SPECIFIC PLAN

MESA VERDE

CITY OF VICTORVILLE

This Amended Document is Dated: September 5, 2006

MESA VERDE SPECIFIC PLAN

An INCO Home Development, Victorville, California

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Approved: January 19, 1988
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Approved: September 8, 1992

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Specific Plan Amendment: SPA-2-88(A-5) Ordinance No.: 1653
Approved: July 6, 1993

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Specific Plan Amendment: SPA-2-88(A-6) Ordinance No.: 1738
Approved: April 18, 1995

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Specific Plan Amendment: SPA-2-88(A-7) Ordinance No.: 1777
Approved: February 20, 1996

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Specific Plan Amendment: SPA-2-88(A-8) Ordinance No.: 1798, 1799, 1805
Approved: September 19, 1996

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Specific Plan Amendment: SPA-2-88(A-9) Ordinance No.: 1866
Approved: December 2, 1997

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Specific Plan Amendment: SPA-2-88(A-10) Ordinance No.: 1868
Approved: February 19, 1998

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Specific Plan Amendment: SPA-2-88(A-11) Ordinance No.: 1878
Approved: May 25, 1998

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Specific Plan Amendment: SPA-2-88(A-12) Ordinance No.: 1884
Approved: July 16, 1998

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Specific Plan Amendment: SPA-2-88(A-13) Ordinance No.: 1940
Approved: March 20, 2001

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Specific Plan Amendment: SPA-2-88(A-14) Ordinance No.: 1957
Approved: December 6, 2001

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Specific Plan Amendment: SPA-2-88(A-15) Ordinance No.: 1979
Approved: September 17, 2002

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PREPARED FOR
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MESA VERDE

INTRODUCTION

1 Introduction

Purpose and Intent

The Mesa Verde Specific Plan describes a planned mixed use community consisting of approximately 650 acres of residential and related uses, southwest of downtown Victorville.

This Specific Plan serves as a planning tool for carrying out the policies of the City's General Plan. This Specific Plan bridges the gap between the general policy oriented language of the General Plan and more detailed criteria thus guiding the preparation of site plans for specific parcels. It also adds additional criteria for implementing projects consistent with the City's General Plan and under Title 18 of the City Zoning Ordinance. The Specific Plan is a flexible planning document which provides the City of Victorville with a comprehensive set of plans, programs, and regulations which assures development of the project area as a coordinated community involving a mixture of land uses. The main intent of this Specific Plan is to reduce the need for subsequent detailed planning and environmental review procedures for development within the Specific Plan area. The Specific Plan and environmental baseline provide the necessary standards and environmental documentation for the project area so that future development proposals, consistent with the Specific Plan, may proceed with tentative tract maps, and/or other discretionary permits without a requirement for new documentation. Additionally, a development agreement can be entered into with the City and approved if the legislative body determines the agreement is consistent with the General Plan, the Specific Plan, and is in the mutual best interest of the City of Victorville and the developer (Refer to Chapter 18.59 in Title 18 of the Victorville Municipal Code entitled "Zoning".).

The Specific Plan addresses relevant planning issues which include:

- Additional development standards for the southwest sphere annexation area;
- Extension of development into the western area of Victorville;
- A complementary mix of product types and supporting uses;

- The appropriate character of the development given the existing conditions, the marketplace, and surrounding land uses;
- The provision of major infrastructure and roadway extensions; and
- The preparation of development standards to assure that future, individual projects will be compatible with surrounding areas.

Location and Boundaries

Mesa Verde is a 650 acre property located southwest of downtown Victorville in the Victor Valley portion of the high desert area of Southern California as shown in Exhibit 1. Victor Valley (comprised of the communities of Apple Valley, Victorville, Hesperia, Lucerne Valley, Silver Lakes, Helendale, Phelan, and Adelanto) is one of the most dynamic growth areas in Southern California, having more than doubled its population in the last decade. Recently, there is a great opportunity to create well planned communities, utilizing the technology developed in other Sun Belt areas. The project site (refer to Exhibit 2) is generally bounded by Three Flags Highway (SR 395) to the west, Bear Valley Road to the south, Topaz Road to the east, and Luna Road to the north. The project area is connected via Bear Valley Road and Highway 395 to the adjacent Freeway (Interstate 15) network which links the area's population centers of San Bernardino, Riverside, and Ontario, and provides regional access to Los Angeles and Orange Counties as well as markets outside of Southern California.

Contents

The Specific Plan for Mesa Verde will accomplish the development of a 650-acre project site (portions of Section 34 and 27) in an orderly and coordinated manner. The development of a Specific Plan is allowed pursuant to the California Government Code, as conventional zoning for implementation of a jurisdiction's General Plan. Environmental considerations in concert with General Plan policies formulated the basic framework for the evolution of the development program for the Specific Plan. This Specific Plan is organized into the following sections:

1. **Introduction:** The introductory section includes the project description and the authority and scope of the document in accordance with State Law.

2. **Environmental Baseline:** A description of the existing conditions and environmental documentation associated with the project site and surrounding area.

3. **General Plan Relationship:** A discussion of the Specific Plan's relationship with the goals and policies of the elements and topic areas of the City of Victorville's General Plan.

4. **Development Program:** A discussion of the development program by Specific Plan components. These components include: Land Use, Circulation, and Public Works. This section also includes the Development Regulations. These are regulations that integrate with the existing City of Victorville Zoning Ordinance (Title 18) and Subdivision Ordinance (Title 17) to implement the Land Use Plan.

The Mesa Verde Land Use Plan allows for a logical distribution of residential densities over the entire site promoting creative and imaginative design solutions within the Specific Plan framework. The Specific Plan adopted as an ordinance, will establish the overall development patterns in Mesa Verde with development standards extracted and/or amended from applicable sections of the City of Victorville Municipal Code Zoning Ordinance (Title 18) and Subdivision Ordinance (Title 17).

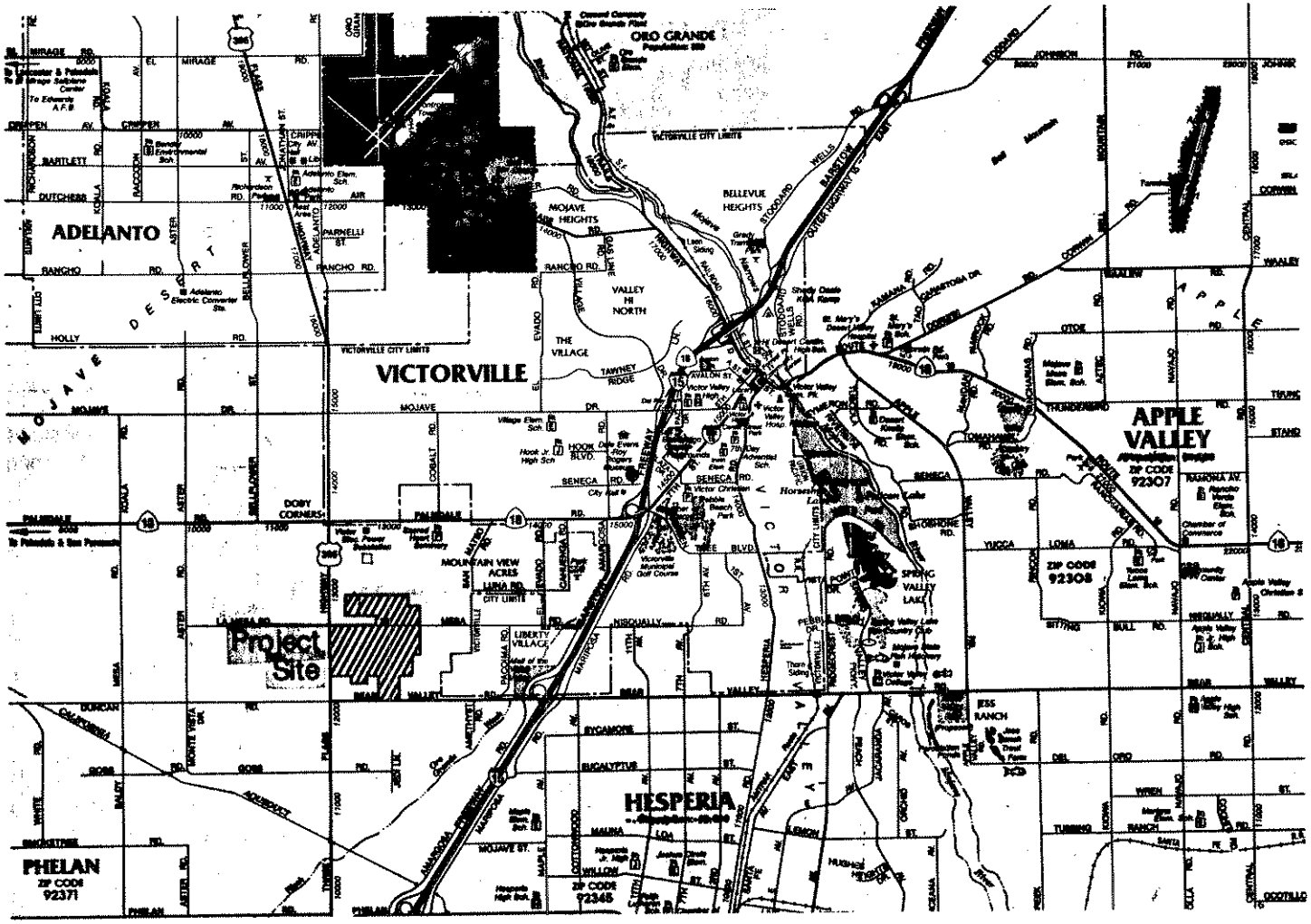
Authority and Scope

The adoption of this Specific Plan by the City of Victorville is authorized by Section 65450 et. seq. of the California Government Code. The Government Code authorized cities or counties to prepare, adopt, and administer Specific Plans for portions of their jurisdictions, as a means of implementing the General Plan.

Application

The Specific Plan is one of many policy or regulatory tools used by local governments to guide community development. The Mesa Verde Specific Plan applies only to that property within the City of Victorville (Section 34 and half of Section 27) and known as "Mesa Verde." The boundary of the approximately 650-acre site is shown on Exhibit 2, Site Location.

Community Setting



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A DESIGN CONSORTIUM
PLANNING · URBAN DESIGN · LANDSCAPE ARCHITECTURE

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EXHIBIT 1

Site Location

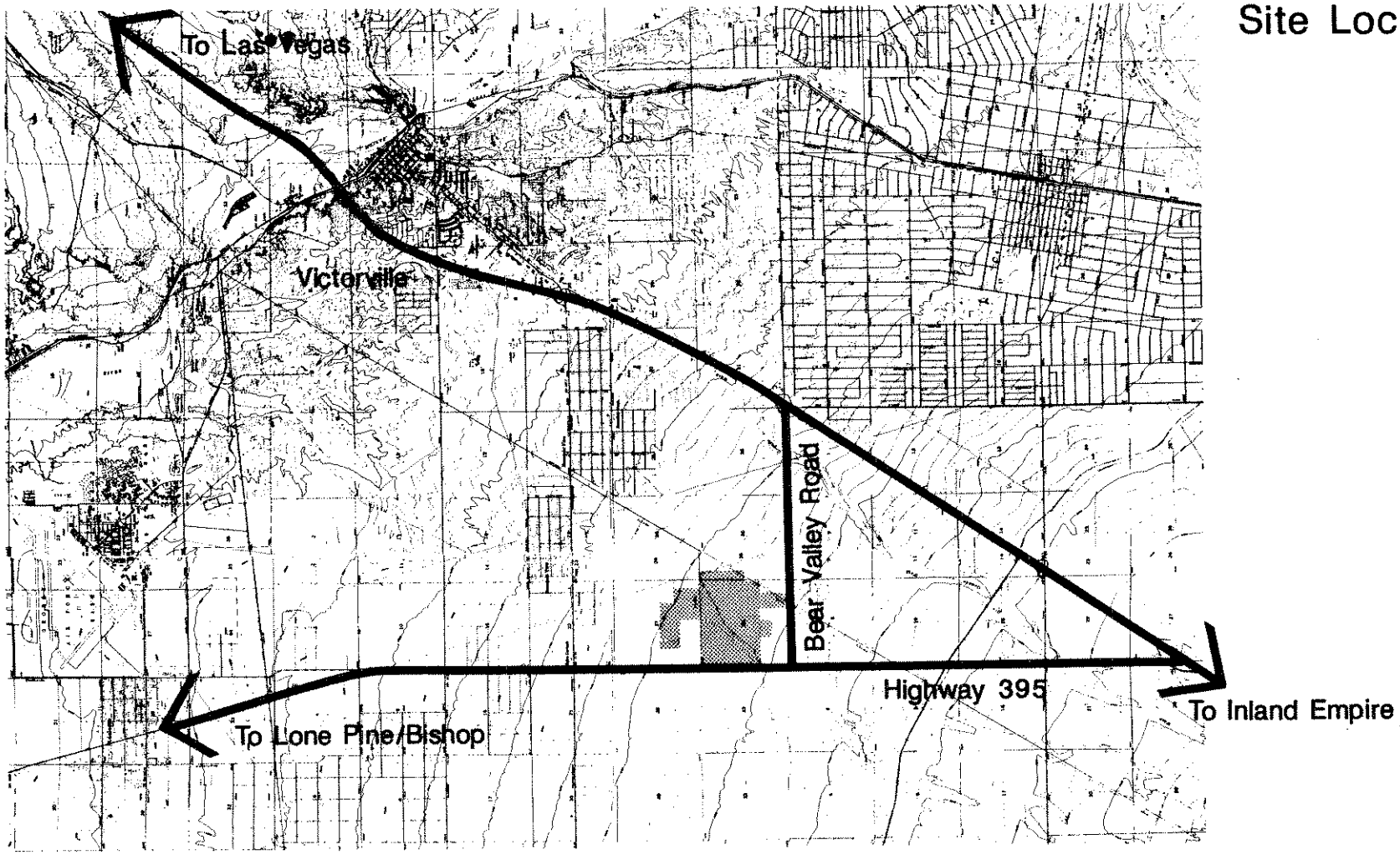

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EXHIBIT 2

Specific Plan Adoption

The process for the adoption of a Specific Plan requires a public hearing by the Planning Commission. Based on a recommendation by the Planning Commission, the City Council may then adopt the Specific Plan by ordinance or resolution. The adoption by ordinance is common when the existing zoning ordinance or other code is amended. Once the Specific plan is adopted, the City Council is required (by the Subdivision Map Act) to deny approval of any tentative or final subdivision which is inconsistent with the Specific Plan [Government Code, Section 66474(b)].

MESA VERDE

ENVIRONMENTAL BASELINE

2 Environmental Baseline

Introduction

The environmental baseline provides the framework through which the Mesa Verde Development Plan has evolved. The existing issues and conditions pose certain opportunities and constraints, which were considered in the development of the project. An analysis of specific items within the natural and man made environment suggest a range of development options.

Implementation of the development plan will change the primarily undeveloped site to urban uses. The character of the site would be transitioned into a major focal point for the valley. Consequently, the intensity in the use of the land would increase over the existing condition.

The site would be developed over an extended period. Uses would follow as market demand and economic conditions dictate.

Uses proposed in the Development Plan Program are consistent with adjacent offsite uses as well as the development trend established for this area.

Topography

The site is located on a gently sloping alluvial plain which has slightly rugged and eroded features. Few landforms are present to give the site unusual or unique character. The only defined drainage course in the area begins west (across 395) of the project site and proceeds northerly toward Palmdale Road (State Route 18). On-site topography is relatively flat with a gradual elevation ranging from 3200 to 3320 feet above sea level (ASL). Slopes range from 0-5% across the site. Gullies exist due to the natural drainage tending to concentrate as it traverses the property in a northerly direction. The major area-wide physical feature is the Mojave River located approximately 7 miles from the site. Another prominent regional feature is Quartzite Mountain (4,532 ASL) located to the north of the City of Victorville. Generally, the surrounding undeveloped area has similar landform features as those contained on the project site.

Geology

Development of the project will necessitate some landform modification in order to site buildings, roadways and infrastructure.

Surficial geology onsite includes Older Alluvium undifferentiated and Old Lake deposit. This portion of the Mojave Desert consists of a large alluvial plain created by fault zones and heavy erosion deposition. The San Gabriel and San Bernardino Mountains south of the site are the primary source for the alluvium. Older Alluvium consists of well-bedded silts, clays, and sand which is interbedded with freshwater limestones. Any excavation on these soils can be accomplished with conventional earthmoving equipment, and no unstable slope conditions should be encountered utilizing standard grading procedures.

Geologic Structure

The predominant geologic structure of the regional area consists of the Helendale Fault located northeast of the project site. The Helendale Fault does not have a significant earthquake potential as compared to more distant active faults.

The nearest active faults include:

Fault	Distance from Project Site	Richter Magnitude Event
Helendale	10 miles northeast	6.5
San Andreas	15 miles southwest	8.2
San Jacinto	18 miles southwest	7.5

The location of these faults relative to the site are illustrated on Exhibit 3. Based on California State Division of Mines and Geology information, the project site is not located near any seismically active fault zones and, consequently, is not exposed to any unusually seismic-related hazards. However, the project is within an area which can expect moderate groundshaking intensity. Maximum probable earthquakes of 7 and 8 on the Richter Scale could produce maximum expected ground accelerations of 0.2g to 0.4g.

Soil Characteristics

The soils were mapped by the United States Department of Agriculture (USDA) Soil Conservation Service (SCS) and are representative of the Mojave Desert alluvial plain physiographic area. Soil units identified within the project site (Section 37, 27) consist primarily of the Bryman, Cajon and Helendale Series.

The Bryman series (105, 106) consist of very deep, well drained soils on terraces and old alluvial fans. These soils formed in alluvium derived dominantly from granite sources. The Cajon series (112) consist of very deep, somewhat excessively drained soils on alluvial fans and river terraces. These soils formed in alluvium derived dominantly from granite sources. The Helendale series (132) consist of very deep, well drained soil on alluvial fans. These soils formed in alluvium derived dominantly from mixed sources. Project soils types are delineated on Table 1 and Exhibit 4.

Hydrology/Surface Water

There are no surface water sources on the project site. The Mojave River drainage area consists of about 4,700 square miles. Near Victorville the average discharge per year is 51,440 acre-feet and the average monthly flow is 71.0 cubic feet per second. The project area is elevated approximately 400 feet above the flood plain of the Mojave River, which is located 7 miles east of the project site.

The project site is not in the Mojave River floodplain which runs east of the site. Drainage patterns onsite (refer to Exhibit 5), like the floodplain, follow a south to northeasterly direction. Immediately east from the project area the Oro Grande Wash runs parallel to Interstate 15.

Groundwater

Subsurface water is indicated to be greater than 6 feet based on soil interpretations records. Subsurface flows have been measured and are shown to vary from approximately 20 feet below the surface near the Mojave River to approximately 50 feet within downtown Victorville. In the vicinity of the project site subsurface flows are approximately 150 feet deep. A review of the Housing and Urban Development (HUD) Flood Hazard Boundary Maps illustrates that the proposed project site is included in Zone C which is designated outside of the 500 year floodplain.

