

**SOUTHERN CALIFORNIA
LOGISTICS RAIL AUTHORITY
AGENDA**

REGULAR MEETING
DECEMBER 19, 2006
7:00 P.M.

MOJAVE DESERT AIR QUALITY
MANAGEMENT DISTRICT - BOARDROOM
14306 PARK AVENUE
www.ci.victorville.ca.us

NOTICE TO THE PUBLIC: PERSONS WHO WISH TO ADDRESS THE
AUTHORITY ON AN AGENDA ITEM ARE REQUESTED TO COMPLETE ONE
OF THE **WHITE CARDS** WHICH HAVE BEEN PLACED ON THE AGENDA
STAND IN THE COUNCIL CHAMBERS LOBBY AND GIVE IT TO THE BOARD
SECRETARY FOR THE RECORD

ANY INDIVIDUAL WITH A DISABILITY WHO REQUIRES REASONABLE
ACCOMMODATION TO PARTICIPATE IN A SCLRA MEETING MAY REQUEST
ASSISTANCE AND/OR RECEIVE THE AGENDA IN AN ALTERNATIVE
FORMAT BY CONTACTING THE VICTORVILLE CITY CLERK'S OFFICE
(760) 955-5026 NO LATER THAN 72 HOURS PRIOR TO THE MEETING

CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

PUBLIC COMMENT

1. PUBLIC COMMENT ON ITEMS OF INTEREST TO THE PUBLIC

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AGENDA ITEM

SCLRA REGULAR MEETING
MEETING OF: DECEMBER 19, 2006

SUBMITTED BY: Carolee Bates
Authority Secretary

DATE: 12/12/06

SUBJECT: PUBLIC COMMENT ON ITEMS OF INTEREST TO THE PUBLIC

RECOMMENDATION: N/A

FISCAL IMPACT: N/A

Budget Amount:
Budget Acct. No.:

--Finance Department Use Only--
Additional Appropriation:

No
 Yes/\$ Amt.:

Finance Director Review and Approval _____

DISCUSSION: State law requires that each agenda of a governing body provide an opportunity for members of the public to address the legislative body on items of interest to the public within the body's subject matter of jurisdiction.

Accordingly, this item has been placed on the agenda to afford an opportunity for public comment at this time.

CB/dl

SOUTHERN CALIFORNIA LOGISTICS AIRPORT AUTHORITY
18374 PHANTOM, VICTORVILLE, CA 92394
TEL 760.246.6115 FAX 760.246.3108
www.logisticsairport.com

M U L T I M O D A L • A I R C A R G O • R A I L • G R O U N D • P O R T

Public Comment
#1
12-19-06

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**SOUTHERN CALIFORNIA LOGISTICS
AIRPORT AUTHORITY AGENDA**

REGULAR MEETING
DECEMBER 19, 2006
7:00 P.M.

MOJAVE DESERT AIR QUALITY
MANAGEMENT DISTRICT - BOARDROOM
14306 PARK AVENUE
www.ci.victorville.ca.us

THE SOUTHERN CALIFORNIA LOGISTICS AIRPORT
AUTHORITY MEETING IS SCHEDULED TO
BEGIN AT 7 P.M. OR AS SOON THEREAFTER AS POSSIBLE
UPON THE CONCLUSION OF THE MEETING OF THE
SOUTHERN CALIFORNIA LOGISTICS RAIL AUTHORITY

ANY INDIVIDUAL WITH A DISABILITY WHO REQUIRES REASONABLE
ACCOMMODATION TO PARTICIPATE IN A SCLAA MEETING MAY REQUEST
ASSISTANCE AND/OR RECEIVE THE AGENDA IN AN ALTERNATIVE
FORMAT BY CONTACTING THE VICTORVILLE CITY CLERK'S OFFICE
(760) 955-5026 NO LATER THAN 72 HOURS PRIOR TO THE MEETING

CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

PUBLIC COMMENT

1. PUBLIC COMMENT ON ITEMS OF INTEREST TO THE PUBLIC

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AGENDA ITEM

SCLAA REGULAR MEETING
MEETING OF: DECEMBER 19, 2006

SUBMITTED BY: Carolee Bates
Authority Secretary

DATE: 12/12/06

SUBJECT: PUBLIC COMMENT ON ITEMS OF INTEREST TO THE PUBLIC

RECOMMENDATION: N/A

FISCAL IMPACT: N/A

Budget Amount:
Budget Acct. No.:

--Finance Department Use Only--
Additional Appropriation:

No
 Yes/\$ Amt.:

Finance Director Review and Approval _____

DISCUSSION: State law requires that each agenda of a governing body provide an opportunity for members of the public to address the legislative body on items of interest to the public within the body's subject matter of jurisdiction.

