type, spacing, light source and possible shielding are to be per the City of Victorville standards

6.12.2 Landscape Lighting

The landscape lighting is intended to provide an aesthetic element to the landscape for a more dramatic presentation of the unique features of the community at night time. These elements include the Community Entry, Neighborhood Entry, Paseo Entry Points and Corner treatments. The following is the criteria for which each specific tree type is to be lit:

<u>Type of Application</u>	<u>Number of Fixtures per tree/wall & type</u>
Evergreen Focal Trees and Flowering Accent Trees @ Entries	3 uplights
Palms @ Entries	2 uplights
Joshua Trees @ Corner Treatments	2 uplights
Stone accent walls @ Entries	2 wall wash
Sign elements for Community, Neighborhood and Commercial Signs	1 wall uplight

6.12.3 Security Lighting

Security lighting is the additional lighting that is provided with the street lighting to allow the residents of Parkview to move throughout their community in a safe and secure manner at all times of the day and night. This lighting is to be provided especially within the paseo, park and commercial center. All light levels shall be per city standards.

Highlights:

- The paseo lighting shall be low in its nature (bollard lighting-see exhibit) to minimize light impact upon the residents directly adjacent to the paseo. Spacing is as required to provide the required amount of light along the paseo pathway.
- Entry points into the paseo will be highlighted with a street light element and aesthetic lighting (see above) to clearly identify access to the paseo and increase visibility.
- Park fixture type, light source, spacing and exact locations shall be per city standards

6.13 LANDSCAPE STANDARDS

6.13.1 Landscape Guidelines

- Landscaping shall conform with the Water Conservation Ordinance 2114. The use of drought-tolerant plant materials is encouraged for water conservation. The plant palette shall reflect water-wise plants that complement the surrounding high-desert landscape while maintaining the integrity of the community.
- Group plants into zones having similar water and care requirements.
- Parcel Developers shall have total responsibility for the construction and maintenance of the landscape within their specific neighborhood parcels.
- The Parcel Developers shall be responsible for ensuring that the landscape contractor maintains a qualified supervisor on site at all times during construction.
- The Parcel Developers are responsible for the positive drainage of the landscape to street or collection drains according to their areas of coverage.
- All trees shall be at a minimum of 24” box size unless specifically noted.
- Soil samples shall be tested on selected flat and slope areas before planting installation. Soil tests must pass agricultural suitability requirements. The same will apply to backfill material mixes.

- After topsoil has been graded, all landscape areas are to be watered for ten (10) days to encourage weed growth and be applied with ‘round-up’ application as per manufacturer’s specifications prior to plant installation.
- All trees within 5 feet of any hardscape area shall require the installation of appropriate root barriers.
- Trees reflected on plan are considered to be diagrammatic. Specifications shall be reviewed by Development Director prior to installation.
- The Parcel Developer and contractor shall verify the quality and quantities of plant materials prior to installation. The designated contractor shall remain responsible for the health of plant materials upon delivery on site.
- Spacing of shrubs shall be seventy five percent (75%) of its maturity growth width unless specifically noted.
- All shrub areas are to have a 2” minimum thick layer of “Desert Rose” fines over native
- A mixture of decorative rock and boulders shall be used to create a decorative ground plane. The groupings of boulders will be laid in a manner to recreate natural rock outcroppings.
- 4” layer of “Desert Rose” cobble (3” diameter minimum)
- Natural boulders that complement the “Desert Rose” color
- All gravel/rock areas as well as planted landscape areas shall be separated by a six inch (6”) concrete mow curb.
- Shrubs and groundcovers shall be triangularly spaced unless specified.
- All groundcovers shall be spaced at a maximum of twelve inches (12”) o.c.
- All plant materials shall be set in the center of the pit with the crown one inch (1”) above the ground. Soil/backfill shall be watered thoroughly and tamped.
- The Parcel Developers are responsible for the disposal and removal of all debris and extraneous materials within their areas of coverage.
- All trees are to be pruned after installation.

6.13.2 Irrigation Guidelines

The landscape is a central component to the quality of Parkview as a community. By providing recreational amenities and unified conceptual themes throughout, Parkview shall provide its residents a quality of life unparalleled in the City of Victorville. The irrigation guidelines below are intended to provide just that by ensuring that all irrigation practices employed within Parkview are done responsibly and to the highest standards available in the industry. Water conservation, long-term maintenance and plant life are the primary goals of this section.

The ultimate goal of the irrigation practices within Parkview is to provide its resident’s a community landscape design that not only honors the environment within which they have chosen to live, but allows it to exist and thrive for decades to come. In order for this to happen, the developer, contractor, maintenance crews and residents of Parkview must understand that water is a precious resource. That the irrigation practices outlined within these guidelines have value for not only short term gain, but long-term benefits as well. State-of-the-art equipment, responsible watering strategies and an

understanding of the high-desert environment all play a critical role in providing Parkview the ability to meet or exceed water conservation programs that have been adopted by the City of Victorville.