Regional Seismicity

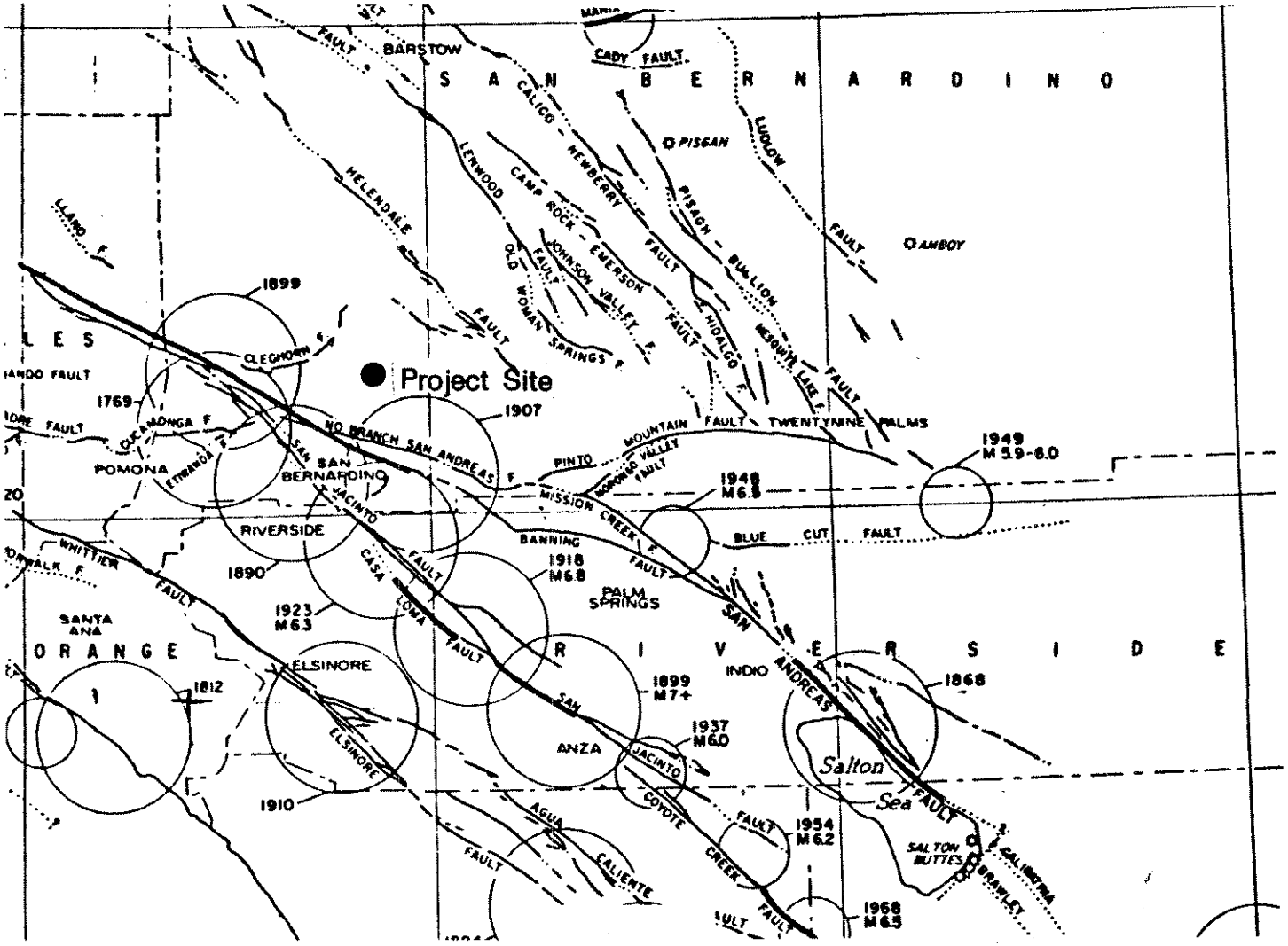

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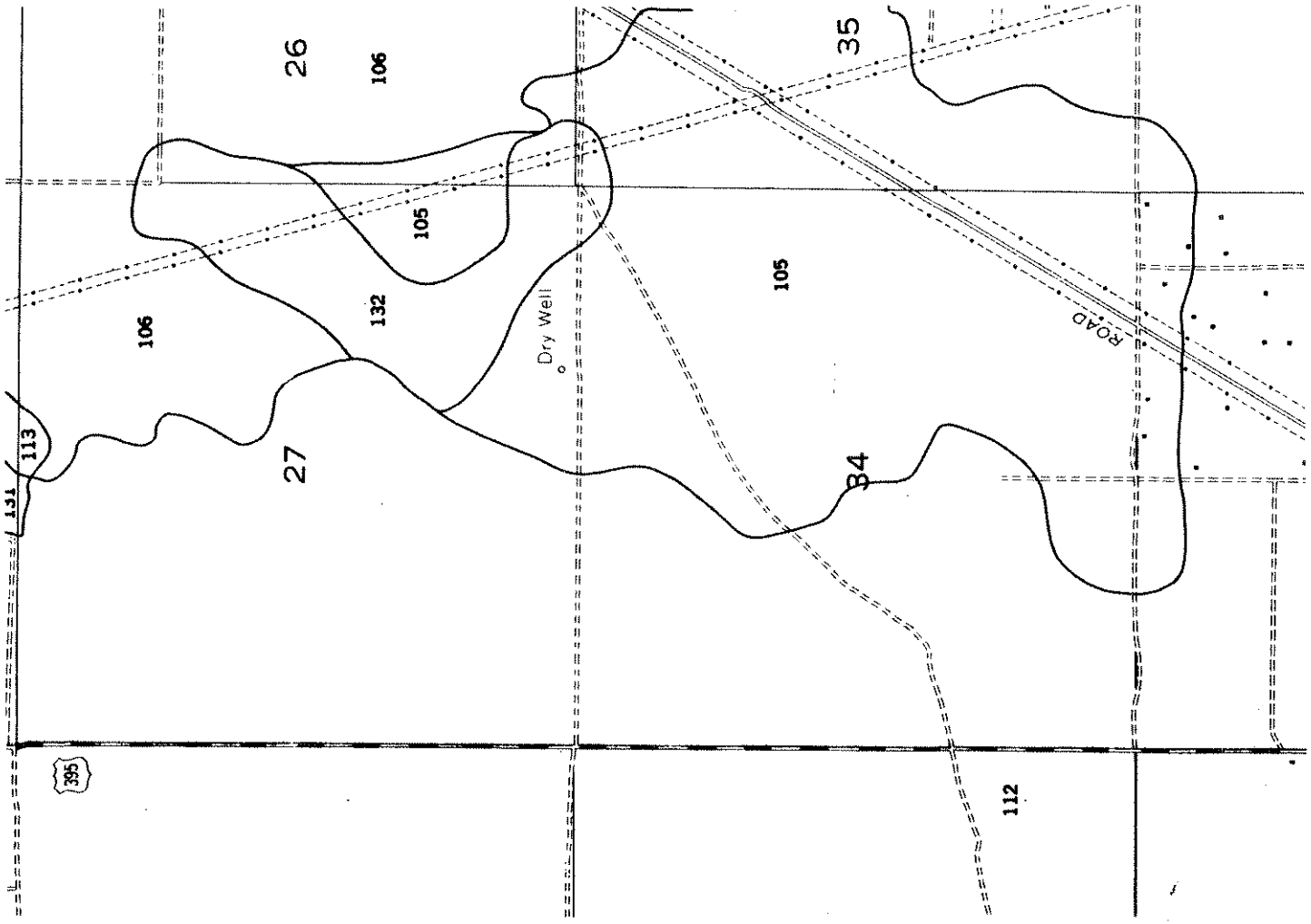
EXHIBIT 3

Table 1
Soil Survey San Bernardino County, California
Mojave River Area Series

Map Unit	Bedrock	Water Table	Road Fill	Alkaline	Shrink-Swell	Slope	Wind Erodibility Group
Bryman Series							
Bryman/105 Loamy Fine Sand	>60	Deep to Water	Good	Neutral-Moderate	Low-Moderate > 6%	0-2%	Highly Erodible
Bryman/106 Loamy Fine Sand	>60	Deep to Water	Good	Neutral-Moderate	Low-Moderate > 6%	2-5%	Highly Erodible
Cajon Series							
Cajon/112 Sand	>60	Deep to Water	Good	Mild-Moderate	Low > 6%	0-2%	Extremely Erodible
Helendale Series							
Helendale/132 Loamy Sand	>60	Deep to Water	Good	Mild-Moderate	Low > 6%	2-5%	Highly Erodible



Soils

Soil Series/Map Unit

105	Bryman Loamy Fine Sand
106	Bryman Loamy Fine Sand
112	Cajon Sand
132	Helendale Loamy Sand

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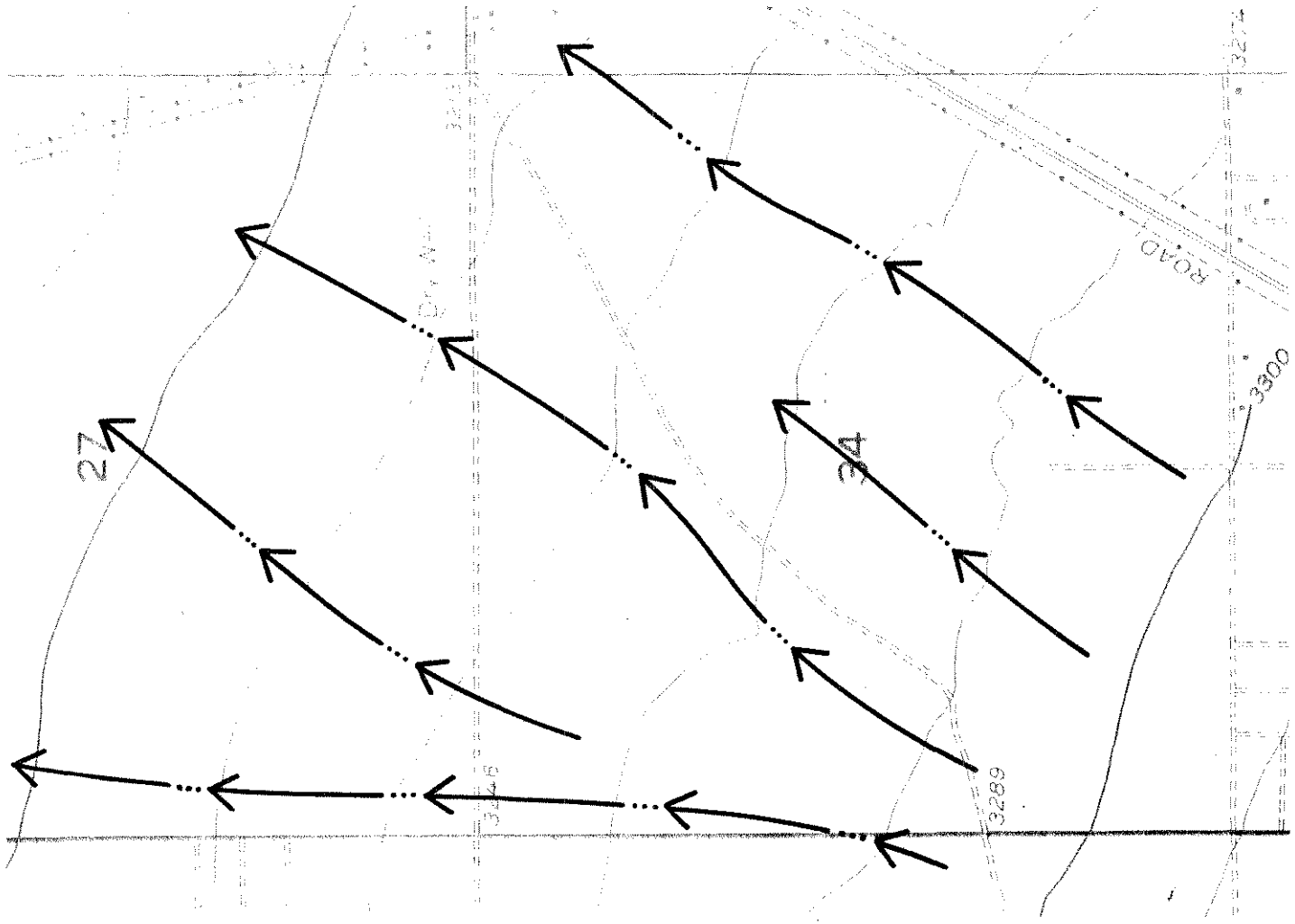
EXHIBIT 4



Hydrology

Existing Flow Pattern

Sheet Flow Condition

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EXHIBIT 5

The Baldy Mesa County Water District (B.M.C.W.D.) serves the project area. Import water is not used to supplement well water demand.

During the summer months when water consumption is the highest, peak demand in the District reaches approximately 14-15 million gallons per day. Despite this peak usage, as well as the total annual consumption of 7,000 acre-feet per year, no change in groundwater levels has been recorded. Consequently, overdraft of groundwater resources is not expected to occur within the area as a result of the proposed site development.

Water Quality

The domestic (potable) water supply is of very high water quality. Water drawn from wells and examined for mineral content and other constituents has retained consistent high quality through many years of testing. Consequently, development of urban uses in the Victor Valley has had no apparent effect on water quality for the water resources contained in underground aquifers.

Biota

Native Flora

The project site contains no significant vegetation concentrations. Generally, the site contains the desert-type habitat that is characteristic of the region.

Several predominate vegetative habitats occur in the Victor Valley region. These include Joshua Tree Woodland, Creosote Bush Scrub, Riparian Forest, and Cattail Marsh. Joshua Tree Woodland and Creosote Bush Scrub communities consist primarily of drought-resistant and deep-rooted plants which maximize moisture intake and anchor the plants against frequent wind.

The dominant species found on the site include Joshua tree (Yucca brevifolia), creosote bush (Larrea divaricata), Mormon tea (Ephedra californica), hot sage, Indian rice grass, and desert needle grass. No rare, threatened, or endangered species are known to exist onsite. Most yuccas, including the Joshua tree, and all cacti are protected under the Native Plant Law.

Clearing or any disturbance destroying the soil structure and vegetation may result in increased soil blowing. In some cases, historical clearing has influenced an increase in Indian rice grass. Major forage species used by wildlife and livestock are Indian rice grass, salt bush and filaree.

Planting windbreaks helps reduce soil blowing. Among the trees most suitable for windbreaks are Aleppo Pine, Palo Verde, and Athel or Evergreen Tamarisk.

Native Fauna

The majority of animal life in the Victor Valley region is found in the high desert outside of the urban influence. Fauna within the project site is minimal due to the lack of suitable habitat and the proximity of human habitation and intrusion. Animal life expected to occur within the project site includes kangaroo rats, pocket mice, zebra-tailed and whiptail lizards, horned larks, jack rabbits, and occasional snakes. It is anticipated that these species will relocate and migrate to surrounding vacant areas as development occurs. The desert tortoise (Xerobates agassizlii) is currently listed as an endangered species by the U.S. Department of Interior, Fish and Wildlife Service. In addition, three endangered bird species (the Southern Bald Eagle, American Peregrine Falcon, and Brown Pelican may occasionally traverse the site. These species are expected to occur only as transients on the site.

Climate and Air Quality

The high-density climate of the Victor Valley area is strongly dominated by the semi-permanent high-pressure center over the Pacific Ocean and the San Gabriel and San Bernardino Mountains to the south that cut off almost all marine influence from the nearby ocean. The climate is therefore mainly a continental climate with hot summers, cool winters, low humidity, infrequent rainfall, and clear skies. Temperatures range from summer daily means of 79°F to daily winter means of 42.8°F. Rainfall is generally less than 10 inches per year and humidity rarely exceeds 50%. Winds are mainly from the south through Cajon Pass and can bring polluted air out of the Los Angeles Basin and into the Victorville area.

Winds determine the localized rate of dispersion of air pollutants near a new source as well as governing the regional transport of air pollution into and out of a given area. In Victorville, winds are either out of the south, originating in the polluted environments of western Riverside and

San Bernardino Counties, or from the west where air from the San Fernando Valley entered the Antelope Valley through Soledad Canyon. In winter, especially at night, winds may become calm and allow for localized pollution stagnation, but summer daytime winds are strong from the south and transport air into the Victor Valley from other airsheds.

Inversions, which control the vertical spread of air pollutants, are not as prevalent in the upper desert as in the Los Angeles Basin. Because Victorville is near one of the outflows of the South Coast Air Basin, it receives a fairly concentrated sample of air from the south. Without the strong inversion, this air mass quickly becomes diluted.

In winter, the pooling of cool air in lower elevations creates numerous radiation inversions. These shallow inversions, in conjunction with nearby calm air, could cause localized pollution "hot spots" if there were large concentrations of industrial or vehicular sources. These inversions cause high pollution levels at night in winter in Las Vegas or Phoenix, but the Victorville area is not developed to the extent that these inversions (which burn off after sunrise) could cause air quality problems.

A review of the State and Federal air quality standards and attainment standards reveals that existing ambient air quality in Victorville is considered good in contrast to the urban area of the South Coast Air Basin.

The South Coast Air Quality Management District (AQMD), under a contractual arrangement with the San Bernardino County Air Pollution Control District (APCD), operates an ambient air quality monitoring station in Victorville. Levels of carbon monoxide, nitrogen dioxide, sulfates, and lead have not exceeded or even approached their respective ambient air quality standards (AAQS). Particulates, which result either from wind-blown dust or hazy, polluted air from the South Coast Air Basin, exceed the State standards frequently, but exceeded the primary Federal particulate standard only once in four years. The main air quality concern in the Victor Valley is from ozone. The Federal hourly ozone standard is violated from approximately 30 to 50 days per year. These high levels of ozone cause the Victorville area, as part of the Southeastern Desert Air Basin (SEDAB), to be declared a non-attainment area for ozone.

The non-attainment designation means a plan has to be developed for the basin to attain standards by 1987. Most studies have shown that the source from high ozone levels in the lee of the San Gabriels is polluted air from the South Coast Air Basin. Until emissions are sufficiently reduced in the coastal communities, inland valleys will continue to have unhealthful levels of photochemical air pollution. The Air Quality Management Plan (AQMP) for SEDAB recognizes the interaction and interbasin transport between the south coast and the southeastern desert, and concedes that little can or needs be done locally to try to improve air quality until the Los Angeles Basin attains AQMP standards.

Construction Activity

Construction activities will disturb the dry desert soil, which then creates significant quantities of fugitive dust once the protective "desert varnish" soil crust is broken. The Environmental Protection Agency (EPA) suggests a fugitive dust emission factor of 80 pounds per acre disturbed per day of construction. Through the use of dust control such as regular watering, the emission level can be reduced.

Since these emissions are released mainly during the day when strong winds and deep thermal convection provide good local ventilation potential, there is little chance of any localized stagnation of these emissions and no resulting air quality impact except in the immediate vicinity of the construction itself.

Archaeology/Paleontology/Historical

An archaeological records search was conducted at the San Bernardino Information Center of the California Archaeological Inventory, and a paleontological records check was conducted at the San Bernardino County Museum, Earth Sciences Department. Also, the National Register of Historic Places, California Historical Landmarks (1979), and Historical Landmarks of San Bernardino County (Quinn 1980) were consulted to determine the proximity of historical resources to the site. The results of these literature and record searches revealed no historic or prehistoric cultural resources in the project vicinity. However, the paleontological records check indicated a potential for vertebrate fossil localities in the project region.

The project site is within a larger territory once inhabited by the Serrano Indians at the time of exploration by the Spanish. In 1776, Father Garces traveled along the Mojave River east of the project site and recorded various Indian villages that existed along the river at the time. During the 1940's, the San Bernardino County Historical Society and the Archeological Survey Association of Southern California conducted

numerous archaeological surveys and some excavation of certain sites along the upper Mojave River area. Research indicates that the Indians of the area were hunters and gatherers living in small extended family groups, and moved camps seasonally to secure food from animals and plants of the desert and mountains.
Although no subsurface investigation was undertaken, it is believed that no cultural resources exist below the surface, chiefly because of the project site's location away from the documented areas (along the Mojave River). It is likely that historical and archaeological resources are not contained on the project site.

The project site is located on fluviatile and lacustrone sediments, a formation known as Shoemaker Gravel. This is underlain by the finer-grained "Harold" formation, sediments that are described by Bowen (1956:89) as follows:

"South of the Upper Narrows of the Mojave River, thin, light yellowish gray limey siltstone and claystone are distributed over several acres, indicating the former existence in very late Pleistocene or recent time, of a shallow lake. This may have been the result of uplift (damming) on the Victorville fault."

Previous paleontologic materials has been recorded in the Earth Sciences Department of the San Bernardino County Museum from 25 localities in the "Harold" formation. The paleontological species discovered at these localities are thought to predate the Pleistocene Rancholabrean and mammal age, and are probably more than 450,000 years old.

Aesthetics

The project site is flat and is physically separated from surrounding properties by roadways and/or transmission lines. Variable densities included in the land use development program and flexibility in land use patterns and edge treatments allow for compatibility with adjacent land uses. Major offsite views will be of the San Gabriel and San Bernardino Mountains south of the site, the Quartzite Mountain to the north, and the Granite Mountains to the east. There are minor onsite views from the surrounding roads.

Noise

The project site, being vacant, is not a source for noise generation nor is it particularly affected by noise intrusion from offsite sources.

The Community Noise Equivalent Level (CNEL) serves as the noise rating scale most commonly used in California for land use compatibility assessment. The CNEL scale is a 24 hour, time-weighted annual average noise level based on the A-weighted decibel. A-weighting is a frequency response of the human ear. Noise levels were determined and depicted in the Noise Element using the CNEL scale.

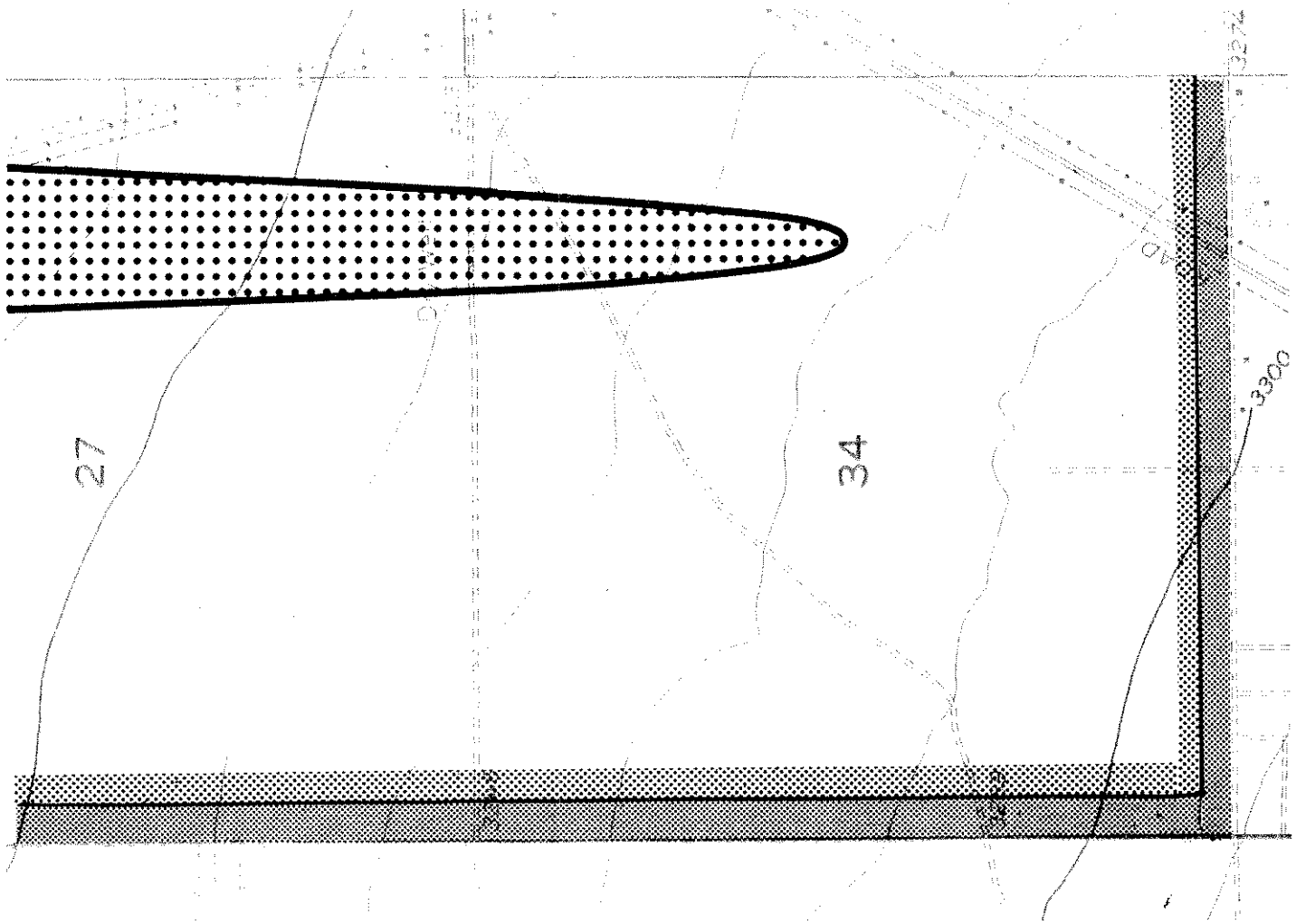
The normally acceptable external noise standard for residential areas is 60-65 CNEL. An interior noise level of less than 45 CNEL is acceptable and is generally attainable in noise areas where exterior noise levels do not exceed 60-65 CNEL.