Accordingly, this item has been placed on the agenda to afford an opportunity for public comment at this time.

CB/dl

SOUTHERN CALIFORNIA LOGISTICS AIRPORT AUTHORITY
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12-19-06

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**VICTORVILLE REDEVELOPMENT AGENCY
AGENDA**

REGULAR MEETING
DECEMBER 19, 2006
7:00 P.M.

MOJAVE DESERT AIR QUALITY
MANAGEMENT DISTRICT - BOARDROOM
14306 PARK AVENUE
www.ci.victorville.ca.us

THE REDEVELOPMENT AGENCY MEETING IS SCHEDULED TO BEGIN AT
7:00 P.M. OR AS SOON THEREAFTER AS POSSIBLE UPON THE
CONCLUSION OF THE MEETING OF THE SOUTHERN CALIFORNIA
LOGISTICS AIRPORT AUTHORITY

ANY INDIVIDUAL WITH A DISABILITY WHO REQUIRES REASONABLE
ACCOMMODATION TO PARTICIPATE IN A RDA MEETING MAY REQUEST
ASSISTANCE AND/OR RECEIVE THE AGENDA IN AN ALTERNATIVE FORMAT BY
CONTACTING THE VICTORVILLE CITY CLERK'S OFFICE (760) 955-5026 NO
LATER THAN 72 HOURS PRIOR TO THE MEETING

CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

PUBLIC COMMENT

1. PUBLIC COMMENT ON ITEMS OF INTEREST TO THE PUBLIC

CONSENT CALENDAR

2. PRESENTATION OF REQUEST TO APPROVE THE ANNUAL STATEMENT OF
ACTIVITIES FOR FISCAL YEAR 2005-2006 – BEAR VALLEY ROAD / HOOK
ROAD / OLD TOWN / MIDTOWN / VVEDA

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VICTORVILLE
California

AGENDA ITEM

RDA REGULAR MEETING
MEETING OF: DECEMBER 19, 2006

SUBMITTED BY: Carolee Bates
Agency Secretary

DATE: 12/12/06

SUBJECT: PUBLIC COMMENT ON ITEMS OF INTEREST TO THE PUBLIC

RECOMMENDATION: N/A

FISCAL IMPACT: N/A
Budget Amount:
Budget Acct. No.:

--Finance Department Use Only--
Additional Appropriation:

___ No
___ Yes/\$ Amt.:

Finance Director Review and Approval ___

DISCUSSION: State law requires that each agenda of a governing body provide an opportunity for members of the public to address the legislative body on items of interest to the public within the body's subject matter of jurisdiction.

Accordingly, this item has been placed on the agenda to afford an opportunity for public comment at this time.

CB/dl

CITY OF VICTORVILLE
14343 Civic Drive • Victorville, CA 92392 • 760.955.5032 760.955.5042 Fax

A WORLD OF OPPORTUNITY

Public Comment
#1
12-19-06

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VICTORVILLE

California

VICTORVILLE REDEVELOPMENT AGENCY
BOARD OF DIRECTORS MEETING
OF: December 19, 2006

SUBMITTED BY: Keith C. Metzler  DATE: December 11, 2006
Director of Economic Development

SUBJECT: Annual Statement of Activities for Fiscal Year 2005-2006
Bear Valley Road/Hook Road/Old Town/Midtown/VVEDA

RECOMMENDATION: That Your Honorable Board approve for filing.

FISCAL IMPACT: None

--FINANCE DEPARTMENT USE ONLY--

Budget: \$

Budget Account No.:

Additional Appropriation:

No _____

Yes \$ _____

Approved _____

DISCUSSION: Annually, the Redevelopment Agency is required, pursuant to Section 33080.1 of the California Health & Safety Code, to present an annual report to its legislative body containing, among other things, a description of the Agency's activities in the previous fiscal year that assists the Redevelopment Agency in meeting its overall goals and objectives.