1. Source

Irrigation shall make use of reclaimed and potable water. The water provider for both types shall be Baldy Mesa Water District. Appropriate water supply shall be provided in the following manner:

- Plumb for reclaimed water use for all LMAD areas and the park
- All other areas are to be potable water.

2. Landscape Irrigation Zone

Developer shall construct all planted areas in a manner to allow the irrigation systems to be divided into appropriate Irrigation Zones. This is done to maximize the efficient use of irrigation water in areas that have the greatest impact by allocating water to individual areas that require higher water uses to survive. At the same time, lower water use plants should be provided with only as much water as they require.

3. Water Conservation Methods

Employing the latest in technology and irrigation practices throughout the community shall create Parkview to be a “water-wise” community.

4. Irrigation system will include, but not be limited to the following:

- Rainbird central controller system for all LMAD maintained, and each of the school, park and commercial areas
- Automatic controllers for single-family residential front yard landscapes
- Rain detection device located at each controller
- Electric Remote control valves
- Master control valve
- Flow sensor
- Rotor heads, small spray heads, sub-surface bubblers and drip emitters
- PVC mainline and lateral line piping
- Gate valves that isolate sections of larger systems
- Pressure reducing valves where required
- Low head drainage check valves
- Xeri-Bird Multi-Outlet drip irrigation emission device
- Appropriately sized lateral, mainline and wire sleeves under all paving areas greater than 4’ wide

5. Appropriate Irrigation Strategies

- Plant material shall be separated into distinct zones according to each individual water requirements i.e. turf areas, groundcover/shrub areas, drought tolerant/desertscape areas
- North and east exposures shall be separated from south and west exposures.
- High points shall be separated from low points (top of slope separated from bottom of slope) where applicable.
- Irrigation system shall be designed to prevent overspray or discharge onto non-landscaped areas
- Irrigation water shall not be applied at a rate greater than exceeds the infiltration rate of the soil.
- Pop-up heads are to be used adjacent to all pedestrian areas, sidewalk, roadways, paths and trails to prevent broken systems and maximize pedestrian safety
- Pop-up irrigation heads for shrub areas shall be a minimum 6" pop-up
- To maximize the effectiveness of all irrigation heads installed, the following criteria shall be used in regards to head layout patterns:
 - Short-range sprinklers with a spray diameter of 5 to 30 feet spacing shall not exceed 50% of the pattern diameter
 - Intermediate-range sprinklers with a spray diameter of 31 to 75 feet spacing shall not exceed 50% of the pattern diameter
- Drip irrigation systems are to be utilized in lieu of spray irrigation systems when reclaimed water is not being used.
- Multi-Outlet emission devices will be installed below grade within a round valve box.
- Drip irrigation tubes are to be buried underneath decomposed granite/gravel.
- All trees within LMAD areas are to be watered by a separate underground bubbler system.
- All sprinklers controlled by an individual remote control valve shall have compatible precipitation rates. The difference between high and low precipitation rates shall not exceed 20%

APPENDIX – PLANT LIST

Parkview, Victorville, California – Master Plant List

BOTANICAL NAME	COMMON NAME
TREES	
Albizia julibrissin	Silk Tree
Arbutus unedo 'Marina'	Strawberry Tree
Cercis occidentalis	Western Redbud
Chitalpa tashkentensis "Pink Dawn"	Chitalpa
Eriobotrya deflexa 'Coppertone'	Bronze Loquat
Fraxinus angustifolia 'Raywood'	Raywood Ash
Gleditsia t. inermis 'Shademaster'	Honey Locust
Koelreuteria bipinnata	Chinese Flame Tree
Koelreuteria paniculata	Goldenrain Tree
Lagerstroemia indica x fauriei 'Muskogee'	Muskogee Crape Myrtle (Lavendar)
Magnolia grandiflora 'Russet'	Southern Magnolia
Olea europaea 'Wilsoni'	Wilson Olive
Pinus elderica	Afghan Pine
Pinus halepensis	Aleppo Pine
Pinus pinea	Italian Stone Pine
Pistacia chinensis	Chinese Pistache
Prosopis chilensis	Chilean Mesquite
Prunus c. 'Krauter Vesuvius'	Purple Leaf Plum
Pyrus calleryana 'Aristocrat'	Aristocrat Pear
Pyrus calleryana 'Bradford'	Bradford Pear
Tilia americana	American Linden
Tilia cordata	Little-Leaf Linden
Zelkova serrata 'Halka'	Sawleaf Zelkova
PALMS	
Chamaerops humilis	Mediterranean Fan Palm
Trachycarpus fortunei	Windmill Palm
Washingtonia filifera	California Fan Palm
Washingtonia robusta	Mexican Fan Palm