The City's noise element contains maps which identify noise contours for roadways with significant daily traffic volumes.

George Air Force Base is located to the north, approximately six miles from the closest point on the project site. The Department of the Air Force has prepared the 1983 Air Installation Compatibility Use Zone (AICUZ) study which presents both crash hazard and noise impact planning criteria for lands affected by military flight operations. A review of the study concludes that a portion of the site is within the influence of aircraft operations (CUD 13).

That portion of the site within or adjacent to the 65 Ldn (Safety Area 2 and 4) is subject to the requirement of 45 decibels for interior noise level within all habitable structures (Refer to Exhibit 6). Implementation of building techniques in the Uniform Building Code will mitigate any potential adverse noise impacts. All development within Safety Areas 2 and 4 are subject to the recordation of a noise and avigation easement.

There will be a short term impact on ambient noise levels as a result of construction related noise. Noise generated by construction equipment can reach substantial levels. The greatest potential for problems exists for residences along Topaz Road. Construction noise may, to a lesser extent, affect the adjacent commercial uses.



Noise

- AICUZ Contour 65 Ldn
- Safety Area 4
- Safety Area 2
- 60dB Ldn
- 65dB Ldn

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EXHIBIT 6

Project related traffic may increase noise levels on both perimeter and interior roadways. The existing and future residences located adjacent to the site will be effected more or less by higher noise levels. In addition, residential uses proposed on the project site may be exposed to noise from Highway 395. For Bear Valley Road, traffic noise could approach 65 CNEL within 50 feet of the roadway edge. Highway 395 will more than likely be exposed to noise levels in excess of the 65 CNEL value. It is estimated that the 65 CNEL contour can extend approximately 60 to 70 feet from the roadway edge along Highway 395.

These two roadway facilities will not be constrained more by noise than other roadways in the vicinity of the project site. This is due to the proposed commercial uses located within proximity to the roadway.

Project related traffic may increase noise levels on streets in the area. In order to determine accurate noise levels generated by future development onsite, further noise assessment may have to occur.

Land Uses

Existing land uses in the project vicinity are residential, including single family, multiple family units, mobile homes, and commercial uses. Most of the surrounding area is relatively undeveloped, predominantly in a natural condition. Paved and dirt roads are numerous, allowing unencumbered access into the project site. Land uses within the project site include semi-improved and dirt roads. A power line easement (City of Los Angeles Department of Water and Power) is adjacent to the north and southeastern corners of the project site. Tower structures are located within the easement.

The project site is located in a vicinity that has been growing over a period of years. The Mall of Victor Valley on Bear Valley Road is located 2 miles from the eastern portion of the site. This area has extended outwardly, developing in response to the desirable features of the area and low cost of the land. As a result, some parcels of land have remained vacant. The project site, made up of several parcels, is one of these, remaining vacant while adjacent parcels slowly infill with development.

General Plan/Zoning

Properties surrounding the project site are designated within the residential and commercial categories. The General Plan designates the project site as residential and commercial land uses.
The Low Density Residential (5 DU/AC maximum) and Commercial designations have been established under the General Plan for the southwest sphere annexation area. This designation has been established to deal with specific land use patterns through the subdivision and/or development process.

General Plan Land Use Element designations and Zoning Districts for the southwest sphere annexation area are illustrated on Exhibit 7.

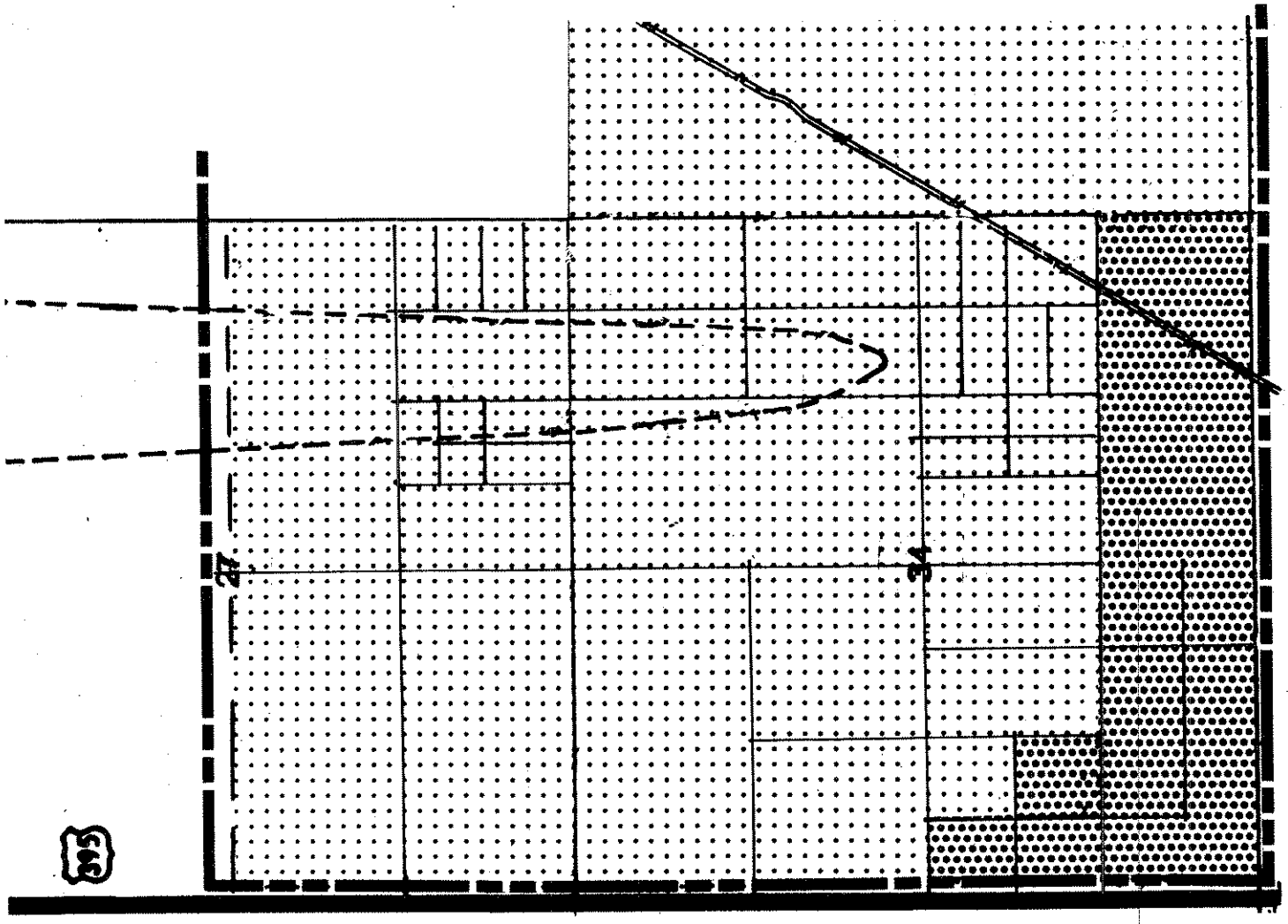
The pre-zoning as amended by the City Council on October 28, 1986 consists of single family residential and commercial for the project site. (See Exhibit 7, General Plan/Zoning).

The Single Family Residential/Transitional District is designated by the primary symbol R-1T B and is intended to allow for residential uses. The General Commercial/Transitional District is designated by the primary symbol C-2T and is intended to allow for various commercial activities. The Transitional District (T) was combined with the R-1 and C-2 Districts to ensure development standards address noise attenuation, avigation easement issues and that mitigation measures are incorporated into the proposed development. Implementation of the land use development program would change the primarily undeveloped site to urban uses. The rural character of the site would be transitioned into a major urban focal point for the Bear Valley Road corridor. Consequently, the intensity in the use of the land would increase significantly over the existing condition. The development project will require a General Plan Amendment and Zone Change to a Specific Plan (SP) designation.

The site would be developed over an extended period. Uses would follow as market demand and economic conditions dictate.

Uses proposed in the Development Program are consistent with adjacent offsite uses as well as the development trend proposed for this area.

The Specific Plan is the mechanism through which guidelines and standards will be established and enforced. Zoning will be based upon development regulations within the Specific Plan and applicable zoning standards in the City of Victorville Municipal Code Zoning Ordinance (Title 18).



General Plan/Zoning

Zoning: R - 1T, B.1/3
General Plan: S.F. Residential

Zoning: C - 2T
General Plan: Commercial

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EXHIBIT 7

Traffic/Circulation

A circulation analysis of the proposed project has been completed by CG Engineering. (Refer to separate document prepared by CG Engineering and dated January 1988.) The project site is currently served by two major and minor roadways. Both direct local and indirect regional access to the site are currently available from the existing areawide circulation network.

Regional Road System

Regional access to the project site is provided by Highway 395 ad Interstate 15 (I-15), a major north-south arterial connecting the metropolitan areas of Los Angeles, including the San Bernardino/Riverside Inland Empire with San Diego to the south and Las Vegas to the north.

Bear Valley Road is a full interchange. The bridge structure over the freeway provides three lanes for through traffic. Turn lanes are provided at each end of the structures for vehicles to enter the on-ramps.

There is an interchange at Highway 395 and I-15. The bridge structure over the freeway provides two lanes for through traffic.

The bridge at Bear Valley Road is proposed to be improved through an assessment district of which the parcels regulated by this Specific Plan are a part. The General Plan Traffic Consultants, DKS, are currently recommending that the bridge at Bear Valley Road be improved to a total of six lanes and a turn lane.

Local Road System

Bear Valley Road and Highway 395 are proposed as a four lane facility. However, Bear Valley is currently proposed to be upgraded to a six lane facility from I-15 easterly. Topaz and La Mesa Roads are proposed as four lane facilities.

The Circulation Element (May 21, 1985) of the City of Victorville General Plan includes all of the aforementioned major roadway improvements of importance to development of the project site. These improvements are long range components of the circulation element.

Public Service

The Mesa Verde development project will be served by several public and quasi-public agencies.

Schools

The Mesa Verde development program currently lies within the Adelanto Elementary School District. The School District projects approximately 1500 students for the project site. This is based on a .54 student ratio per household.

Police

The San Bernardino County Sheriff's Department is under contract to the City of Victorville to provide police protection and traffic safety services. These services include traffic and neighborhood police control, emergency calls, and crime prevention. The County Sheriff's Department would respond to the project site from its station at 14455 Civic Drive. Response time from outer city limits would be 8 to 10 minutes. Manpower needs are based upon variable factors which include response times, volume of requests for service, and traffic conditions.

Fire

The City of Victorville Fire Department currently provides fire and life safety services from its headquarters station at 16200 Desert Knoll Drive. The response time from this station to the project site is approximately 10 minutes. These times are based on existing response rates. A new fire station at Amethyst and La Mesa Road is approximately one mile from the project site and is within the three minute response time. In addition, a volunteer fire station is located within the County of San Bernardino at Mountain View Acres.

Hospitals

Medical services will be provided to the project site from St. Mary Desert Valley Hospital and Victor Valley Community Hospital. Victor Valley Community Hospital opened a new facility in December 1983, replacing the hospital's 60-bed facility. The new hospital facility has 75 general acute-care beds and is maintaining a 90% occupancy rate. St. Mary Desert Valley Hospital presently contains 97 beds.

Recreation and Parks

The City of Victorville Recreation and Parks Department provides maintenance services to City-owned vacant lots, parks, the City Hall Complex, and street trees and grounds. The closest facility to the project site is the Community Center at 14343 Civic Drive. The Recreation and Parks Department uses a modification of the National Recreation and Park Standards to estimate service demands. Park land demand generated for the proposed project would be 5 acres per 1,000 residents.

Public Utilities

Public utilities providing services to Mesa Verde are indicated in the following table.

Public Utility Agency

City of Victorville Public Works Department
Wastewater - Victor Valley Wastewater Reclamation Authority
Water - Baldy Mesa County Water District
Solid Waste - County of San Bernardino Solid Waste Management District, Victorville Disposal, Inc.
Electricity - Southern California Edison Company
Gas - Southwest Gas Corporation
Telephone - Continental Telephone of California

Utilities are more fully discussed in the Public Works component of the Specific Plan.

General Summary: Impacts and Mitigation Measures

Earth Resources

Site grading will slightly modify the existing terrain to prepare the land for development as necessary for drainage, infrastructure, and earthwork balancing considerations. No unusual geotechnical hazards or land subsidence constraint are expected subsequent to building construction. Mitigation includes adherence to grading regulations, and preparation of a soils analysis as necessary to recommend specific soil compaction requirements.

Hydrology

Modification of the project site surface through grading and paving is expected to increase surface runoff. Groundwater levels found in underground reservoirs will not be substantially depleted from groundwater extraction or from terminating replenishment. Urban contaminants from surface runoff will incrementally degrade surface water quality. Mitigation includes preparation of hydrological analysis to determine storm drain specifications, and erosion measures to minimize sediment during grading, and extending the city's street-sweeping program into the site.

Biota

During site construction, the existing habitat will be removed as a result of earth movement, and wildlife will be displaced to offsite locations. The site may contain the desert tortoise (Xerobates agassizii). This species is currently listed as threatened species by the U.S. Department of Interior, Fish and Wildlife Service. A biological study to determine if the desert tortoise is located within the project site will be required by the City prior to grading approvals for the implementation of the Specific Plan. Other than the desert tortoise, no other known rare, threatened, or endangered species or significant habitat is located within the project site, thus additional impacts are not considered significant. After development, animal habitat will shift in favor of rodents, reptiles, and songbirds. Mitigation includes consideration of desert-type landscape materials to encourage the return of native wildlife. In addition, coordination between the development and the City will take place at the time of project grading to cause as many Joshua trees as possible to be relocated into open space areas.

Air Quality

During and subsequent to site construction, emissions from construction equipment, new vehicular traffic, and indirect energy consumption will cumulatively degrade basin air resources. Construction emissions are of short-term duration. Mitigation includes encouraging the use of local shuttle systems, van pool programs and bicycles. It is also suggested that energy conservation be practiced. Fugitive construction dust impacts will be controlled through compliance with Air Quality Management District regulations.

Archaeology/Paleontology

Site development is not expected to impact any archaeological resources as a result of site conditions and characteristics. For paleontological resources, however, site grading may expose significant vertebrate fossils. Mitigation measures are designed to minimize the impact on cultural resources, including archaeological resources, and will include additional field survey and monitoring during grading in the event that artifacts are discovered.

Noise

Short-term construction-related noise impacts will temporarily disrupt the local noise environment, primarily affecting adjacent residences. After project development, vehicles generated from proposed uses will increase noise levels along interior and perimeter roadways. Residential uses adjacent to certain roadways may be affected by this increase. Both Bear Valley Road and Highway 395 are expected to service sufficient vehicles that may affect residences adjacent to these facilities. Mitigation measures include conducting additional site-specific noise assessments to determine measures which will satisfactorily reduce noise to an acceptable level, and adherence to local noise regulations.

All residential development within Safety Area 2 and Safety Area 4 will be required to have noise attenuation below 45 decibels (within all habitable structures). Residential development within Safety Area 2 and Safety Area 4 are subject to the recordation of a noise and avigation easement. The noise and avigation easement (within Safety Area 2 and Safety Area 4) shall be acquired from the various developers/sellers. Additional mitigation measures on non-residential land uses are that structures shall include height restrictions and shall not reflect glare, emit electronic interference and control of visibility reducing emissions that would endanger aircraft operations.

Land Use

Approval of the Mesa Verde development project will require amendments to the General Plan and Zoning map to a Specific Plan (SP) designation. Proposed land uses are similar to existing designations, representing more of an implementation of proposed planning for the southwest sphere rather than change in land use direction. Adjacent uses will be affected by change in the existing rural environment to one of urban character. Mitigation includes requiring adequate setbacks, buffers, etc. where potential land use conflicts exist.

Traffic/Circulation

Development of the site will create uses which will generate traffic on local streets significantly decreasing vehicular capacity on specific roadways and at local intersections. Approximately 55,000 ADT is forecast for project uses. In total, several intersections could be impacts (i.e., unacceptable service levels) with the intensity of uses proposed. Additional more specific site planning and traffic analyses are required to verify these conclusions as development occurs. In any event, signals based on warrants will effectively mitigate these impacts. Mitigation includes additional analysis and improvement of local roadways to their circulation element status (Refer to separate document - Circulation Analysis by CG Engineering, revised January 1988). The developers will pay an assessment district fee (per residential dwelling unit) for improvements currently proposed to Bear Valley Road Bridge. Payment of any fee will be at time of Final Inspection for each housing unit.

Public Services

Project site development will not significantly impact most community services and public utilities. The expansion of master planned facilities will provide for orderly growth to the area without significant impact. For police, fire, and education, site development may require additional staffing and facilities to provide adequate service to the site. Mitigation includes: 1) providing sufficient water supply to effectively control fire, 2) requiring site plan review by the Fire Department, 3) providing water conservation devices, 4) providing landscaping in accordance with City code, 5) collecting connection fees for sewage treatment, and 6) collecting funds for the Capital Facilities Improvement Program.

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GENERAL PLAN RELATIONSHIP

3 General Plan Relationship

Introduction

Specific plans, as stipulated by the California Government Code, should be "based upon" and "provide the systematic execution of the General Plan." It is the intent of the Mesa Verde Specific Plan to provide recommendations implementing and supporting the various goals and policies associated with each element of the City of Victorville General Plan.

Consistency with the General Plan will be achieved through the development of a planned community which provides new commercial, housing, public recreation, and open space amenities. Environmental resource considerations and public service and infrastructure requirements have been integrated into the plan to provide for the health, safety, and welfare of future residents. The following presents a summary discussion of this Specific Plan in accordance with the General Plan for the City of Victorville. The review is organized as follows:

- Physical Setting
- Land Use
- Implementation

The review of the existing General Plan is presented in summary form with evaluations presented in appropriate sections of the Specific Plan. The existing City of Victorville General Plan is presently being updated.

Physical Setting

The physical setting is comprised is twelve categories which include: geology, seismic hazards, soils/liquefaction, mass wasting, flood protection, water quality, agriculture, open space, biotic communities, fire, noise, and land suitability for urbanization.

A thorough search and evaluation of available data and site reconnaissance was made to determine and analyze the physical environment of the project site and surrounding environs.

Geology Seismic Hazards/Soils

A review of the United States Geological Survey and California State Division of Mines and Geology Geotechnical Studies was conducted as a part of the development program. A 1980 Bureau of Land Management (BLM) study identified the Victorville area as having a good potential for leasable oil and gas deposits. The BLM study also shows a potential for locatable mineral resources in the project area. The development program for the project site proposed only commercial and residential land uses. No mining activities are proposed.

The geotechnical analysis shows no active or potential faults are known to exist within the project area. Therefore, it has been concluded that the project area is safe for development, subject to applicable building and mechanical codes. Prior to issuance of building permits, detailed investigations shall be conducted, and appropriate construction practices will be implemented.

The soils associated with the project site are identified by the United States Department of Agriculture, Soil Conservation Service (SCS) as being suitable for development. All soils related to the project site are subject to the hazard of soil blowing.

Mass Wasting

The project site is relatively flat and is not subject to landslides. Because of the sandy texture of the project site's soils, cutbanks may not be stable and may be subject to sloughing. Grading and earth work activity will be performed in accordance with and conform to applicable city ordinances and permit requirements.

Flood Protection

Preliminary hydraulic investigations have been conducted within the project site and have concluded that it is safe for development. A drainage concept plan for the proposed development provides for flood protection. The project area is located outside of the 100 and 500 year flood plain.

Water Quality

The Soil Conservation Service (SCS) identifies soil permeability associated with the project site as moderately slow to rapid. Water drawn from wells has retained consistent high quality through many years of testing. Consequently, development in the Victorville area has had no apparent effect on water quality for the water resources contained in underground aquifers. Additional water quality standards for the proposed development will include the development of erosion control measures during subsequent construction phases, and development plans to control storm water pollution.

Agriculture

Development including grading of the proposed project will remove soils from potentially productive agricultural lands. Historically, this has been a public policy conflict, due to development locating most easily on land suitable for agriculture. The project site is not currently under cultivation. It does meet the soil requirement for prime farm land, when irrigated, however, it is poorly suited for use a rangeland.