Attached hereto, for your review, is a Statement of Activities combining activities for the Bear Valley Road, Hook Road, and Old Town/Midtown Project Areas, and Victorville's portion of the VVEDA Project Area.

This item is provided for informational purposes.

KCM:slg

Attachments: Statement of Activities for Fiscal Year 2005-2006

\\citynas\SharedDocuments\EconomicDevelopment\VVRDA\Bear Valley Project Area\Annual Reports\Staff Report.StmtActivities FY 05-06.BVR.doc

CITY OF VICTORVILLE
14343 Civic Drive • Victorville, CA 92392 • 760.955.5032 760.955.5042 Fax

A WORLD OF OPPORTUNITY

Consent
#2
12-19-06

Victorville Redevelopment Agency
Statement of Activities

BEAR VALLEY ROAD
HOOK BOULEVARD
OLD TOWN/MIDTOWN
&
VICTOR VALLEY ECONOMIC DEVELOPMENT AUTHORITY (VVEDA)
REDEVELOPMENT PROJECT AREAS
2004-2005 FISCAL YEAR

Victorville City Hall
14343 Civic Drive
Victorville, CA 92392
(760) 955-5032
www.victorvillecity.com

Purpose:

Section 33080.1 of the California Health and Safety Code (H&SC) requires every Redevelopment Agency throughout the State of California to present an annual report to its legislative body within six months from the end of the agency's fiscal year. The annual report is required to contain, among other things, (1) a description of the Agency's activities in the previous fiscal year affecting housing and displacement that contains the information required by H&SC Sections 33080.4 and 33080.7; (2) a description of the Agency's progress, including activities and expenditures, in alleviating blight in the previous fiscal year, (3) a list of, and status report on, all loans made by the Redevelopment Agency that are fifty thousand dollars (\$50,000) or more, that in the previous fiscal year were in default, or not in compliance with the terms of the loan approved by the Redevelopment Agency; (4) a description of the total number and nature of the properties that the Agency owns and those properties the Agency has acquired in the previous fiscal year; and, (5) any other information that the Agency believes useful to explain its programs, including, but not limited to, the number of jobs created and lost in the previous fiscal year as a result of its activities.

Finally, H&SC Section 33080.7 requires this description of the Agency's activities shall identify the amount of excess surplus, as defined in Section 33334.10, which has accumulated in the Agency's Low and Moderate Income Housing Fund. Of the total excess surplus, the description shall also identify the amount that has accrued to the Low and Moderate Income Housing Fund during each fiscal year. This component of the annual report shall also include any plan required for reporting by subdivision (c) of Section 33334.10 (descriptions of the housing fund will be found within the Statement of Indebtedness and the Financial Statement).

Mission Statement

The mission of the Victorville Redevelopment Agency is to eliminate conditions of blight by promoting and providing affordable housing to households with low to moderate incomes, encourage opportunities to new and expanding commercial and industrial businesses, promote the regional attributes of the Victor Valley and to dedicate

resources necessary to successfully redevelop Southern California Logistics Airport (SCLA).

Bear Valley Road Redevelopment Project Area

The Victorville Redevelopment Agency, by adopting Ordinance Number 800 establishing the Bear Valley Road Redevelopment Project Area, was formed in December of 1981. The First Amendment to the Bear Valley Road Redevelopment Project Area took place in December 1985 (Ordinance Number 1049) adding the Hook Boulevard sub-area. The Second Amendment took place in December 1988 (Ordinance Number 1279) rezoning certain industrial and residentially zoned property to commercial uses and imposing certain affordability covenants to the development of residentially zoned property. The Project Area's Third Amendment took place in February 1993 (Ordinance Number 1620) establishing time limits for incurring debt. On April 19, 1994, the City Council adopted Ordinance No. 1703, which amended the Redevelopment Plan (Fourth Amendment) pursuant to Health and Safety Code 33333.6. This Amendment established new and separate time limits for the Bear Valley Road Project Area and the Hook Road Interchange Subarea. On February 21, 2006, the City Council adopted Ordinance No. 2136, and Ordinance No. 2137; both ordinances amended the Bear Valley Road Redevelopment Plan pursuant to Health and Safety Code Section 33333.6(e)(2) [Senate Bill 211]. The Fifth Amendment, Ordinance No. 2136, rescinded the time limit to incur debt for the Bear Valley Road Project Area and the Hook Boulevard Interchange Subarea. Amendment Sixth, Ordinance No. 2137, provided a one-year extension to the plan life and to the time frame to collect tax increment revenue for the Bear Valley Road Project Area and the Hook Boulevard Interchange Subarea. On March 21, 2006 City Council adopted Ordinance No. 2139 amending the Bear Valley Road Redevelopment Plan pursuant to Health and Safety Code Section 33333.6(e)(2)(D) [Senate Bill 1096]. The Seventh Amendment provided a two-year extension to the plan life for the Bear Valley Road Project Area and a one-year extension to the plan life for the Hook Boulevard Interchange Subarea.