BOTANICAL NAME	COMMON NAME
SHRUBS	
Abelia 'Edward Goucher'	Dwarf Abelia
Agave americana	Century Plant
Arctostaphylos d. 'Howard McMinn'	N.C.N.
Artemisia californica 'Montara'	California Sagebrush
Baccharis 'Centennial'	Coyote Brush
Baccharis pilularis	Dwarf Coyote Brush
Buxus m. japonica	Japanese Boxwood
Callistemon v. 'Little John'	Dwarf Weeping Bottlebrush
Cistus purpureus	Orchid Rockrose
Cotoneaster lacteus	Parney Cotoneaster
Dodonaea viscosa 'Purpurea'	Purple Hop Bush
Euonymus japonica 'Aureo-Marginata'	Gold Edged Euonymus
Grevillea 'Noellii'	N.C.N.
Hesperaloe parviflora	Red Yucca
Ilex a. 'Wilsonii'	Wilson Holly
Ilex vomitoria 'Stokes'	Stokes Holly
Juniperus chinensis 'Armstrongii'	Armstrong Juniper
Juniperus chinensis 'Fruitland'	Fruitland Juniper
Juniperus chinensis 'Gold Coast'	Gold Coast Juniper
Juniperus chinensis 'Mint Julep'	Mint Julep Juniper
Juniperus chinensis 'Pfitzerana compacta'	Nick's Compact Juniper
Juniperus sabina 'Variegata'	Hoarfrost Juniper
Justicia spicigera	Mexican Honeysuckle
Leucophyllum frutescens	Texas Ranger
Leucophyllum laevigatum	Chihuahuan Sage
Ligustrum japonicum 'Texanum'	Wax Leaf Privet
Mahonia aquifolium	Oregon Grape
Mahonia nevinii	Nevin Mahonia
Mahonia repens	Creeping Mahonia
Myrtus communis	True Myrtle
Nandina d. 'Compacta'	Heavenly Bamboo 'Compacta'
Nandina d. 'Nana Purpurea'	Heavenly Bamboo 'Nana'
Nandina domestica	Heavenly Bamboo
Photinia fraseri	Frasier's Photinia
Pittosporum tobira 'Variegata'	Variegated Tobira
Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Tobira
Pittosporum tobira	Tobira
Pyracantha 'Santa Cruz'	Pyracantha
Pyracantha 'Tiny Tim'	Pyracantha
Raphiolepis indica 'Springtime'	Indian Hawthorne
Rhamnus californica	Coffeeberry
Rosmarinus o. 'Tuscan Blue'	Rosemary
Rosmarinus o. 'Collingwood Ingram'	Rosemary
Salvia clevelandii	Cleveland Sage

BOTANICAL NAME	COMMON NAME
Salvia greggii	Autumn Sage
Salvia leucantha	Mexican Bush Sage
Westringia fruticosa 'Wynyabbie Gem'	Coast Rosemary
Yucca aloifolia	Spanish Bayonet
Yucca brevifolia	Joshua Tree
Xylosma congestum	Xylosma
VINES & ESPALIERS	
Eriobotrya deflexa 'Coppertone'	Bronze Loquat
Lonicera japonica 'Halliana'	Hall's Honeysuckle
Macfadyena unguis-cati	Yellow Trumpet Vine
Parthenocissus tricuspidata	Boston Ivy
Photina fraseri	Frasier's Photinia
Pyracantha 'Santa Cruz'	Pyracantha
Pyracantha fortuneana 'Graberii'	Pyracantha
GROUND COVER	
Cerastium tomentosum	Snow-in-Summer
Cotoneaster horizontalis	Rock Cotoneaster
Euonymus fortunei	Winter Creeper
Gazania splendens 'Sunrise Yellow'	Yellow Gazania
Hypericum calycinum	Creeping St. John's Wort
Juniperus chinensis 'Alba'	Variiegated Prostrate Juniper
Juniperus chinensis 'Parsonii'	Prostrate Juniper
Juniperus chinensis 'San Jose'	Prostrate Juniper
Juniperus procumbens	Japanese Garden Juniper
Juniperus procumbens 'Nana'	Dwarf Japanese Garden Juniper
Juniperus chinensis sargentii	Sargent Juniper
Juniperus horizontalis 'Douglasii'	Waukegan Juniper
Juniperus horizontalis 'Emerald Spreader'	Prostrate Juniper
Juniperus horizontalis 'Turquoise Spreader'	Prostrate Juniper
Juniperus horizontalis 'Wiltonii'	Blue Carpet Juniper
Juniperus horizontalis 'Yukon Belle'	Prostrate Juniper
Juniperus sabina 'Arcadia'	Prostrate Juniper
Juniperus sabina 'Blue Danube'	Prostrate Juniper
Juniperus sabina 'Broadmoor'	Prostrate Juniper
Juniperus sabina 'Buffalo'	Prostrate Juniper
Juniperus virginiana 'Silver Spreader'	Prostrate Juniper
Lonicera japonica 'Halliana'	Hall's Honeysuckle
Oenothera berlandieri	Mexican Evening Primrose
Rosmarinus o. 'Prostratus'	Dwarf Rosemary
Verbena peruviana	Trailing Verbena
Vinca major	Periwinkle
Vinca minor	Dwarf Periwinkle