Open Space

Land uses proposed in the development program include a park site dedicated to the City of Victorville for public use.

Additional land uses will include an enhanced desert open space spine which will be developed in association with individual planning areas. This open space spine meanders generally east and west through the center of the residential areas and adjacent to the school and park facilities. A trail system within the roadway network and open space spine will connect residential neighborhoods and schools, and provide access to the park area and commercial areas to the west.

Within the trail network will be pedestrian and jogging paths as well as bicycling paths. Minor pedestrian paseos will traverse the development along roads, through residential developments to link the open space network together.

Other recreation activities and trail networks can be developed within individual planning areas.

The power easement which runs adjacent to the project site provides a regional open space link.

Biotic Communities

The proposed open space spine within the project site will consist of enhanced or transitional desert. This area will be revegetated with natural

vegetation to provide a transition between natural areas and private landscape areas. Minimal irrigation in the open space area will allow desert species to flourish. Some plant species found on the project site may be transplanted within the open space spine.

The proposed development will emphasize desert landscaping methods. Where possible, the native vegetation will be enhanced and supplemented with drought tolerant plants that require minimal irrigation (refer to Appendix A). Non-native trees and flowers can be inter-spersed with natives. Most yuccas, including the Joshua tree, are protected under the native plant law. Special permits will be obtained prior to their removal or transplanting, if feasible.

Retention and enhancement of the existing desert within the open space spine will provide limited habitat for wildlife.

Fire

Because the project site is in a wildfire area, all proposed fire protection facilities and procedures will be reviewed and stated requirements of the City of Victorville fire department will be met.

The water system will have sufficient capacity and pressure to meet fire flow requirements. A fuel modification program for all areas bordering upon natural open space will be developed.

Noise

Major noise sources are associated with George Air Force Base and major arterials. Consistent with city policies, all new residential buildings will be required to comply with noise attenuation standards.

Land Suitability

The project site is located in an area identified as suitable for urbanization.

Land Use

The land use plan is comprised of seven categories which include: circulation, housing, commerce, industry, recreation, historic preservation, and solid waste management.

Circulation

The circulation element provides a comprehensive planning approach to address the current and future transportation/circulation needs of the city. Consistent with the city's plans for roadway improvements, Bear Valley, Luna, La Mesa and Topaz Roads will be improved upon the circulation plan. Also, other roadway improvements are proposed for the project site to provide for a safe, efficient circulation system. A circulation analysis was completed for the proposed Mesa Verde Development Project. The Circulation Analysis prepared by CG Engineering (refer to separate document dated January 1988) discusses the existing roadway system, the proposed onsite roadways, and projected traffic.

Housing

The goals which are included in the City's housing element are generally oriented toward developing a balanced residential environment. The multiple use concept provided for in the Specific Plan is consistent with such goals. The proposed planned development activities for Mesa Verde will provide significant new housing opportunities for city and county residents. Through a diverse range of product types, densities, and price ranges, the project will offer an alternative to individuals seeking to locate close to an expanding industrial/commercial employment base in the Victor Valley region. Infrastructure improvements will also meet the regional needs of the western Victorville area through planned expansion capabilities.

Commerce

The proposed development program provides for commercial uses for the project site.

Industry

The development program proposes light industrial uses. No use will be permitted which will emit any offensive odor, dust, noxious gas, noise, vibration, smoke, heat, or glare beyond the parcel wherein such use is located.

Recreation

Recreational opportunities are an integral element in the overall development plan for Mesa Verde. A park site has been designated adjacent to the loop road near the center of the community. Natural open

space links the park with public uses and the various residential neighborhoods. The park site will be offered for dedication to the City of Victorville. Trails, etc. have been planned to integrate the park into the overall circulation network.

Historical Preservation

The historic preservation category designates historical sites through cultural, economic, historic personages or events and distinguished architecture or other notable works. Historic preservation is not applicable to the vacant project site.

Solid Waste Management

The Mesa Verde community will be served by several public and quasi-public agencies. The agencies servicing Mesa Verde for solid waste are the County of San Bernardino Solid Waste Management District and Victorville Disposal, Inc.

The solid waste management element was developed to facilitate the state approval of establishing a city owned landfill. This would alleviate the need for the city to contract with San Bernardino County to dispose of its solid waste into the county landfill.

Implementation

The infrastructure planning process for Mesa Verde has included engineering studies, facilities sizing studies, and meetings with responsible public agencies and special districts.

MESA VERDE

SPECIFIC DEVELOPMENT PLAN

4 Specific Development Plan

Introduction

The Mesa Verde Project is proposed as a major planned mixed use community including primary and secondary residential development recreational uses and commercial development. As one of the city's few master planned communities, the project is viewed as a unique component to the city's land use plans. It also represents a major opportunity area for future growth. The potential exists to set a standard in the southwest sphere of development for the surrounding area to follow.

In order to provide a planned community that is unique to the area specific objectives were established for the Specific Plan. These include:

- Create an identifiable community that provides a variety of housing types, commercial uses and recreational features to maximize the sense of community;
- Enhance and preserve natural resources through an integrated open space system with a centralized trail network which will tie the residential community together;
- Provide commercial development that serves the needs of local residents as well as needs of the region;
- Allow for circulation patterns which serve residential needs without encouraging regional circulation intrusion, while encouraging alternative means of transportation;
- Conserve energy and prevent neglect of the site's natural resources through site design and use of drought tolerant plant material;
- Provide development flexibility for future market changes; and
- Propose a logical phasing plan based on the marketplace and the extension and provision of utilities.

The Mesa Verde development program is illustrated through three principal development plan components:
Land Use: The land use component identifies proposed land uses and associated residential densities. Marketing information provides the basis for residential product types and anticipating absorption rates. These rates are transformed into project phasing delineating time frames for construction and infrastructure improvements.

Circulation: The circulation component identifies vehicular and non-vehicular improvements to facilitate movement in Mesa Verde. Roadways, pedestrian paths, bicycle lanes and local trails are discussed within the overall framework of providing efficient and safe movement patterns within the community.

Public Works: The public works component contains information on infrastructure improvement necessary to service Mesa Verde. Topics within this component include water, sewer, gas, electricity, television cable and telephone services.

Land Use Component

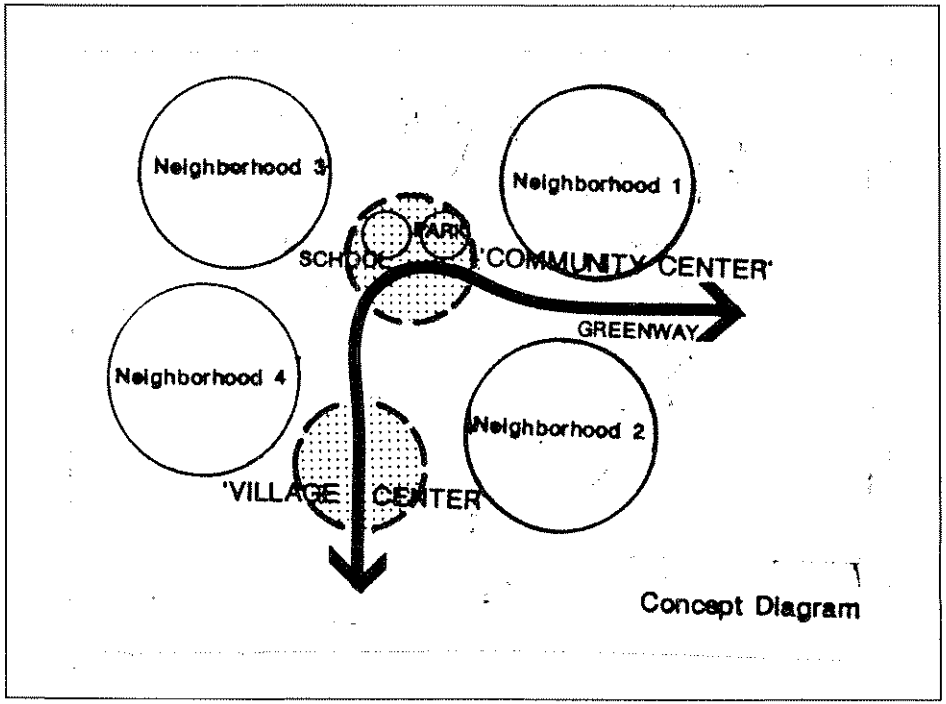
Development Concept

Mesa Verde is envisioned to be a high quality Master Planned Residential Community. Additional uses include several commercial sites and an open space/park area. The integration of natural site features into a cohesive planned community establishes the major concept for development. This concept provides for a continuous open space network preserving and enhancing many of the site's outstanding natural features. All land uses within Mesa Verde will be linked through a common loop road system, pedestrian/bicycle trails and open space links. This will ensure the development of an exciting and cohesive community form that offers proximity to an urban area while providing a "rural" style desert living.

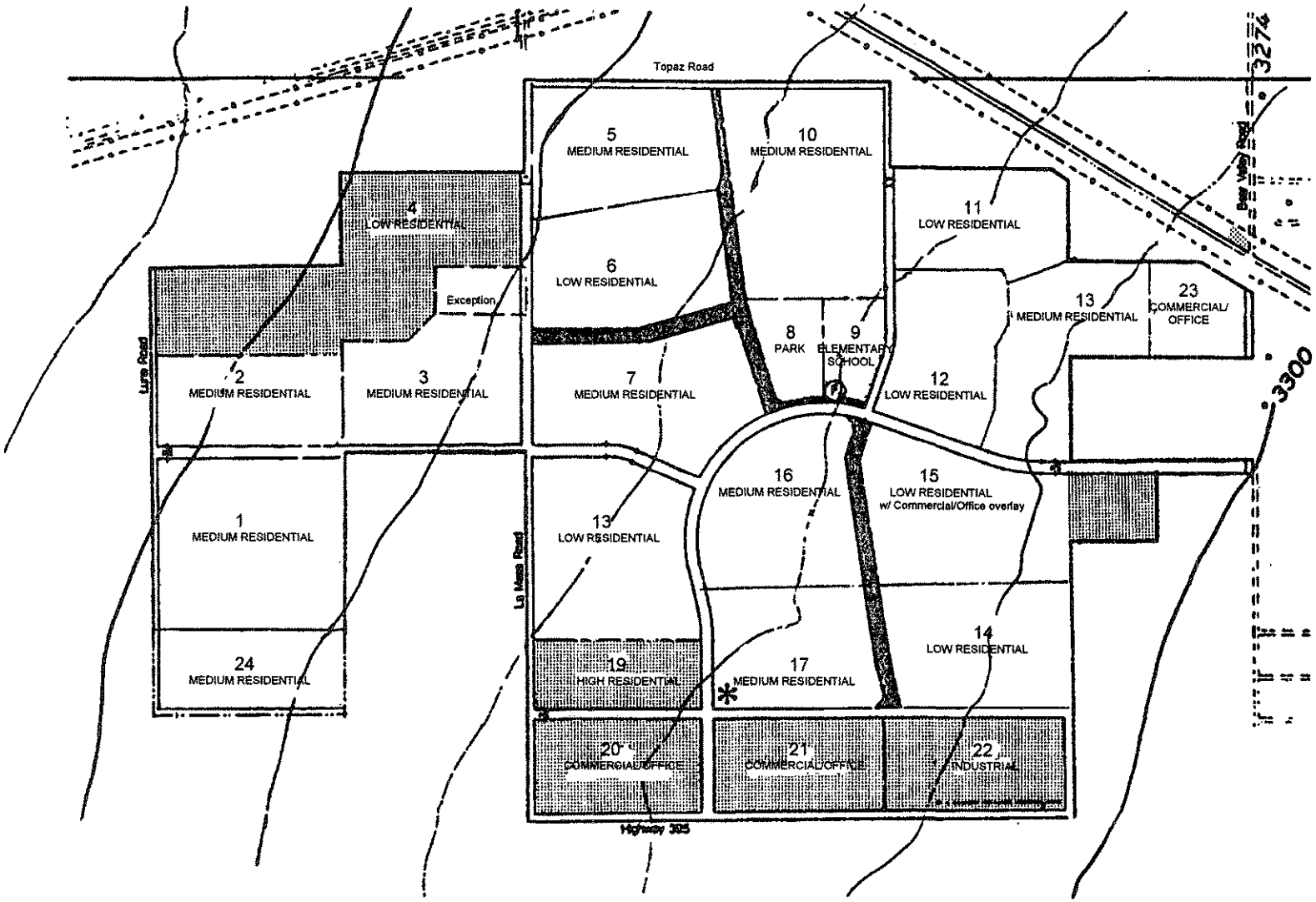
Mesa Verde will offer residential products appealing to a wide variety of market segments in a broad range of income groups. Residential land use will range from single family detached to attached residential.

The land use plan, as illustrated in Exhibit 8 will include:

- Several distinct and innovative residential product types to accommodate various age, socio-economic and interest groups.
- Commercial and industrial areas for both neighborhood and community needs, including highway oriented uses.
- A site set aside as a park to service the future needs of the area, including a potential fire station.
- An integrated circulation system lessening the need for auto-oriented transportation for intercommunity travel.
- A proposed high school and elementary school site as part of the community core, with links to the overall open space network.
- An open space network, including an "enhanced desert" village wide spine.
- A coordinated streetscape and landscape program.



Concept Diagram



Land Use Plan

- Village Road/Paseo
- Village Open Space/Paseo
- Planning Area Line
- Program
- Estate Residential 1-2 DU/AC
- Low Residential 2-5 DU/AC
- Medium Residential 4-6 DU/AC
- High Residential 20 DU/AC
- Commercial Office
- Industrial/Commercial
- Elementary School
- Park
- Potential Fire Station
- Potential Church Site
- Overlay District

Planning Area	Overlay
4	Estate Residential
15	Commercial
19	Medium Residential
20	Medium Residential
21	High Residential
22	Medium Residential

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EXHIBIT 8

Market

The Victor Valley is emerging as one of the most dynamic housing markets in Southern California. Because of the success of well planned communities located in a growing market area, Mesa Verde will be developed as a master planned community. The most clear cut market in the Victor Valley region is to develop a residential community to house locally employed persons and commuters to other areas in San Bernardino County.

It was established that the development program provide a full range of commercial, residential, and recreational facilities as well as support uses which will distinguish it as a planned community from the residential subdivisions now being developed in the Victor Valley. In addition, there is a potential for developing a planned community that integrated both primary and secondary (retirement) housing.

The development program for Mesa Verde is summarized in the following table:

Table 2
Development Program Summary

Land Use	Density	Acres	Total[3]
Residential Development:			
Low	2-5 DU/AC	212.6	960 DU's
Medium	4-6 DU/AC	274.8	1463 DU's
High	20 DU/AC	16.4	328 DU's
	Subtotal	503.8 AC	2751 DI's
Non-Residential Development:			
Elementary School Site		8.2 AC	
Commercial/Office[1/2]		48.5	504
Industrial[1/2]		21.5	129
Open Space/Park		23.7	
Arterials		46.9	
SUB TOTAL		148.8 AC	633 DU's
	TOTAL	652.6 AC	3384 DU's[3]

*DU's = Dwelling Units

1 Includes Planning Area 21 as a High Residential Overlay (20 D.U./AC)

2 Includes Planning Areas 20 and 22 as a Medium Residential Overlay (4-6 D.U./AC)

3 Unit column is based on acres. Total sum of units shall be no more than the number of units (3384)

A detailed development program by individual parcel is located in Appendix C.

Market Flexibility

Given what is viewed as a moderately long build-out period, the land use plan is designated with sufficient flexibility to permit adjustments to meet future market conditions while still achieving the objectives and design concepts for Mesa Verde.

The Mesa Verde development plan allows for a logical redistribution of residential densities (densities transfer) over the entire site, with a priority given to an adjacent planning area. This will enable creative and imaginative design solutions within a flexible framework. The City of

Victorville Ordinance (Title 18) will control overall development patterns, with the Specific Plan Development Standards.

Phasing

Mesa Verde is designated to absorb a percent of the population growth that is projected for the Victor Valley region over the next five to ten years and provide residential housing opportunities for the commercial and industrial growth that is currently taking place within Victorville.

Mesa Verde Land Developments (INCO Development Corporation is the general partner) will serve as the master developer for the Mesa Verde community. As the master developer, they will improve and landscape the loop street and the major arterials within the property. Along with these improvements, the developer will bring backbone infrastructure facilities to each development parcel.

Architectural control of Mesa Verde will be initially maintained by the master developer until such time that an architectural review committee or similar review capabilities can be established. The architectural review committee can be made up on individuals who reside within the Mesa Verde development. The review committee is to be separate from any city function.

Phasing of development is proposed to move generally from east to west. This strategy involves a number of considerations including:

- Early development growth taking place along Bear Valley Road;
- Improvements to Bear Valley Road providing direct access to Interstate 15;
- Utilities that are planned to be available to the northeastern portion of the site;
- A mix of land uses and densities provided through east to west phasing.

It is presently anticipated that, in the short term, demand for single family detached dwelling units will outpace demand for attached residences. If demand for attached and multi-family residences increases relative to detached homes, development of these types of residential products may begin. The construction of open space and parkways will be phased to coincide with residential construction so that increments of open space will be developed coincidentally with increments of housing. This will help ensure a high quality master planned community.

The phasing of Mesa Verde is designed to provide flexibility to respond to changing economic and market conditions occurring at the time of development.

Residential Land Uses

The residential mixture at Mesa Verde has been designed to provide a strong community image and to increase a broad range of densities of primary and secondary housing types. Overall, 503.8 acres of the site will be devoted to residential use, with an overall total not to exceed 2962 dwelling units. Residential products and densities are grouped and located based upon similar characteristics and site criteria. It is anticipated that Mesa Verde will include singles, young starter families, families with older children, empty nesters and retired residents. Higher density attached units are located adjacent to the commercial areas along Highway 395, helping to form a village core. This core is linked to an open space/paseo network establishing a community focal point. Medium density detached units radiate from the core along the loop road. Lower density units having a more rural theme are generally located at the northeastern perimeter of the site providing a buffer from the higher density areas and a transition to surrounding land uses. Table 2, Development Program Summary, provides a breakdown of the project by density, acres and dwelling units. (Refer to Page 4-4)

The following is a brief summary of each residential product type.

Estate Residential: A single detached dwelling or custom home on a single lot. The Estate Residential will have a separate access from major roads and will not be linked to any other neighborhood collectors. The site layout can be more informal, with a rural character. Lots can range from 15,000 to 36,000 s.f. Densities can range from 1 to 2 dwelling units per acre.

Low Residential: A single family detached dwelling unit on a single lot with standard yard setbacks. Relatively formal arrangements will occur within tracts along local streets with cul-de-sacs. Residential units will have access to the open space/paseo system either directly or through a common path system which can be accessible at cul-de-sacs. Lots can

range from 6,500 s.f. to 15,000 s.f. Proposed densities range from 2 to 5 dwelling units per acre.

Medium Residential: A single detached dwelling or attached duplex unit on a single lot. Neighborhood tracts can be laid out in more formal arrangements along local streets and cul-de-sacs. The residential units may be arranged to give either direct access to the open space/paseo system or access through a common path system accessible at cul-de-sacs. Density can range from 4-6 dwelling units per acre.

High Residential: Attached Multi-family units adjacent to the commercial uses help form the core of the village and offer access to community collectors and open space. Apartments and/or other multi-family units will constitute the attached unit mix. Densities will range to 20 dwelling units per acre. Ownership may be on a lot or on a space basis with common open space maintains by a homeowners' association.

Commercial/Office Land Use

The Specific Plan proposes two (38.3 acre total) commercial sites adjacent to Highway 395. Uses here will be "village" oriented, featuring supermarkets, drug stores, and other local-serving retail uses. There sites, because of their highway orientation and access may contain some visitor serving commercial uses that are compatible with the surrounding commercial and residential uses of Mesa Verde. An additional 10.2 acres of commercial land is located on Bear Valley Road. To ensure that this commercial development is consistent with the rest of Mesa Verde, the commercial development standards of the Mesa Verde Specific Plan will be followed in implementing the commercial site. A Medium Residential Overlay (112 D.U.'s) is included in implementing Parcel 20 and a High Residential Overlay (392 D.U.'s) in implementing Parcel 21.

Industrial Land Use

Along Highway 395, a 21.5 acre site has been reserved for potential industrial uses. This parcel, known as a "swing parcel" is intended to have market flexibility. Because it is proposed for development in later phases, market factors may dictate residential uses are more appropriate. To ensure this parcel is consistent with the community development standards, the industrial includes a Medium Residential Overlay (129 D.U.'s) in implementing Parcel 22.

School/Park Site

Along the eastern edge of development an 8.2 acre site has been reserved for a potential elementary school. A park is located adjacent to the elementary school. All of these facilities are located adjacent to and are accessible to the village-wide open space and paseo network.

The principal focus of the park, along with proposed joint use of school facilities, will be active recreation for local residents. Sidewalks and bicycle lanes are planned along the main project collector roads for trail alignments, allowing project residents non-vehicular access to the park and school.