Since the Project Area's adoption in 1981, the Bear Valley Road Redevelopment Project Area has grown through amendment to encompass 1,680 acres. Originally, over half of the Project Area was designated for commercial and industrial uses while about a third was designated for residential use. Over the past five years, the commercial and industrial sectors have experienced the greatest amount of growth. The Bear Valley Road Redevelopment Project Area has benefited the medical industry, professional, hospitality and industrial distribution markets. Table 1 below offers a background of the Project Area's history and scope.

Bear Valley Road/Hook Boulevard Redevelopment Project Area		
Table 1		
	Bear Valley Road (As Adopted)	Hook Boulevard (First Amendment)
Size	1,680 Acres	
Adopted	December 29, 1981	December 30, 1985
Amended	12/30/1985, 12/20/1988, 02/16/1993, 04/19/1994, 02/21/2006, & 03/21/2006	
Time Limits		
Incur Debt	January 1, 2004	December 30, 2005
Plan Life	December 29, 2021	December 30, 2025
Receive Increment	December 29, 2031	December 30, 2035
Eminent Domain	No Authority	No Authority
Financial Limits		
Bonded Debt	\$29M+CPI+Pass Through	
Tax Increment	\$49M+CPI+Pass Through+Low/Mod Associated Pass Through	

The Victorville Redevelopment Agency combines regional public infrastructure and public entrepreneurship with private investment to create an environment that attracts jobs, housing, and expands economic development opportunities within the Project Area boundaries.

Leveraging tax increment funds with capital improvement money from the City of Victorville, the Agency builds infrastructure, finances public projects and selectively supports private projects and developments to revitalize new and economically declining areas.

The Project Area consists primarily of commercial and industrial uses. Twenty percent of all Agency revenues are allocated to support low and moderate income housing. As a part of the Project Area adoption, findings were made to support the use of housing set-aside funds outside the Project Area. To date, housing set-aside funds are used both inside and outside of the Project Area. Housing set-aside funds are not used, however, to support affordable housing outside the jurisdictional boundary of the City of Victorville.

Major Accomplishments and Specific Achievements

This section provides a description of the Agency's progress toward alleviating blight during the 2005-2006 fiscal year within the Bear Valley Road Redevelopment Project Area. Over the last fiscal year, the Agency participated in commercial/industrial activities along with making available an increasing number of low and moderate-income housing units both inside and outside of the Project Area boundaries. A listing of those projects participated in by the Agency over the last fiscal year are as follows.

Auto Park at Valley Center

The auto mall, named Auto Park at Valley Center, is the first of its kind in the Victor Valley and is located within the Hook Boulevard sub-region of the Bear Valley Road Project Area.

During the FY 05-06, the Victorville Nissan and Valley-Hi Honda auto dealerships have continued to progress in their construction. Victorville Nissan is expected to be

completed September 2006, while the completion of Valley-Hi Honda is anticipated for November 2006. Both auto dealerships are located in the Auto Park at Valley Center, within the Hook Redevelopment Project Area. The Victorville Nissan dealership is estimated to be ±35,660 square feet, and Valley-Hi Honda is estimated to be ±53,000 square feet. Together, both dealerships will employ about 150 people. In August 2005, the Agency received payoff for loans carried by the Agency in the amount of \$1,512,463.66 related to the Browning Automotive DDA. As a function of the Disposition and Development Agreement (DDA), the Agency carried a short-term loan for a portion of the land acquisition, and recorded Promissory Notes and Deeds of Trust in favor of the Agency.