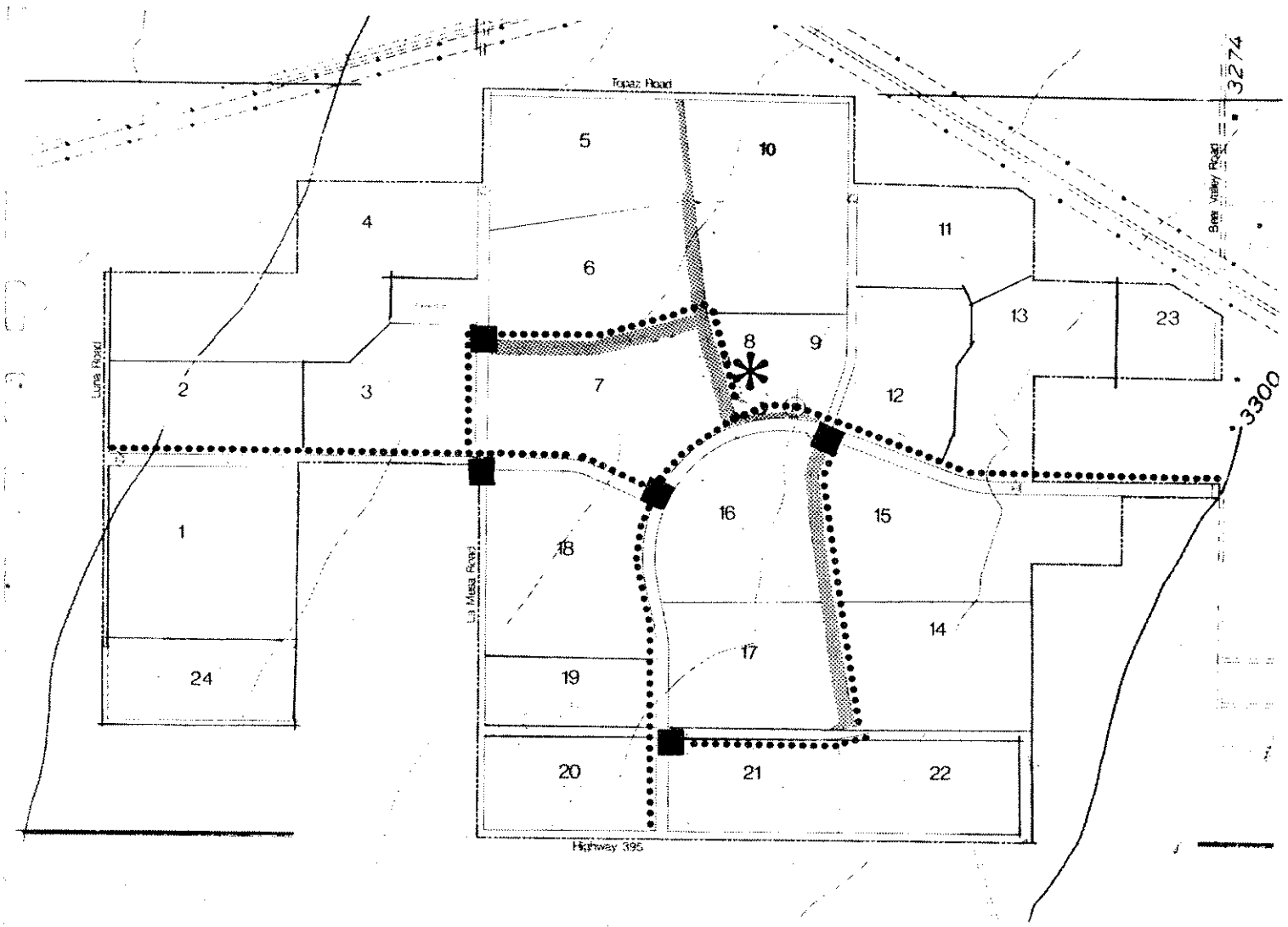
Open Space/Trail Network

An important feature of the overall land use plan is the concept of enhanced desert open space and its provisions for recreation opportunities.

The two major components of the open space network as shown in Exhibit 9 are the park, the school site, and the central enhanced desert open space/paseo system.

The major component that provides pedestrian mobility is the open space spine that meanders east and west through the center of Mesa Verde. The pathway/paseo system within the open space will connect residential neighborhoods together and provide access to the school and public park.

Within the paseo network can be both pedestrian walking and jogging paths and/or an exercise course, as well as bicycle lanes and/or paths. Minor linking pathways can traverse the development along roads, between development areas, through residential areas, and within open space corridors to link the entire development open space network together. The adjacent power easement can also serve to connect Mesa Verde with the region. It is proposed that the open space/trail network be implemented and maintained through a variety of assessment districts and/or homeowner associations.



Open Space Concept

- Park
- Open Space Network
- Proposed Pedestrian Paseo
- Potential Street Crossings

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Project Design

The project will be identified and unified through design elements such as architecture, signage, landscaping, color, paving, walls, fencing, and entry treatments. Design criteria will be implemented through more detailed tract map submittal. The major objective of the design criteria will be to establish general controls that will ensure consistency with design and promote visual quality within the project area.

Through innovative and imaginative designs, a level of community design will be achieved that enhances property values for the future homeowners and at the same time satisfies the City's aesthetic and visual goals for this area. These design criteria will be structured to allow some variability in design. Individual development neighborhoods will then be able to establish their own design character yet remain compatible with the overall community.

Architecture and Signage

Architecture and signage throughout Mesa Verde will be coordinated to respond to the cohesive master-planned nature of the project drawing upon the natural quality of the high desert environment. Building materials which are naturalistic and of varied textures are most appropriate. Colors should reflect desert tones. Roofs should be compatible utilizing similar materials. Walls, fencing, and signage should be compatible throughout the community utilizing the same materials, texture and colors as those chosen for buildings. Traffic and safety signs will meet City standards.

Landscape Design

Project landscaping will play an important role in maintaining community continuity while emphasizing project design themes. Landscaping will also articulate community design elements, such as project entries, streetscapes along major arterials and/or collectors, the open space and pedestrian paseo system.

Circulation Components

Area Wide Concept

The circulation plan provides the transportation system and basic standards for safe, efficient vehicular movement within and around the study area. This plan consists of alignments for arterials and collector roadways and their rights-of-way, and typical roadway sections (Refer to Exhibit 10).

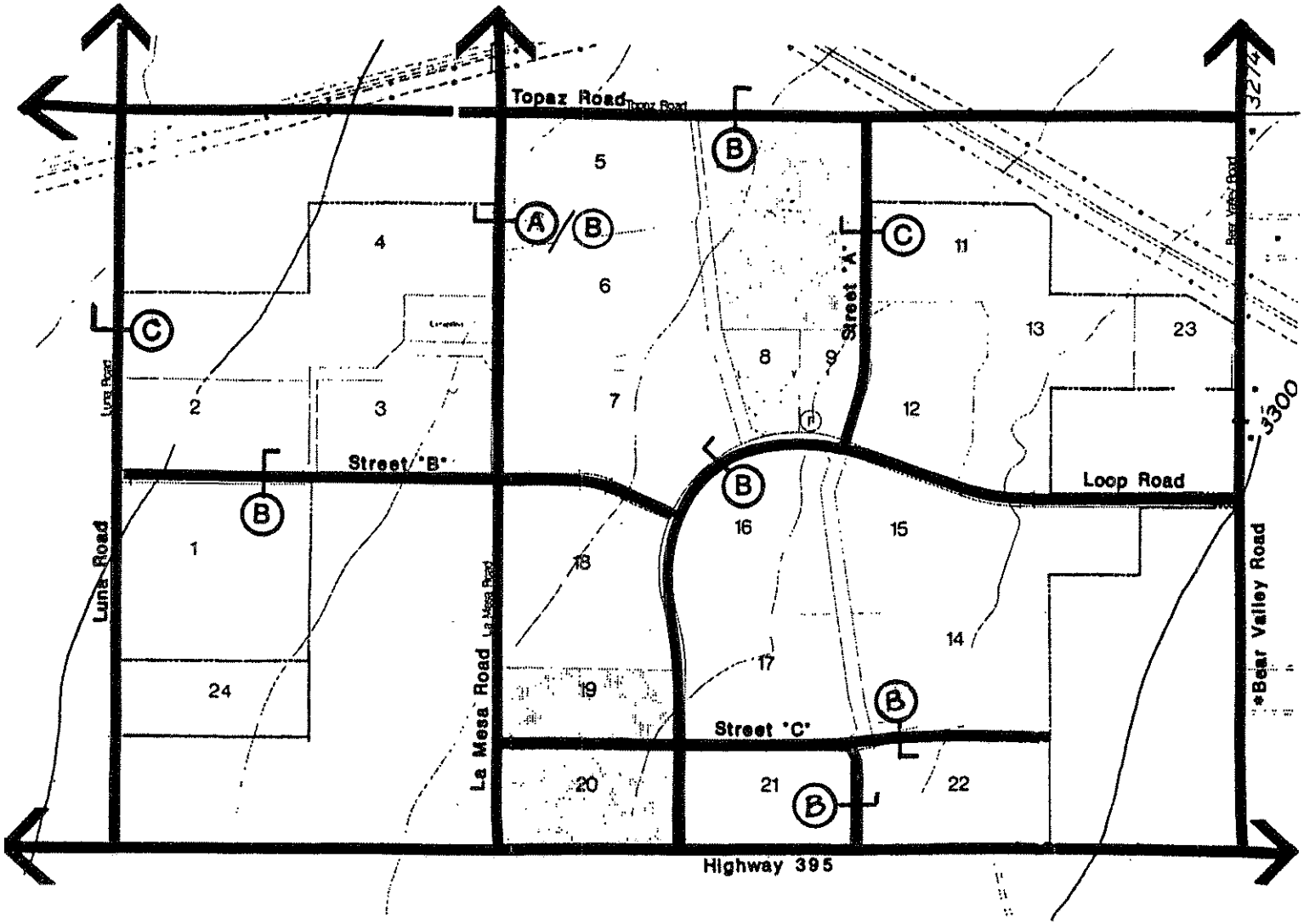
The circulation plan has been developed based upon a comprehensive transportation planning analysis (Refer to traffic study in Appendix B). The traffic generation and distribution studies included in this analysis were based on the ultimate development of the Mesa Verde properties. This analysis also considered the cumulative traffic impacts and street capacity requirements of other potential development outside of this Specific Plan area.

Circulation System

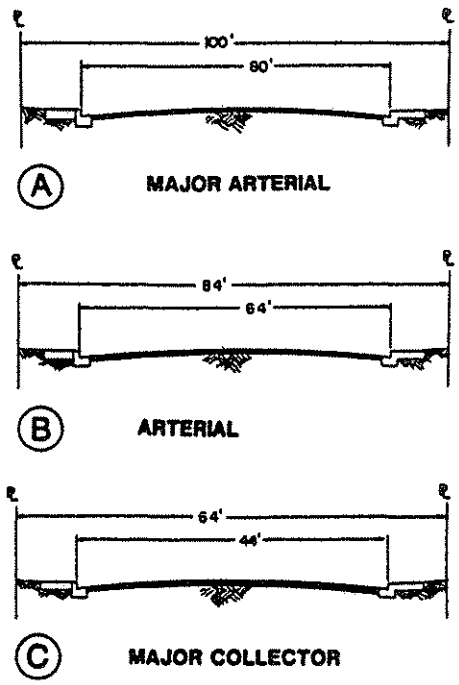
Traffic circulation within the Mesa Verde development will be provided by a roadway system keyed to the existing street system and based upon ultimate circulation patterns depicted on the General Plans' circulation element.

Emphasis is placed upon providing the primary access routes to link the various neighborhoods with Bear Valley Road and Highway 395 with existing I-15 and SR 395 interchanges. The backbone of the Mesa Verde Circulation System consists of a loop roadway containing vehicular and non-vehicular functions. Roadway classifications include major arterials, major and minor collectors and local streets. A series of trails reinforce the roadway system through the provision of minor intercommunity loops.

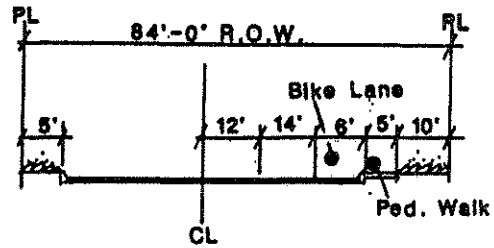
The following describes the characteristics of the various roadway classifications which are part of the Specific Plan circulation system:



Circulation



LOOP ROAD-OPTION



*Bear Valley Road is a super arterial with a 124 foot R.O.W. Refer to City General Plan

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Super and Major arterials: Super and major arterials service the immediate vicinity of the site for through traffic and provide linkages from collectors to the regional transportation corridors. Bear Valley Road which runs east/west along a portion of the southern boundary of the project site will be improved to half of its 124 foot right-of-way (6 lanes) reflecting its super arterial status as designated in the current roadway classifications. In addition, that portion of Highway 395 which is adjacent to the project site will be improved to half of its 100 foot right-of-way. An additional 37 foot easement will be offered on the east side of SR 395 for dedication to be utilized for future right-of-way. La Mesa Road, a east/west major arterial runs though the project site, bisecting the northern portion. It will be improved to its 100 foot right-of-way within the project and half of its 100 foot right-of-way where it is adjacent to the project.

Arterials: Secondary arterials service the immediate vicinity of the site and connect/distribute traffic from collectors to the freeway.

The loop road, which generally bisects the site, will be fully improved to an 84 foot right-of-way. The 84 foot right-of-way could contain an offset roadway section to allow for landscaping, a pedestrian path on one side of the roadway, and a bicycle path on both sides of the loop road (refer to Optional Roadway Section, Exhibit 10). It is proposed that no on-street parking or individual driveways be allowed on either side of the loop road. This parkway appearance along the loop road will visually unite the community and allow for ease of movement.

Topaz Road, a north/south arterial runs along the eastern boundary. It will be improved to half of its 84 foot right-of-way where it is adjacent to the project.

Major Collectors: Major collectors service the primary areas of development and provide the interior of Mesa Verde linkage to the regional transportation corridors. These have been designed as major collectors with a 64 foot right-of-way to accommodate vehicular activity. The collecting roads, along with the loop road, allow east/west and north/south traffic as shown on the existing General Plan's Motorized Circulation System.

Luna Road, an east/west major collector runs along the northern boundary of the project. It will be improved to half of its 64 foot right-of-way, or a minimum of two travel lanes, adjacent to the project reflecting its major collector status as designated on the current roadway classifications.

Local Streets: Local streets (minor collectors) will service parcels within each neighborhood and are designed with a 60 foot right-of-way, or a minimum of two travel lanes to accommodate automobiles and pedestrians. On street parking and individual driveways are allowable.

Local Pathways: Paseos have been designed to provide convenient access from neighborhoods to primary destination points. The paseos are located in open space corridors that will contain enhanced and existing desert vegetation. Pathways should be a minimum of five feet in width to accommodate pedestrians and bicycles.

All roadway construction activities will conform to standards established by the City of Victorville, Engineering and Public Works. At project build-out additional off-site pavement widening may be required and will be identified at the Tentative Tract Map level.

Circulation Analysis

The following is a brief summary of the Circulation Analysis prepared by CG Engineering (January 1988) for the Mesa Verde Specific Plan. Based on information provided by the City of Victorville, a six (6) percent growth rate was utilized to a 1997 target year.

Because of the Mesa Verde land use mix, ten (10) percent of the project site generated trips were assumed to be internal. A level of service "C" will be used as the basis for roadway selection determination unless modified by the City Engineer. The Circulation System within the Mesa Verde Development generally follows the City of Victorville's Circulation System. The Circulation Analysis shows that street "A" and Luna Road (refer to Exhibit 10) are proposed as major collectors and streets "B" and "C", Topaz Road, the loop road are proposed as arterials. La Mesa Road is proposed as a major arterial or arterial. Bear Valley Road is proposed as a super arterial.

The Circulation Analysis makes the following conclusions and recommendations. Due to the increased traffic on Bear Valley Road by existing and proposed developments, it will need to be fully improved. Improvements may be phased based on surrounding development. If Bear Valley is not fully improved, another east/west street may be needed to be completed from the eastern edge of the project site to Interstate 15.

The currently proposed Assessment District includes Bear Valley Road at the I-15 Interchange which will require improvements. Based on existing and proposed developments, State Route 395 will need to be improved to allow for two (2) lanes in each direction from I-15 to State Route 18. Because SR 395 is a State Highway, Caltrans should take the responsibility when the warrants are met. However, improvements to SR 395 may be necessary at the local level.

All intersections, when signalized, are projected to operate near or below their capacities, given the ultimate street improvements being constructed at the intersections. The only exception in the target year is projected to be the 395 and Bear Valley intersection. Adjustments in signal timing may be required to maintain an acceptable level of service as volume increases. Re-striping to provide double left turn lanes for Bear Valley is projected to be required at the target date.

The study recommends that the City monitor the key intersections; specifically, SR 395 and Bear Valley Road as well as other major intersections within the project area for warrants for traffic signals as development within the project area and the surrounding area occurs. This way the development of the roadway system can parallel the development of the project area and the surrounding areas providing for gradual expansion in both building construction and public improvements. It will also help the City avoid installation of unwarranted traffic signals. As an example, fees could be collected from the various developers to be applied towards specific master planned improvements, i.e., traffic signals which are projected to be warranted due to the accumulated traffic volumes from numerous developed areas. The City could then contract for their construction at such time as they are warranted.

Public Works Component

Introduction

Future demand for residential opportunities in Mesa Verde, as well as other residential communities in the western portion of the City of Victorville, call for systematic plan for the provision of public services. The Public Works Component addresses these needs relative to the future development of the Mesa Verde area and illustrates the methods and mechanisms through which public services can be provided.

The infrastructure systems are designed to provide adequate service for the maximum level of planned development. In the case of sewer and other utilities where major offsite improvements are required to properly serve the ultimate development, interim facilities can serve the initial limited phases of development.

Water Service Concept Plan

Domestic water will be supplied to the residents of Mesa Verde by the Baldy Mesa County Water District. The BMCWD has completed a water facilities Master Plan and a related capital facilities assessment district which includes the entire Mesa Verde Specific Plan area. The concept for the water system is shown in Exhibit 11.

All water service facilities except lines less than 12" in diameter will be constructed through the Assessment District. The Assessment District will also include all wells, storage and other transmission lines necessary to provide adequate domestic service as well as fire protection levels for all proposed land uses. Proposed pressures are more than adequate for the entire project site. All planned off-site facilities are scheduled for completion by Fall of 1988.

In addition to the Master Planned transmission lines, 8" service mains will generally follow the major street system as established in the Mesa Verde Specific Plan. Sizings of the mains will be adjusted in response to different land use intensities within the service area.

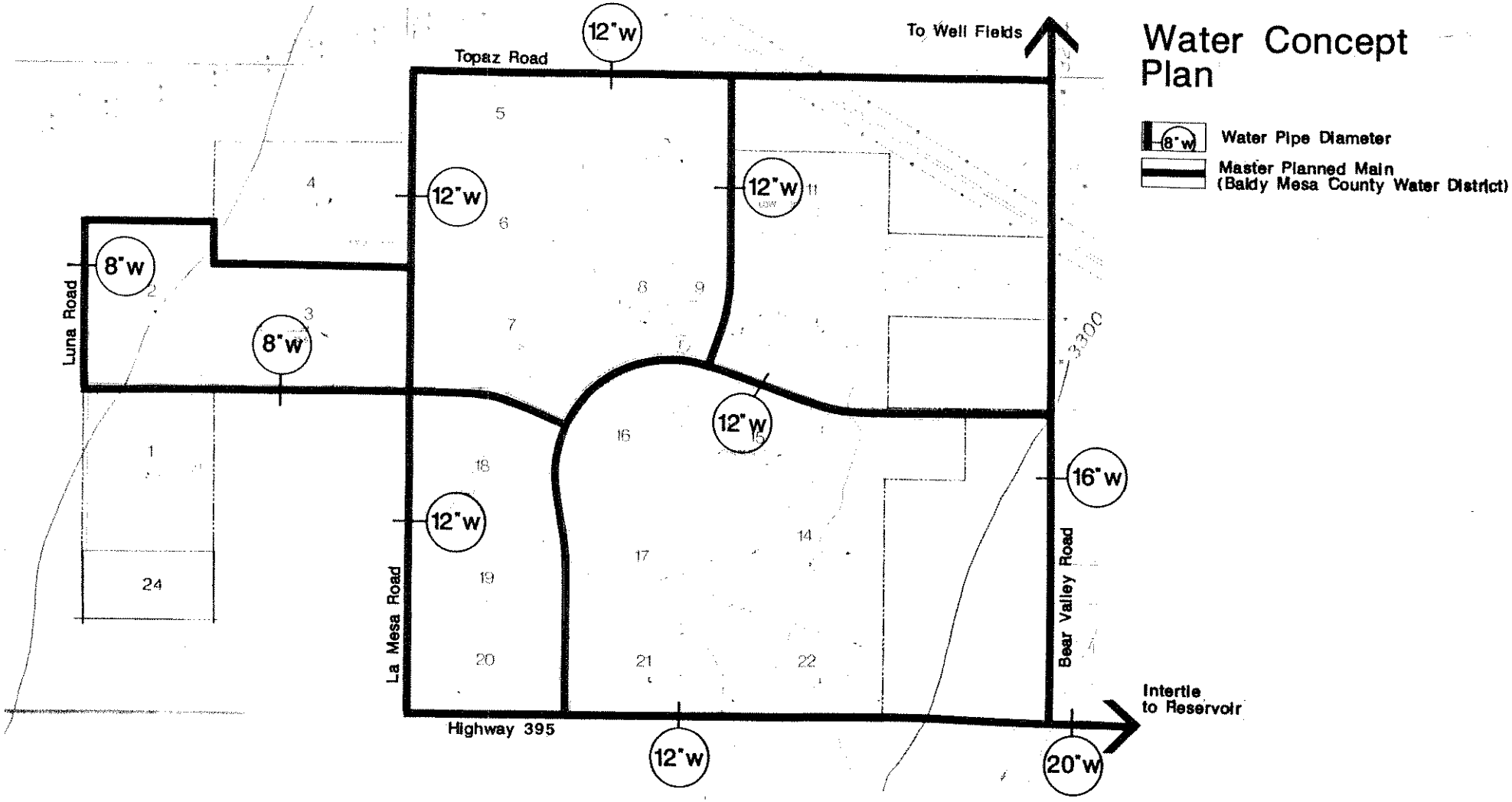
Implementation

An Assessment District and/or use of other appropriate, approved methods, will provide financing for the master planned facilities. Any assessments are to be based on an acreage fee determined by spreading the estimated costs over the area of benefit.

Sewer System Concept Plan

The Victor Valley Wastewater Reclamation Authority (VVWRA) will provide wastewater treatment service for Mesa Verde. It is a regional sewerage facility whose service area includes the Victorville Sanitary District. The VVWRA receives sewage from the Sanitary District's local collector system which connects to the VVWRA interceptor pipeline at two points along the Mojave River. The regional facility is located

Water Concept Plan



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Sewer Concept Plan

Proposed Trunk Line (8" Minimum)

Direction of Flow

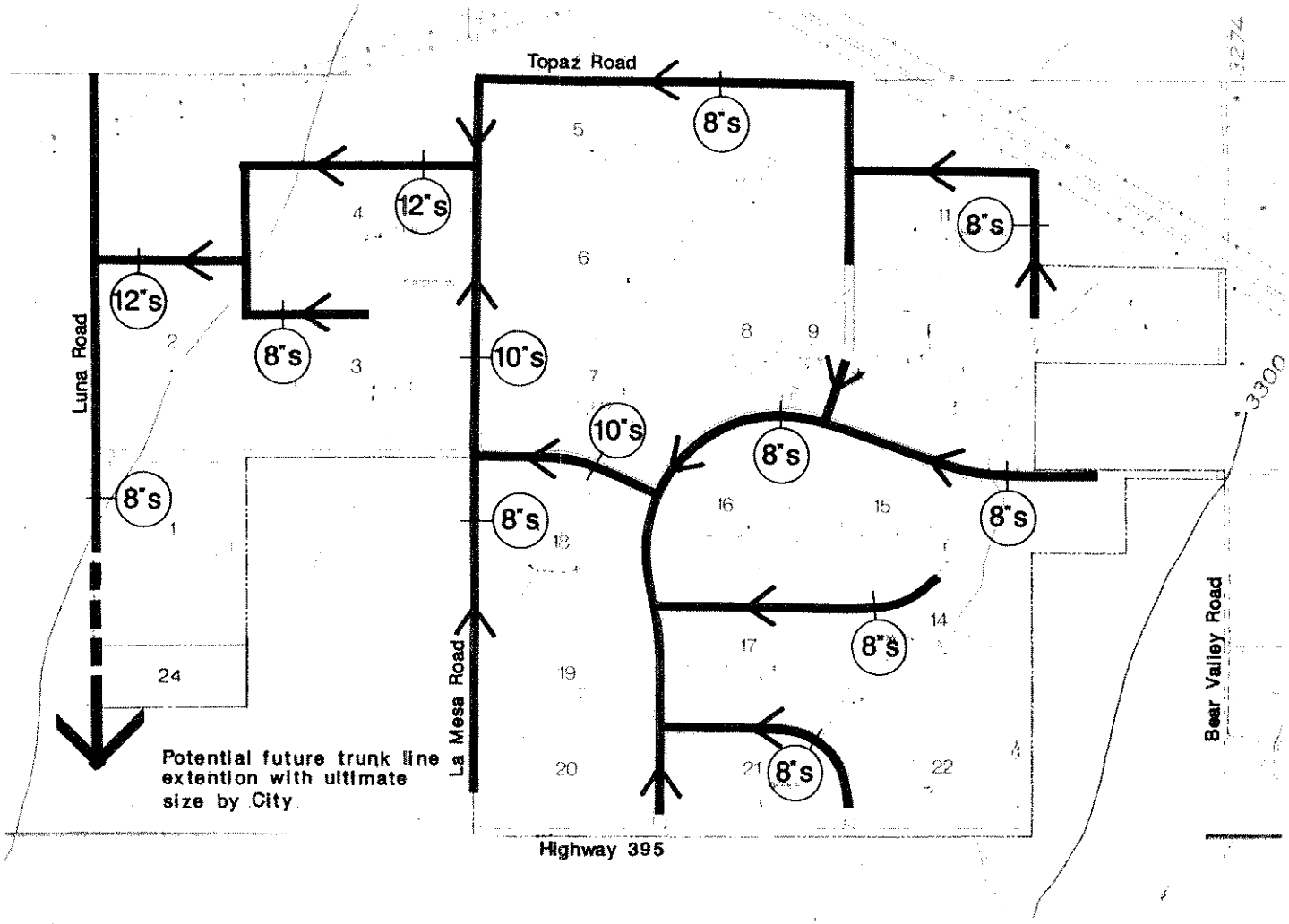

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EXHIBIT 12

approximately eight miles north of Victorville with a plant capacity of 5 million gallons per day (mgd). Current flow is 3.2 mgd.

The recommended in-street extension of lines will serve as the backbone system for sewage collection in Mesa Verde as shown on Exhibit 12. This plan locates the ultimate on-site gravity system to service the needs of the entire project. The on-site facilities would consist of minimum 8 inch or larger sewer lines. The sewer collection system will discharge the flow from the project to the northeastern corner, at Luna Road, following the general slope of the site.

Because a sewer connection to the existing public system does not exist at the discharge point, extension of sewers offsite will be required. The concept for the offsite sewer system is shown in Exhibit 13.

The sizing of the offsite trunk line would be a function of the area to be served. A Master Offsite Sewer Plan (Exhibit 13) is being prepared, in conjunction with the Brentwood Specific Plan (Section 13), which outlines the areas of benefit and expected flows from each benefiting parcel. The city may decide the pay for oversizing to accommodate possible future annexations south of Bear Valley Road and west of Highway 395.

Implementation

Exhibit 13 provides an off-site backbone system for the project area. As development plans are completed for the planning area, additional intract systems will be required to provide the sewer collection for the dwelling units. All systems would be completed in accordance with standards of the City of Victorville.

The offsite improvements between Mojave Drive and the connection point near Village Drive and from Dahlia Road to Luna Road are to be undertaken in conjunction with the city to serve as Master Plan facilities. By this approach, the city will ensure control of the sizing, the areas to be served, and the final alignment to benefit the largest area on the western side of the city.

Financing of the offsite sewer facilities would be required through the various western area developers to provide the funding to complete the design and construction of the facilities. Currently the city does not have a funding vehicle for this type of facility. A reimbursement agreement based on pro-rata share can be executed between the various developers and the City of Victorville. Upon new developments or other users connecting and utilizing capacity in the trunk line, fees would be levied by the City upon these users. The costs for financing their proportionate share of the improvements would be returned to the developers.

The following conditions of approval are recommended to be adopted for subdivision maps which establish individual lots for construction of buildings. These conditions may be waived by the city on a case-by-case basis.

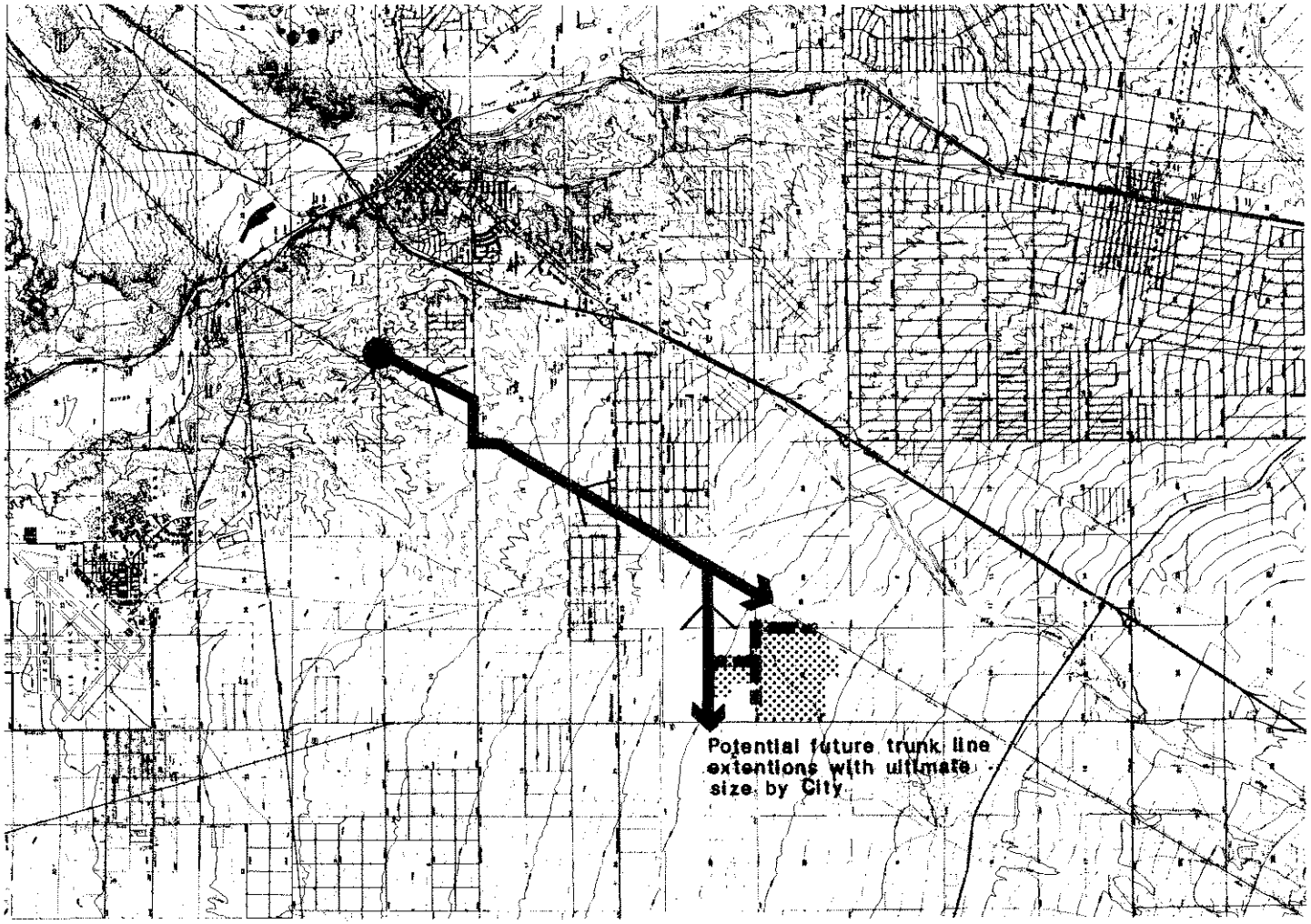
1. Prior to recordation of the final subdivision map, the Director of Public Works shall certify that financial arrangements and agreements necessary for sewer services for this subdivision have been entered into with the City of Victorville.

2. No occupancy permits for any dwelling unit, except for model homes, shall be issued until sewage collection and conveyance facilities adequate for the subdivision are determined to be completed and operational by the City of Victorville. Within two years following the construction of a model home or the conveyance of such model home from the builder to an occupant, whichever shall occur first, said model shall be connected to the community sewer service.

Drainage Concept Plan

The project site encompasses approximately 620 acres of flat unimproved land which has a downward slope toward the northeast. The site is essentially void of organized storm drain runoff improvements. No major stream courses cross the plan area and the runoff from storms generally takes the form of overland street flow. These is some definition of drainage swales which exist due to the natural drainage tending to concentrate as it gathers to traverse the property. Immediately downstream from the project area a defined drainage course begins and proceeds northerly.

The project incorporates drainage in several ways. The proposed street system, when constructed, will provide certain drainage controls to intercept and direct the street flow runoffs from the proposed improved properties. The street pattern and open space design accommodates these drainage patterns. Conveyance of the storm runoff to Luna and La Mesa Roads will allow discharge into the existing drainage pattern northeasterly.



Off-Site Sewer Plan

- Proposed City Master Plan Sewer System
- Tie into Turner Road Trunk Sewer
- Section 27, 34 Backbone Sewer System

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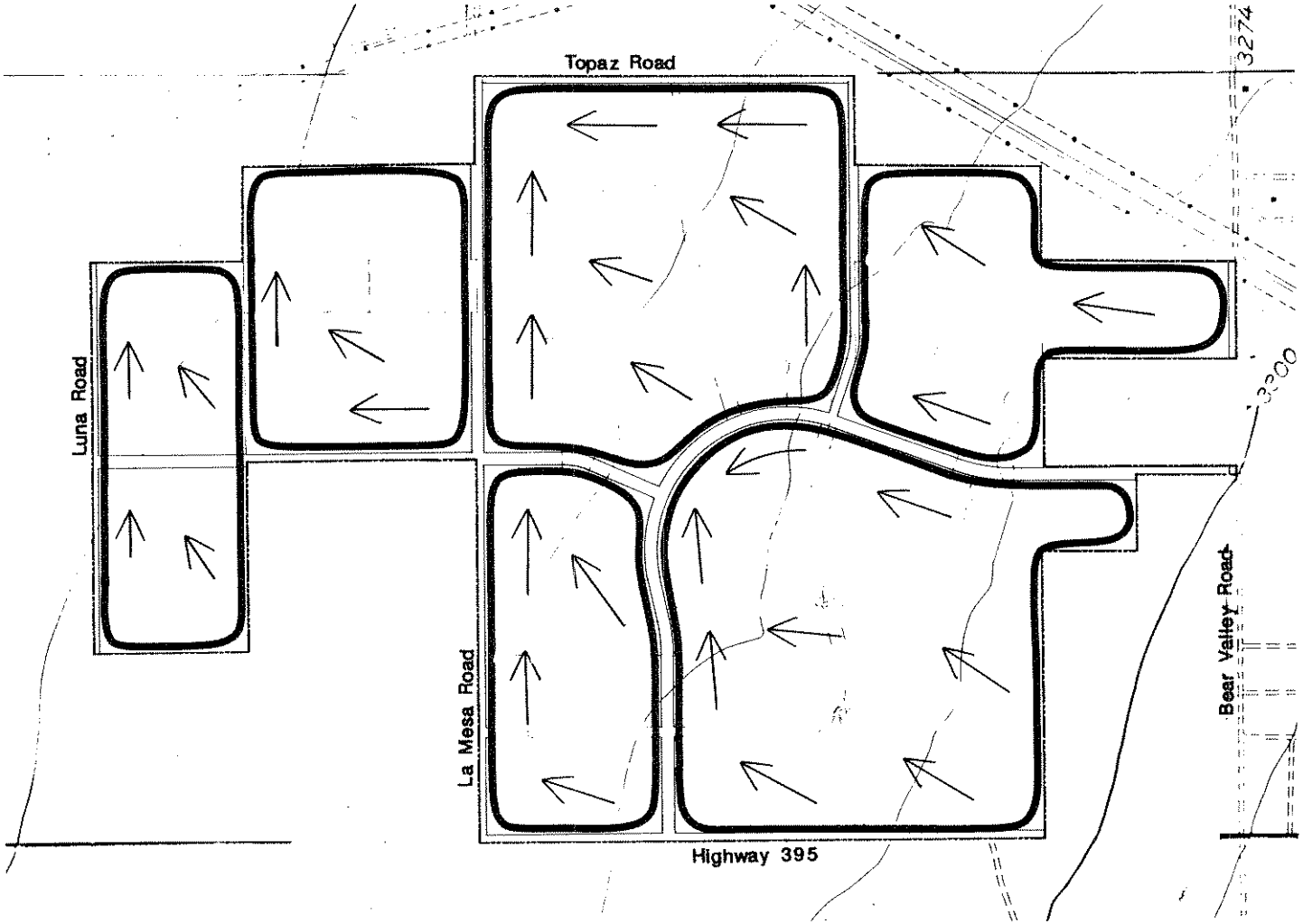

Drainage Concept Plan

Sub-Area Drainage Boundary

Direction of Flow

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Off-site drainage conveyance will be accomplished in a manner acceptable to the City of Victorville, Public Works Department.

Implementation

Construction of the drainage improvements as shown in Exhibit 14 is necessary for the development of the Mesa Verde project. These drainage improvements and the intract improvements needed for each subdivision will be constructed on an incremental basis, provided that the increased runoff is not allowed to adversely effect down stream properties.

Other Utilities

The Mesa Verde project lies within the service areas of Southern California Edison Company (electricity), Southwest Gas Corporation (natural gas), Continental Telephone of California (telephone), High Desert Cable Vision (television cable) and Victorville Disposal, Inc. (solid waste). This utility network can be expanded to meet future demands of the project. All future utility line additions are proposed to be placed underground.

Development Regulations

Purpose and Objectives

The purpose of these regulations is to provide for the development of the Mesa Verde Specific Plan Area in the City of Victorville in a coordinated manner, to take advantage of the superior environment which results from community-scale urban planning (see Exhibit 8, Land Use plan map).

These regulations are developed to ensure compliance with the spirit and intent of the California Government Code Specific Plan regulations. An objective of these regulations is to be responsive to changing community needs and desires, and to function without the need for unnecessary, time-consuming and costly amendments.

These regulations combine provisions for the opportunity to proposed innovative design concepts in site planning, consistent with orderly development and protection of sensitive resources. These regulations also contain provisions for a logical and timely sequence of review. They are further intended to implement the goals, policies and guidelines of the City of Victorville General Plan.

The following regulations are intended to assure that development of individual parcels within Mesa Verde is consistent with the City of Victorville's intention for development of the area.

These regulations, together with city municipal codes set forth in Title 18 of the Victorville Municipal Code entitled "Zoning" and Title 17 of the Victorville Municipal Code entitled "Subdivision," and In effect at the time of approval of this Specific Plan, and all subsequent amendments thereto from the time of approval of the Specific Plan up to the adoption of Ordinance No. 1738 are intended to implement the Mesa Verde Specific Plan. They are intended to be utilized by the City, developer and builder to ensure that the proposed development will proceed in an efficient and coordinated manner, to create a high quality residential community. Unless specifically regulated otherwise by the following regulations, the regulations as contained in Title 18 of the Victorville Municipal Code entitled "Zoning" and Title 17 of the Victorville Municipal Code entitled "Subdivision" shall apply.

A. INTRODUCTORY PROVISIONS

1. CITATION

   This ordinance shall be known as the "Mesa Verde Specific Plan."

2. AUTHORITY FOR THE SPECIFIC PLAN

   These development standards and land use regulations implement the Mesa Verde Specific Plan. The regulations are adopted by ordinance pursuant to Article 8, Authority for and Scope of Specific Plans of the Planning and Zoning Law of the Government Code and in compliance with the provisions of Sections 65450 and 65503 of the California Government Code. The law authorizes cities and counties to prepare and adopt Specific Plans for portions of their areas of jurisdiction as a means to implement the General Plan.

3. CONSISTENCY WITH THE GENERAL PLAN

The Mesa Verde Specific Plan is based on the City of Victorville's General Plan and related regulations and programs. The plan includes detailed regulations, standards and guidelines necessary for the implementation of the General Plan. The various land uses permitted by the Specific Plan are consistent with the goals, policies and general land uses described in the General Plan. However, the Specific Plan focuses on those issues which directly affect and are of greatest importance to the Mesa Verde project area. Reference should be made to the General Plan for guidance concerning planning issues which are not covered by the Specific Plan.

4. RELATIONSHIP TO OTHER REGULATIONS

The Specific Plan will provide the user with most of the information needed to determine what city policies, standards, and regulations will guide the development of a particular planning area. However, areas not specifically covered by this plan (i.e., construction standards, health regulations, subdivision procedures, etc.) will continue to be governed by existing city regulations, and no provision of this plan is intended to repeal, abrogate, annul, impair, or interfere with any existing city ordinance except as is specifically repealed by adoption of this plan.

5. CONFLICT WITH OTHER REGULATIONS

Whenever the provisions of this plan impose more restrictive regulations upon buildings or structures, or on the use of lands, or require larger open spaces, yards, or setbacks, or otherwise establish more restrictive regulations than are imposed or required by any other law, title, ordinance, code, or regulation, the provision of this plan shall govern.

6. AGREEMENTS

The provisions of this plan are not intended to interfere with or abrogate any easements, covenants, or other existing agreements which are more restrictive than the provisions of this plan. The Specific Plan is not intended to supersede any development agreement, entered into with the City of Victorville, if a conflict arises.

7. VALIDITY

If any section, subsection, sentence, clause, phrase, or portion of the Mesa Verde Specific Plan is for any reason held to be invalid by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portion of this plan.

B. GENERAL REGULATIONS

1. Terms used in these regulations shall have the same definitions as given in Title 18 of the Victorville Municipal Code titled "Zoning" and Title 17 of the Victorville Municipal Code titled "Subdivision".

2. Any details or issues not specifically covered in these regulations shall be subject to the regulations of the City of Victorville Municipal Code's Ordinances.

   It is specifically intended that adoption of the development regulations herein shall regulate all development within the Specific Plan area. Where specific standards and requirements are established by these regulations, they shall take precedence. Where sufficient direction for interpretation of these regulations is not explicit, the Victorville Municipal Code Zoning Ordinance and Victorville Municipal Code Subdivision Ordinance shall apply to all land use categories within the Specific Plan area.

3. Construction shall comply with applicable provisions of the Uniform Building Code as amended and the various other mechanical, electrical and plumbing codes related thereto.

4. Grading plans submitted for all projects in the Specific land area shall be based on the City of Victorville Grading Code and shall be accompanied by geological and soils engineer's reports which shall incorporate all pertinent recommendations. Grading will be permitted outside of the Specific Plan boundaries when it is consistent with an approved grading plan. If planning areas (parcels) are under different ownership, a letter of understanding will be required. Stockpile and borrow sites may be permitted

between planning areas scheduled for future development. Prior to the use of any ungraded site as a stockpile or borrow site, a biological survey shall be conducted by a qualified biologist to determine if the site contains occupied habitat for the desert tortoise (Gopherus agassizii). The result of said survey shall be filed with and reviewed by the City of Victorville prior to the issuance of a grading permit. All mitigation measures identified in the biological survey and/or by any City department related to the establishment of said site(s) shall be implementing prior to the establishment of any site.

5. Model homes and private recreation facilities may be used for the sale of homes within a recorded tract and subsequent tracts if approved as a Conditional Use per Chapter 18.74 of Title 18 of the Victorville Municipal Code entitled "Zoning". Also, a temporary or reusable facility (for recreational purposes) may be used for informational and/or sales of homes within the designated park area.

6. With respect to all residential development within the planned community, the developer will display a copy of the proposed Land Use Plan in all sales offices and will provide a copy of the plan to all buyers.

7. Dedication and improvements of all right-of-way shall meet with the approval of the City Engineer.

8. Dedication of park land shall be in conformance with the requirements of the City of Victorville.

9. A "Planning Area" is a homogenous area considered as an increment of the Specific Plan area and is specifically identified as a numbered area on the Specific Plan Land Use Map.

10. Conditional Use Permits shall be processed in the manner prescribed by Title 18 of the Victorville Municipal Code titled "Zoning".

11. Construction of required improvements that have improvement plans approved, by the City Engineer, can proceed prior to the recordation of the final map. All improvements that have been constructed and have been accepted by the City of Victorville will only be required to post a warranty bond for twenty (20) percent of the total improvement cost. Improvements that have not yet been accepted by the City of Victorville can be bonded at a reduced percentage based on the amount of work remaining as recommended by City staff.

12. PLANNING AREA BOUNDARIES

    a. Except as otherwise indicated, dimensions are measured from center line of major and secondary arterials and major collectors.

    b. Adjustments in the Planning Area boundaries should not exceed a cumulative total of 20% of the original size. These adjustments may result from final road alignments, geotechnical or engineering refinements to the parcel (lot), tentative and/or final tract map and shall not require an amendment to the Specific Plan where such adjustments are consistent with the intent of this Specific Plan and the City's General Plan.

    c. Boundaries are not dimensioned in the Specific Plan and shall be established by the parcel, tentative or final subdivision map.

13. All landscape and/or grading plans shall include provisions for temporary erosion control on all graded sites which are scheduled to remain unimproved during the rainy season.

14. The maximum number of dwelling units for each planning area is established on the Specific Plan Allocations Table 3, and permitted density ranges for each residential category are also specified. Development to a lower number of dwelling units, or to a lower density than that specified for a planning area may occur without requiring an amendment to this Specific Plan. No residential planning area established by the Specific Plan shall be further subdivided except for tentative tract purposes for residential lot development, which may include additional open space, including trails and paseo systems.

15. If any portion of these regulations is, for any reason, declared by a court of competent jurisdiction to be invalid or ineffective in whole or in part, such decision shall not affect the validity of the remaining portions thereof. The City Council hereby declares that

they would have enacted these regulations and each portions thereof irrespective of the fact that any one or more portions be declared invalid or ineffective.

16. Unless otherwise provided, any ambiguity concerning the content or application of this Specific Plan shall be resolved by the Director of Planning. The decision can be appealed to the Planning Commission, and then if necessary to the City Council.

17. Additional areas of open space, as well as trails and paseo systems not shown within the Specific Plan, but shown on Parcel and Tentative Tract Maps as in-tract open space (within Planning Area) shall be irrevocably offered for dedication to the City of Victorville prior to the recordation of any Final Map dividing land within the Mesa Verde Specific Plan. The addition of in-tract open space, trails, and paseo systems shall be deemed consistent with the Specific Plan, if approved by the City.

18. The following Conditional Uses shall be permitted in all planning areas if approved per Chapter 18.74 of Title 18 of the Victorville Municipal Code entitled "Zoning".

    a. Churches
    b. Schools
    c. Parks
    d. Day care centers

C. DEFINITIONS

Per Chapter 18.04 of Title 18 of the Victorville Municipal Code titled "Zoning" and Chapter 17.08 of Title 17 of the Victorville Municipal Code entitled Subdivision".

D. CHANGES IN THE SPECIFIC PLAN

1. ADMINISTRATIVE CHANGES

The following changes in the Specific Plan may be made without amending the plan per Chapter 18.58.070 of Title 18 of the Victorville Municipal Code entitled "Zoning".

a. The addition of new information to the Specific Plan maps or text for the purposes of clarification that does not change the effect or intent of any regulation.

b. Changes to the community infrastructure such as drainage systems, roads, water and sewer systems, etc., which do not have the effect of increasing or decreasing capacity in the project area beyond the specified maximum density range, and do not otherwise change the intent of any provision of this plan.

c. A "transfer" of acreage between Planning Areas, not to exceed ten percent (10%) of the acreage within the Planning Area in question.

d. An adjustment in any site development standard by not more than ten percent (10%) of that otherwise specified herein.

e. The Director of Planning shall have the duty to interpret the provisions of this Specific Plan. All such interpretations shall be reduced to written form and be permanently maintained. Any person adversely affected by such an interpretation may request that such interpretation be reviewed by the Planning Commission and then if necessary to the City Council.

f. Upon appeal to the Planning Commission of any decision of the Director of Planning made pursuant to this Section, the Planning Commission shall set the manner of hearing in a manner prescribed in Title 18 of the Victorville Municipal Code entitled "Zoning".

g. A "transfer" of dwelling units from one Planning Area to another Planning Area regardless of ownership and between residential classifications. Residential density can be transferred from one landowner to another by mutual agreement provided that other requirements set forth under the development regulations are met. Any transfer of dwelling units within Safety Area 2 cannot exceed 3 dwelling units per acre.

2. SPECIFIC PLAN AMENDMENTS

The following changes to the Specific Plan shall require an amendment to the Specific Plan:

a. Changes to the text or maps of the Specific Plan other than the addition of new information which does not change the effect or intent of any regulation.

b. Changes in the Specific Plan boundaries.

c. Increase in dwelling unit density beyond the maximum specified total project density range of 2962.

d. Changes in infrastructure which as drainage systems, roads, waste and sewer systems, etc., which have the effect of increasing or decreasing capacity beyond the specific density range in the project area.

e. Major changes in the designated alignment or location of the backbone infrastructure system.

f. Any other additions of deletions which may change the effect or intent of any regulation.

3.SPECIFIC PLAN PROVISIONS

Amendment Procedures

The procedures, as outlined in California Government Code Section 65500, are to be followed when adoption of an amendment to a Specific Plan is desired.

All proposed amendments to the specific Plan shall be processed and acted upon pursuant to Chapters 18.76 and 18.78 of the City of Victorville's Municipal Code Zoning Ordinance.

The standards presented below are separated into six categories. Roadways shall be in conformance with the circulation plan, roadway cross-sections and standards contained in the Circulation Component of the Specific Plan.

E. SITE-RELATED STANDARDS/LAND USE PROVISIONS

1. ESTABLISHMENT OF LAND USE DISTRICT

a. In order the carry out the objectives and policies of the Specific Plan, the planning area is divided into the following Base Land Use Districts:

Estate Residential Land Use (1-2 DU/AC)
Low Residential Land Use (2-5 DU/AC); (with Commercial Overlay)*
Medium Residential Land Use (4-6 DU/AC)
High Residential Land Use (20 DU/AC)
Commercial Land Use (with Residential Overlay)
Industrial Land Use (with Residential Overlay)
Park and Open Space Land Use

*Commercial Overlay applies only to a portion of Planning Area 15.

b. In addition, the following Overlay Districts are established:

1. Medium Residential Overlay District (4-5 DU/AC)
2. High Residential Overlay District (20 DU/AC)
3. Commercial Overlay District

F. RESIDENTIAL USES AND STANDARDS

1. General

a. As shown on Table 3, Specific Plan Allocations, the Mesa Verde Specific Plan has allocated certain residential densities to specific planning areas and residential densities to specific overlay districts.

b. Farms, ranches, and the keeping of livestock for either commercial or private use is not permitted. No horses shall be permitted within Mesa Verde.

c. General to allow detached residential areas: Patio covers, trellis: Open patio covers, trellis and beam construction shall be permitted to be free standing and/or attached to the residential (detached only) dwelling. Patio covers and/or

SPECIFIC PLAN ALLOCATIONS
TABLE 3

	Planning Area	Gross Acres	Total Units[1]	Comments
Residential Development:				
Low (2-5 D.U./AC)	4	43.9	219	w/Estate Residential Overlay (1-2 D.U./AC)
	6	25.5	127	
	11	21.8	56 (RFM)	
	12	19.1	48 (RFM)	
	14	27.7	138	
	15	43.7	218	w/Commercial/Office Overlay[3]
	18	30.9	154	
Medium (4-6 D.U./AC)	1	38.1	228	
	2	20.6	123	
	3	21.7	130	
	5	25.5	131 (RFM)	
	7	35.8	157 (RFM)	
	10	38.0	171 (RFM)	
	13	22.3	107 (RFM)	
	16	26.0	136 (RFM)	
	17	24.2	145	
	24	22.6	135	
High (20 D.U./AC)	19	16.4	328	w/Medium Residential Overlay (4-6 D.U./AC)
Sub-Total		503.8 AC	2751 DU	
Non-Residential Development:				
Elementary School Site	9	8.2		
Commercial/Office	20	18.7	112	
Commercial/Office	21	19.6	392	
Commercial/Office Industrial	23	10.2		
Industrial[4]	22	21.5	129	
Park/Village Open space	8	23.7		
Major Roads	46.9			
Sub-Total		148.8 AC	633 DU	
TOTAL		652.6 AC	3384 D.U.[2]	

*DU - Dwelling Units
[1]Note: Unit column is based on acres of Recorded Final Maps (RFM)
[2]Total sum of units shall be no more than the number of units (2962) approved for the Specific Plan. (SP-2-88, Ordinance No.: 1209)
[3]Commercial/Office Overlay applies only to the southern portion of Planning Area 15.
[4]Planning Area 22 consists of a Medium Residential Overlay (4-6 D.U./AC) on 21.5 AC

trellis may extend to either eight (8) feet from the rear property line and five (5) feet from the side yard property line as measured from the center line of the structural supports. Front yard setbacks shall exclude all structures. Detached patio covers and trellises may extend to within six (6) feet of any building structure, as regulated by the Uniform Building Code (UBC).

d. Where noise levels may exceed community standards for residential use, developers are required to utilize construction techniques to reduce interior noise levels within all habitable structures at or below 45 Ldn within Safety Areas 2 and 4. e. All development within Safety Area 2 and Safety Area 4 is subject to the recordation of a noise and avigation easement.

f. All development proposals to be reviewed by the City through the Site Plan process for Medium Attached and High Residential.

g. In any planning area proposed for residential purposes, Planned Unit Developments (PUD) may be allowed. The procedure for review and approval of those Planned Unit Developments shall be those procedures established in Titles 17 and 18 of the Victorville Municipal Code. No Site Plan Review shall be required for Planned Unit Developments within the adopted Specific Plan Boundaries.

h. Architectural features (bay windows) may project into the rear yard setback a maximum of four (4) feet provided the width of the feature does not exceed twenty-five (25) percent of the building width.

2. Estate Residential District

a. Purpose and Intent

The Estate Residential District is established to provide for development of single family detached homes and/or custom-residential lots. This density category permits a density range from one (1) to two (2) dwelling units per gross acre.

b. Permitted Uses

The following principal uses are permitted in the Estate Residential District.

1. Single-Family detached dwellings (one dwelling per lot).
2. Parks and open space areas, recreation centers and facilities, and trails.
3. Utilities facilities not subject to discretionary approval.
4. Uses and structures typically incidental or accessory to residential uses as specified in Chapter 18.66, Title 18 of the Victorville Municipal Code titled "Zoning".

c. Conditional Uses

The following principal uses are conditional in the Estate Residential District and shall be permitted only if approved pursuant to Chapter 18.74 of the Victorville Municipal Code entitled "Conditional Uses".

1. Utility facilities that are subject to discretionary review.
2. The following uses: Temporary structures and enclosures for use during construction activities and model homes, model home sale centers.

d. Accessory Uses

In addition to the general regulations governing accessory uses, the following specific limitations and special regulations shall apply to the Estate Residential.

1. Recreational vehicles can be stored on any lot provided that required off-street parking areas are not utilized and access thereto is not obstructed. No vehicles so stored shall be occupied.
2. The keeping of dogs, cats and birds shall be subject to the regulations set forth in the Victorville Municipal Code.
3. An accessory building may occupy part of a required rear yard and/or side yard along the interior side lot line. An accessory structure may be constructed to the property line of said rear and side yard provided that the roof system does not extend beyond the property line and shall meet all building code requirements.

4. No accessory building designated for use as servant's quarters or as a guest house shall contain any kitchen or cooking facility.
5. Home occupations shall be permitted as approved by the Planning Commission pursuant to Section 18.66.020.
6. Child care not to exceed the child limits of a large family day care as specified in Title 22 of the California Administrative Code and licensed by the California Department of Social Services.
7. Home school of not more than eight children, provided not more than six children are from outside of the resident family, shall be allowed.

e. Site Development Standards

When single-family detached subdivision and/or custom lots are implemented, the following standards apply:

1. Building site area: fifteen thousand (15,000) square feet minimum.
2. Building site width: one hundred (100) feet minimum; forty (40) feet minimum at cul-de-sacs, knuckles and exterior curves of local streets.
3. Building site depth: one hundred twenty (120) feet minimum.
4. Building height: thirty-five (35) feet maximum. No building shall have more than two and one-half stories.
5. Building site coverage: forty (40) percent maximum for all buildings on the site.
6. Yard requirements:
   a. Front yard: thirty (30) feet minimum.
   b. Side yard: ten (10) feet minimum.
   c. Rear yard: twenty-five (25) feet minimum.
   d. From any property line abutting on a street of a corner lot ten (10) feet minimum, subject to the exceptions set forth in Chapter 18.64.040, of Title 18 of the Victorville Municipal Code titled "Zoning".
   e. Projections into required yard setbacks: in compliance with Chapter 18.64.050 of Title 18 of the Victorville Municipal Code title "Zoning".
7. Garages: the placement or construction of garages shall comply with yard requirements for a main building. Detached garages may be placed or constructed any place within the required rear or interior side yard setback area.
8. Fences and walls: pursuant to Chapter 18.64 of Title 18 of the Victorville Municipal Code titled "Zoning".
9. Off-street parking in compliance with Chapter 18.60 of Title 18 of the Victorville Municipal Code entitled "Zoning". Two (2) spaces are required for each dwelling unit, and shall be within a fully enclosed garage.

3. Low Residential District

a. Purpose and Intent

The Low Residential District is intended to permit development of a range of residential units including single-family detached homes. This low density residential category permits a density range from two (2) to five (5) dwelling units per gross acre.

b. Permitted Uses

The following principal uses are permitted in the Low Residential District:

1. Single-family detached dwellings (one dwelling per lot).
2. Parks and open space areas, recreation centers and facilities, and trails.
3. Utility facilities not subject to discretionary approval.
4. Uses and structures typically incidental or accessory to residential uses as specified in Chapter 18.66, Title 18 of the Victorville Municipal Code titled "Zoning".

c. Conditional Uses

The following principal uses are conditional in the Low Residential District and shall be permitted only if approved pursuant to Chapter 18.74 of the Victorville Municipal Code entitled "Conditional Uses ".

1. Churches
2. Utility facilities that are subject to discretionary review.
3. Schools

4. The following uses: temporary structures and enclosures for use during construction activities and model homes, model homes sales centers.

d. Accessory Uses

In addition to the general regulations governing accessory uses, the following specific limitations and special regulations shall apply to the Low Residential.

1. Recreational Vehicles may be stored on any developed single family residential lot in compliance with Section 18.16.040(2) of the Victorville Municipal Code.
2. The keeping of dogs, cats and birds shall be subject to the regulations set forth in the Victorville Municipal Code.
3. An accessory building may occupy part of a required rear yard and/or side yard along the interior side lot line. An accessory structure may be constructed to the property line of said rear and side yard provided that the roof system does not extend beyond the property line and shall meet all building code requirements.
4. No accessory building designated for use as servant's quarters or as a guest house shall contain any kitchen or cooking facility.
5. Home occupations shall be permitted as approved by the Planning Commission pursuant to Section 18.66.020.
6. Child care not to exceed the child limits of a large family day care as specified in Title 22 of the California Administrative Code and licensed by the California Department of Social Services.
7. Home school of not more than eight children, provided not more than six children are from outside of the resident family, shall be allowed.

e. Site Development Standards

When single-family detached subdivision are implemented, the following standards apply:

1. Building site area: six thousand five hundred (6,500) square foot minimum.
2. Building site width: fifty (50) feet minimum and thirty (30) feet minimum at cul-de-sacs, knuckles and exterior curves of local streets.
3. Building site depth: one hundred (100) feet minimum.
4. Building height: thirty-five (35) feet maximum. No building shall have more than two and one-half stories.
5. Building site coverage: forty-five (45) percent maximum for all buildings on the site.
6. Yard requirements:
   a. Front yard: twenty (20) feet minimum. However, fifteen (15) feet minimum from the property line is allowed where the residence is closer to the street than the garage. A minimum setback of twenty-seven (27) feet from the face of curb to the garage door shall be required, whichever is greater; provided sectionalized doors are utilized.
   b. Side yard: five (5) feet minimum.
   c. Rear yard: fifteen (15) feet minimum.
   d. From any property line abutting on a street of a corner lot ten (10) feet minimum, subject to the exceptions set forth in Chapter 18.64.040, of Title 18 of the Victorville Municipal Code titled "Zoning".
   e. Projections into required yard setbacks: In compliance with Chapter 18.64.050 of Title 18 of the Victorville Municipal Code title "Yard".
7. Garages: the placement or construction of garages shall comply with yard requirements for a main building. Detached garages may be placed or constructed any place within the required rear or interior side yard setback area.
8. Fences and walls: pursuant to Chapter 18.64 of Title 18 of the Victorville Municipal Code titled "Zoning".
9. Off-street parking in compliance with Chapter 18.60 of Title 18 of the Victorville Municipal Code entitled "Zoning". Two (2) spaces are required for each dwelling unit, and shall be within a fully enclosed garage.

4. Medium Residential District

a. Purpose and Intent

The Medium Residential District is intended to allow for development of single family detached: patio home, garden homes, cottage homes and attached: duplex homes. The medium density residential category permits a density range of four (4) to six (6) dwelling units per gross acre.

b. Permitted Uses

The following principal uses are permitted in the Medium Residential District:

1. Single family dwellings (detached, one dwelling per lot or attached, two dwellings per lot).
2. Parks and open space areas, recreation centers and facilities, and trails.
3. Utility facilities not subject to discretionary approval.
4. Uses and structures typically incidental or accessory to permitted residential uses as specified in Chapter 18.66 in Title 18 of the Victorville Municipal Code titled "Zoning".

c. Conditional Uses

The following principal uses are conditional in the Medium Residential District and shall be permitted only if approved pursuant to Chapter 18.74 of the Victorville Municipal Code entitled "Conditional Uses ".

1. Churches
2. Community Club House
3. Utility facilities that are subject to discretionary review.
4. The following uses: temporary structures and enclosures for use during construction activities and model homes, model homes sales centers.

d. Accessory Uses

In addition to the general regulations governing accessory uses, the following specific limitations and special regulations shall apply to the Medium Residential.

1. Recreational Vehicles may be stored on any developed single family residential lot in compliance with Section 18.16.040(2) of the Victorville Municipal Code
2. The keeping of dogs, cats and birds shall be subject to the regulations set forth in the Victorville Municipal Code.
3. An accessory building may occupy part of a required rear yard and/or site yard along the interior side lot line. An accessory structure may be constructed to the property line of said rear and side yard provided that the roof system does not extend beyond the property line and shall meet all building code requirements.
4. No accessory building designated for use as servant's quarters or as a guest house shall contain any kitchen or cooking facility.
5. Home occupations shall be permitted as approved by the Planning Commission pursuant to Section 18.66.020.
6. Child care not to exceed the child limits of a large family day care as specified in Title 22 of the California Administrative Code and licensed by the California Department of Social Services.
7. Home school of not more than eight children, provided not more than six children are from outside of the resident family, shall be allowed.

e. Site Development Standards

1. Building site are:
   a. Detached: five thousand (5,000) square feet minimum.
   b. Attached: ten thousand (10,000) square feet minimum.
2. Building site width: detached: thirty-five (35) feet minimum.
3. Building site depth: ninety (90) feet minimum.
4. Building site height: thirty-five (35) feet maximum. No building shall have more than two and one-half (2-1/2) stories.

5. Building site coverage: fifty (50) percent maximum for all buildings on the site.
6. Yard requirements:
   a. Front yard: twenty (20) feet minimum. However, fifteen (15) feet minimum from the property line is allowed where the residence is closer to the street than the garage. A minimum setback of twenty-seven (27) feet from the face of curb to the garage door or eighteen (18) feet from the property line to the garage door shall be required, whichever is greater; provided sectionalized doors are utilized.
   b. Side yard: five (5) feet minimum.
   c. Rear yard: fifteen (15) feet minimum.
   d. From any property line abutting a street of a corner lot, ten (10) feet minimum, subject to the exceptions set forth in Chapter 18.64.040, Title 18 of the Victorville Municipal Code title "Zoning".
7. Garages: the placement or construction or garages shall comply with yard requirements for a main building. Detached garages may be placed or constructed any place within the required rear or interior side yard setback area.
8. Fences and Walls: pursuant to Chapter 18.64 of Title 18 of the Victorville Municipal Code titled "Zoning".
9. Off-street parking in compliance with Chapter 18.60 of Title 18 of the Victorville Municipal Code titled "Zoning". Two (2) spaces are required for each dwelling unit, and shall be within a fully enclosed garage.
10. Site Plan Requirement: only attached residential building sites within the Medium Residential shall require an approved Site Plan pursuant to Chapter 18.71 of Title 18 of the Victorville Municipal Code titled "Zoning", prior to securing a building permit.
11. Open Space: recreational living space for recreation and visual relief shall be provided for each attached Medium Residential unit at a standard two thousand (2000) square feet for each unit.

5. High Residential District

   a. Purpose and Intent

      The High Residential District is intended to allow for development of multiple family residences, townhomes, and condominiums. The High Residential category permits a maximum density of twenty (20) dwelling units per gross acre.

   b. Permitted Uses

      The following principle uses are permitted in the High Residential.

      1. Multiple family dwellings including, but not limited to, residential condominium projects, or residential stock cooperatives.
      2. Apartment projects.
      3. Parks and open space areas, recreation centers and facilities, and trails.
      4. Utility and facilities not subject to discretionary approval.
      5. Uses and structures typically incidental or accessory to permitted residential uses.

   c. Conditional Uses

      The following principal uses are conditional in the High Residential District and shall be permitted only if approved pursuant to Chapter 18.74 of the Victorville Municipal Code entitled "Conditional Uses".

      1. Utility facilities that are subject to discretionary review.

   d. Accessory Uses

      In addition to the general regulation governing accessory uses, the following specific limitations and special regulations shall apply to the High Residential.

      1. The keeping of dogs, cats and birds shall be subject to the regulations set forth in the Victorville Municipal Code.

2. An accessory building may occupy part of a required rear yard and/or side yard along the interior side lot line. An accessory structure may be constructed to the property line of said read and side yard provided that the roof system does not extend beyond the property line and shall meet all building code requirements.
3. Home occupations shall be permitted as approved by the Planning Commission pursuant to Section 18.66.020.
4. A micro-mini mart which provides limited consumer products for sale to residents shall be allowed within multiple family residential developments if approved pursuant to Chapter 18.74 of the Victorville Municipal Code, entitled "Conditional Uses."

e. Site Development Standards

1. Building site area: ten thousand (10,000) square feet minimum.
2. Land area per unit: one thousand six hundred (1,600) square feet minimum.
3. Building site width: seventh (70) feet minimum.
4. Building height: thirty-five (35) feet maximum. No building shall have more than two and one-half (2-1/2) stories.
5. Building site coverage: fifty (50) percent maximum.
6. Yard Requirements:
   a. Front yard: fifteen (15) feet minimum
   b. Between buildings: ten (10) feet minimum between residential buildings within a project(s). Width of side yard along the interior lot line, five (5) feet minimum.
   c. Rear yard: fifteen (15) feet minimum.
   d. From any property line abutting a street of a corner lot ten (10) feet minimum, subject to the exceptions set forth in Chapter 18.64.040, Title 18 of the Victorville Municipal Code titled "Zoning".
7. Fences and walls shall comply with Chapter 18.64 of Title 18 of the Victorville Municipal Code titled "Zoning".
8. Off-street parking: in compliance with Section 18.60 of Title 18 of the Victorville Municipal Code titled "Zoning".
9. Site Plan requirement: all building sites within the High Residential shall require an approved site plan pursuant to Chapter 18.71 prior to securing a building permit.
10. No recreational vehicles unless in an approved storage area.
11. Open space: recreational living space for recreation, common open space and visual relief shall be provided for each residential unit at a standard three hundred fifty (350) square feet.
12. Trash Enclosures: in compliance with Chapter 18.58.120 of Title 18 of the Victorville Municipal Code titled "Zoning".

G. COMMERCIAL USES AND STANDARDS

1. General

   a. All development plans to be reviewed by the City pursuant to Chapter 18.71 of the Victorville Municipal code titled "Site Plan".

2. General Commercial District

   a. Purpose and Intent

      The purpose of these provisions is to regulate the design and development of projects of a commercial nature in the designated Specific Plan area. It is also the intent of this section to permit a variety of compatible uses and facilities supportive of the residential uses within the Specific Plan area and of the general community.

   b. Permitted Uses

      All uses shall be conducted within a completely enclosed building, however, the open storage of materials, products and equipment is allowed if approved pursuant to Chapter 18.74 of Title 18 of the Victorville Municipal Code titled "Conditional Uses".

      The following principal uses are permitted in the General Commercial District.

      1. Any and all uses in this zone district providing drive-thru service shall be approved by the director of planning, excepting those adjacent to residential zones.

2. Any uses permitted in the C-1 District;
3. Any uses permitted in the C-A District;
4. Hotels and motels;
5. Office buildings, business and professional;
6. Retail stores as follows:
   a. Antique stores
   b. Automobile, motorcycle, boat and trailer sales and service, provided that repair work will be conducted wholly within a building
   c. Art shops
   d. Audio and video equipment and supplies
   e. Auto parts stores (new parts only)
   f. Bar and cocktail lounges
   g. Bookstores
   h. Clothing stores, including specialty shops
   i. Cosmetic stores
   j. Crafts shops, including stained glass studios and the operation of kilns (gas and/or electric), provided that the kilns not exceed ten (10) cubic feet each in volume nor shall they exceed two (2) in number
   k. Florists
   l. Gift shops
   m. Hobby shops
   n. Home furnishing stores, interior decorators
   o. Household appliances, sales and service
   p. Ice cream parlors and soda fountains
   q. Leather goods stores
   r. Music stores
   s. Novelty shops
   t. Paint stores
   u. Pet shops or taxidermists
   v. Photography equipment and supplies
   w. Picture framing shops
   x. Sporting goods stores
   y. Toy stores
   z. Weaving and knitting shops.
7. Services, as follows:
   a. Automobile and equipment rental agencies (no trucks over two and one-half tons or heavy equipment)
   b. Banks and financial institutions
   c. Billiard halls and bowling alleys or other similar indoor amusement facilities
   d. Blueprinting and photostating
   e. Business schools or private schools operated as a commercial enterprise
   f. Cleaning and pressing establishments
   g. Heating and air conditioning retail and service
   h. Laundries
   i. Locksmith shops
   j. Medical and dental laboratories
   k. Museums
   l. Repair shop for clothing, household appliances, jewelry, shoes
   m. Restaurants, cafes or coffee shops, with or without entertainment and/or liquor and/or alcoholic beverages being sold or dispensed on the premises
   n. Ticket agencies
   o. Travel agencies
8. Wholesaling, providing the maximum floor area does not exceed six thousand (6,000) square feet;
9. Other uses similar to the above if approved by the Planning Commission.

c. Conditional Uses

The following principal uses are conditional in the General Commercial District and shall be permitted only if approved pursuant to Chapter 18.74 of the Victorville Municipal Code entitled "Conditional Uses".

1. Any uses enumerated in this Zone District providing drive-thru service adjacent to residential zones.
2. Any uses enumerated in the Zone District selling alcoholic beverages for either on-premise of off-premise consumption within 300 feet of a residence within a residential zone measured from a property line; and/or when a finding recommending to the Department of Alcoholic Beverage Control that public convenience or necessity will be served by the alcoholic beverage sale is needed consistent with Business and Professions Code Section 23958.4, and required by Section 18.58.190 entitled "Finding of Public convenience or Necessity";
3. Animal hospital or veterinary clinic;

4. Assembly uses, i.e. churches, clubs, social halls, lodges and theaters
5. Automatic and self service car wash;
6. Automobile service station;
7. Retail fuel dispensing facility;
8. Day nurseries/day care centers;
9 Self service storage facilities;
10. Public services, I.e., fire station

d. Special Regulations: all permitted and conditional uses and incidental to those uses and accessory buildings when located on the same lot, within the district shall be subject to Chapter 18.30.040 in Title 18 of the Victorville Municipal Code titled "Zoning".

e. Property Development Standards

Commercial property development shall be implemented through Site Plan Review procedures, within Title 18 of the Victorville Municipal Code. Any standard set forth within the Specific Plan shall be used as a benchmark by which to evaluate Site Plan applications.

H. INDUSTRIAL USES AND STANDARDS

1. General

a. All development plans to be reviewed by the City pursuant to Chapter 18.71 of the Victorville Municipal code titled "Site Plan".

2. Industrial Park District

a. Purpose and Intent

The purpose of these provisions is to regulate the design and development of industrial projects within the designated Specific Plan area. The Industrial Park District is intended to provide and encourage the grouping together of light industrial uses that can maintain high standards as to the appearance of the building and the treatment of the land about them. These regulations permit uses generally characterized as light industrial in nature: manufacturing, warehousing, and service industries. These uses are to be operated so that they are not detrimental to adjacent commercial and residential uses.

b. Permitted Uses

The following principal uses are permitted in the Industrial Park District.

1. Administrative office for any of the following uses on the same site in conjunction with and subordinate to:
2. Assembly plants and facilities;
3. Manufacturing plants and facilities;
4. Research laboratories and facilities;
5. Product development facilities;
6. Testing laboratories and facilities;
7. Service industries including the following:
   a. Repair, maintenance or servicing of applicant, component parts, etc.
   b. Tooling and small machine shops
   c. Testing shops
   d. Photofinishing and photographic processing facilities
   e. Blueprinting, reproduction and copying services, publishing, printing, photo engraving and bookbinding
8. Industries engaged in distribution, storage and warehousing;
9. Wholesale businesses;
10. Storage facilities, including but not limited to the following:
    a. Boat storage
    b. Recreation vehicle storage
    c. Mini-warehouse, self service storage facilities. All uses shall be conducted entirely within the confines of a structure, i.e., building, fenced area.
11. Other uses similar to the above if approved by the Planning Commission.

c. Conditional Uses

The following principal uses are conditional in the Industrial Park District and shall be permitted only if approved pursuant

to Chapter 18.74 of the Victorville Municipal Code entitled "Conditional Uses".

1. Any and all uses enumerated in this District selling alcoholic beverages for either on-premise or off-premise consumption within 300 feet of a residence within a residential zone measured from property lines; and/or when a finding recommending to the Department of Alcoholic Beverage Control that public convenience or necessity will be served by the alcoholic beverage sale is needed consistent with Business and Professions Code Section 23958.4, and required by Section 18.58.190 entitled "Finding of Public Convenience of Necessity";
2. Business, professional or administrative offices;
3. Parking lot or parking structures;
4. Recycling centers (collection only);
5. Restaurant or retail store necessary to serve the needs of occupants of this Industrial Park District;
6. Other uses similar to above if approved by the Planning Commission.

d. Accessory Uses

Accessory uses including but not limited to a single dwelling unit for occupancy by a caretaker or watchman and limited outdoor storage when screened.

e. Property Development Standards

Industrial property development shall be implemented through Site Plan Review procedures within Title 18 of the Victorville Municipal Code. Any standard set forth within this Specific Plan shall be used as a benchmark by which to evaluate Site Plan applications.

I. PARK/OPEN SPACE USES AND STANDARDS

a. Purpose and Intent

Land designated for parks and open space is intended to provide for active and passive recreation, buffer, trail linkages and preservation of natural landforms and features.

b. Permitted Uses

The following principal uses are permitted in the Park/Open Space District.

1. Parks/Playgrounds, Outdoor Recreation
2. Trails, Greenbelt
3. Watershed, Drainage Swales
4. Pump Stations
5. Restrooms

c. Conditional Uses

The following principal uses are conditional in the Park/Open Space District and shall be permitted only if approved pursuant to Chapter 18.74 of the Victorville Municipal Code entitled "Conditional Uses ".

1. Fire Station

d. Site Development Standards

Park and open space development shall be implemented through the Site Plan Review procedures within Title 18 of the Victorville Municipal Code. Any standard set forth within this Specific Plan shall be used as a benchmark by which to evaluate Site Plan applications.

J. OVERLAY DISTRICT

1. Residential/Commercial Overlay District

The purpose of the Residential/Commercial Overlay District provides development flexibility to meet market demands of residential uses adjacent to Highway 395 and commercial uses

adjacent to Bear Valley Road, provided that design and use reviews are established to avoid detrimental effects on the character of the community. It is also intended to provide for residential uses if both the School Planning Areas are not developed as school sites. All residential development within the Overlay District shall meet the standards and regulations of the applicable Residential Land Use District within Section F (Residential Uses and Standards) and the standards and regulations of the applicable Commercial Land Use District within Section G (Commercial Uses and Standards) of this document as shown on Exhibit 8, Land Use.

Implementation

Introduction

The Mesa Verde Specific Plan shall be implemented through Parcel Tentative Tract and Final Maps pursuant to Title 17 of the Victorville Municipal code entitled "Subdivision" and Site Plan Review procedures pursuant to Chapter 18.71 of the Title 18 of the Victorville Municipal Code entitled "Zoning". The review procedures and requirements associated with each are specified below.

The Parcel Map, Tentative Tract Map and Site Plan review procedures are used to accomplish the objective of providing a logical and timely sequence of community and governmental review and input. The purpose of the Parcel Map, Tentative Tract Map is to provide a method and procedure to analyze and evaluate the significant features within Mesa Verde, to assure compliance with the provisions contained within this Specific Plan. The purpose of the Site Plan Review is to establish the procedure of review of any attached, multi-family residential and any non-single family residential development. The Site Plan Review is also intended to assess on an on-going basis any impacts of this development project on the surrounding community.

A. GENERAL PROVISIONS

1. TRANSFERS OF DWELLING UNITS/RESIDENTIAL OVERLAY

Transfers of dwelling units between parcels and the residential overlay areas within Mesa Verde shall be permitted, and shall be subject to review and approval by the Planning Commission. The following findings shall be made in administering such transfers and residential overlay:

a. The total number of dwelling units within Mesa Verde does not exceed 2,962.

b. The total number of dwelling units within Safety Area 2 does not exceed three (3) dwelling units per acre (refer to Exhibit 6).

c. The proposal is consistent with the criteria specified in the Specific Plan.

d. There are no material impacts to the Mesa Verde circulation system of a nature which would necessitate amendments to the roadway cross sections.

e. There are no material impacts to surrounding planning areas, beyond those previously identified as part of this Specific Plan.

f. The transfer and/or residential overlay in question complies with all other provisions of this Specific Plan, except as noted above, and the resultant densities are consistent with the overall character of development envisioned as part of this Specific Plan.

B. LAND DIVISION REVIEW PROCEDURES

The Mesa Verde Specific Plan shall be implemented through the Parcel Map, the Tentative Tract Map, and Site Plan Review process as noted herein.

1. PARCEL MAP

A Parcel Map is intended for parcelization and financing purposes, addresses only large parcels and is not intended for construction purposes. Conditions of approval for this Specific Plan, or any other plan or program, may not apply to this map. The Parcel Map submittal shall meet all requirements stipulated by the Subdivision Map Act and Title 17 of the Victorville Municipal Code entitled "Subdivision".

2. TENTATIVE TRACT MAP

A Tentative Tract Map, as applicable, shall be filed for all projects within Mesa Verde, subject to the provisions as stipulated in Chapters 17.04 through 17.108 et seq. of the Victorville Municipal Code Subdivision Ordinance. After map approval, the final map may be recorded and building permits may be issued. This process may include the parcelization of large tracts or lots for future use as residential development or cluster residential development site. Submittal requirements shall be as specified in the Victorville Municipal Code.

C. PARCEL/TENTATIVE TRACT MAP REVIEW REQUIREMENTS

1. GENERAL PROVISIONS

Parcel and Tentative Tract Maps, and their review shall comply with the review requirements established in Title 17 of the Victorville Municipal Code entitled "Subdivision". It is intended that Preliminary Plans include plans, programs, and other documentation and information per Chapter 17.61 of the Victorville Municipal Code entitled "Subdivision" necessary to implement the provisions of this Specific Plan. Such information may be beyond the typical requirements for submittal of a Tentative Tract Map, as specified in Chapter 17.20 of the City's Subdivision Code.

A Parcel Map or Large Lot Tentative Tract Map may be processed when it is solely intended to be used for parcelization and/or financial purposes, and is not intended for construction purposes.

2. PARCEL/TENTATIVE TRACT MAP SUBMITTAL

A Parcel or Tentative Tract Map, as applicable, shall be filed for all projects within "Mesa Verde" subject to the provisions as stipulated in the Victorville Municipal Codes.

Project data may be submitted as a port of a Preliminary Plan review process per Chapter 17.16 of Title 17 of the Victorville Municipal Code entitled "Subdivision". After map approval, the Final Map may be recorded and building permits may be issued.

3. PARCEL/TENTATIVE TRACT MAP REVIEW PROCEDURES

The Parcel/Tentative Tract Map review process involves two steps: the pre-application conference and Tentative Tract Map submission review and approval.

a. Preapplication Conference

This is intended to provide the Planning Department with knowledge about the developer's intent and to provide the developer an understanding of what is required to develop under the Mesa Verde Specific Plan. There are no particular requirements for submission of materials and plans by a developer at a preapplication conference. However, the more information the developer has, the more response he may get from the conference. Staff shall explain all relevant City Ordinances and Codes which related to the Specific Plan.

Another function of the preapplication conference is to determine levels of information necessary to implement satisfactorily all provisions of this Specific Plan. Further, submittal and review schedules, meeting statutory, staff and workload requirements, shall also be established as part of the preapplication conference.

The Director of Planning may choose to form a preapplication conference team which routinely conducts this function. This team may include members of the planning staff, and others from related departments such as engineering, public works, traffic, police and fire, and the City Manager's office.

b. Parcel/Tentative Tract Map Submission

All Parcel/Tentative Tract Map review requirements contained in City of Victorville Municipal Code Chapter 17.04 through 17.108, Subdivisions, shall apply upon formal submittal of a Parcel/Tentative Tract Map.

A development plan may be required as part of the Tentative Tract approval process and as contained in Chapter 17.23 of the City of Victorville Municipal Code entitled "Subdivision".

D. SITE PLAN REVIEW REQUIREMENTS

1. GENERAL PROVISIONS

The purpose of the Site Plan Review process is to provide for review of detailed final plans for apartments, town homes, condominiums, and non-residential development within the Mesa Verde Specific Plan area. This process assures that projects will be planned, established, and maintained in a manner that will be compatible with surrounding uses. It is further intended to assure compliance with all provisions of this Specific Plan. No development construction, other than minor repairs which do not alter the physical or architectural characteristics of a structure shall be undertaken unless a site plan and related documents have been submitted to and approved by the City of Victorville is accordance with its established review procedures.

2. SITE PLAN SUBMITTAL

Project data may be submitted in conjunction within a Site Plan application. The exact format, content and order of project data shall be determined in consultation with the City of Victorville prior to submittal and as outlined within the Victorville Municipal Codes.

3. SITE PLAN REVIEW PROCEDURES

All Site Plans shall be submitted, reviewed and approved pursuant to Chapter 18.71 of Title 18 of the Victorville Municipal Code entitled "Site Plan".

The Site Plan Review process involves two steps: the pre-application conference, and Site Plan submission for staff review. These are described further below.

a. Pre-Application Conference

Those procedures specified in Section C-2-a, herein, shall apply.

b. Site Plan Submission for Staff Review

Those procedures are established by the City for review of site plans shall apply (Chapter 18.71 Zoning).

E. ENFORCEMENT

Enforcement of these provisions shall be as stated below:

1. The Director of Planning shall have the duty to enforce the provisions of this Specific Plan.

2. Any use of a building or structure hereafter erected, built, maintained or used contrary to provisions of this Specific Plan, is a public nuisance.

3. Any person violating any provisions of this Specific Plan is guilty of a misdemeanor.

4. The Director of Planning shall have the duty to interpret the provisions of this Specific Plan where noted herein. All such interpretations shall be reduced to written form and be permanently maintained. Any person aggrieved by the Director of Planning's interpretation may appeal that interpretation to the Planning Commission and if necessary to the City Council.

5. Unless otherwise specified all development within the Mesa Verde Specific Plan shall comply with the City of Victorville Municipal Codes. Terms used herein shall have the same meaning as defined in the City of Victorville Municipal Codes unless otherwise defined herein.

6. Any details or issues not specifically covered by this Specific Plan shall be subject to the regulations of the City of Victorville Municipal Codes.

7. All construction within the boundaries of the Specific Plan shall comply with all provisions of the Uniform Building Code and the various mechanical, electrical, plumbing, fire and security codes adopted by the City of Victorville.

8. If any regulation, condition, program or portion thereof of the Specific Plan is for any reason held invalid or unconstitutional by

a court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision and the invalidity of such provision shall not affect the validity of the remaining provisions hereof.

H. COMMUNITY FACILITIES AND OPEN SPACE: CONSTRUCTION AND MAINTENANCE

Generally, the maintenance of all facilities designed for community wide public use such as parks, paseos, parkways and roadside planting belts will be funded through the creation of assessment districts and/or other methods. Facilities that are within detached or attached residential projects that are intended for residents of that project may be maintained by a homeowners association. Land belonging to other private, public and quasi-public agencies will be maintained by those landowners.

The areas identified in Exhibit 9, and discussed within the specific Plan which deal with open space, as well as trails and paseo system, shall be irrevocably offered for dedication to the City of Victorville prior to the recordation of any parcel or final map dividing land contained within the Mesa Verde Specific Plan.

MESA VERDE

APPENDIX

Appendix A - Legal Description/Assessor's Parcel Numbers

REFER TO CITY OF VICTORVILLE PLANNING APPLICATION