Auto Park at Valley Center Pylon Signs

In September 2005, the Agency awarded a design services contract for the Auto Mall Signs and LED Display to AD Art Sign Company in the amount of \$7,500. The contract consists of Design and Engineering services for the retro fitting of the existing Reader board sign located on the east side of Interstate 15, and the proposed new sign to be located on the west side of Interstate 15. The signs are for advertising businesses located within the Auto Park, in the Hook Redevelopment Project Area.

Civic Rogers, LLC

In May 2006, the Building Department issued a Certificate of Occupancy for the completion of the Home Depot home-improvement retail store located at Roy Rogers Drive and Civic Drive, within the Hook Redevelopment Project Area. The developer met its obligation of completing the retail store by September 2006 and is currently in the process of developing at least 25,000 additional square feet of building space prior to September 2007, as obligated in its Owner Participation Agreement with the Agency. Civic Rogers, LLC is developing a shopping center with Home Depot as its major tenant and several smaller outpads with ancillary retail uses

Foxborough Industrial Park

In May 2006, the Agency approved a Memo of Understanding (MOU) for the purposes of conducting a land assembly that will ultimately facilitate the build-out of additional warehouse and manufacturing space within the Foxborough Industrial Park. The property is north of and adjacent to Ottawa Road east of Hesperia Road within the Bear Valley Redevelopment Project Area.

In February 2006, construction was completed on the new ±335,000 square foot manufacturing and warehouse facility for Nutro Products Inc. The new facility is estimated to employ approximately 200 employees and the total value of the project is estimated at \$62 million.

In May 2006, Opus West Corporation (ConAgra Foods) received its Certificate of Completion for satisfying all of its obligations set forth in the Disposition and Development Agreement (DDA) that was executed back in April 2005. ConAgra Foods is located within the Foxborough Industrial Park and the new food distribution facility is ±207,700 square feet.

Victorville West Limited Partnerships

In December 2005, the Agency entered into a purchase and sale agreement with Victorville West Limited Partnerships for the acquisition of the former Home Base building and vacant land located along Valley Center Drive in the Hook

Redevelopment Project Area. On February 2006, the Agency closed escrow and acquired the building and vacant land for a total of 9.96 acres. The combined price for the two sites amounted to \$7.5 million.

Housing Accomplishments and Achievements¹

The Agency, throughout the last fiscal year and with the assistance of its housing authority (the Victorville Public Development Corporation), has made available programs that assist in meeting the requirements of state law regarding the setting aside and utilization of the 20% low and moderate income housing fund.

Table 2 represents the inclusionary housing requirements of the Bear Valley/Hook Boulevard Redevelopment Project Area, as adopted in the 1999 Implementation and Housing Compliance Plan, and including new construction through the 2005-2006 fiscal year as reported to the Agency by the City of Victorville Building and Safety Department.

Affordable Housing Units Required Bear Valley Road/Hook Boulevard Redevelopment Project Area Project Adoption to June 30, 2006			
Table 2			
	Total Units (1,645)	Very Low Income Units (40%)	Low/Moderate Income Units (60%)
No. of Replacement Units Required to Date	0	0	0
No. of Inclusionary Affordable Units Required to Date (15%)	247	99	148
Subtotal Required	247	99	148
No. Units w/ Affordability Covenants	462.5	182	280.5
Deficit/Surplus (-/+) in No. of Affordable Units Required	+215.5	+83	+132.5

Reported through June 2005, new residential construction in the Bear Valley and Hook Project Area totaled 1,431 housing units. During the 2005-2006 fiscal year, the Project Area has seen the completion of 118 single-family dwelling units, and 96 multi-family dwelling units, with a combined cumulative assessed valuation of \$22,345,479.

The following programs are utilized by the Agency to serve the affordable housing needs within the Bear Valley Road Redevelopment Project Area and the City:

Impressions at Valley Center

The Impressions at Valley Center apartment complex currently provides affordable housing to very low-income households by deed restricting 99 units for a period of 55 years. The deed-restricted units assist the Agency in meeting its inclusionary housing requirements.

¹ Prepared to satisfy requirements of H&SC sections 33080.1(a)(2)(c) and 33080.4(a)(6)

Wimbledon Apartments

The Wimbledon Apartment complex located in the Bear Valley Road Redevelopment Project area has 58 units restricted for low to moderate income households for a term of 30 years. The Agency uses these deed-restrictions to assist its inclusionary housing requirements.

Casa Bella

The Casa Bella apartment complex is a new apartment complex located within the Bear Valley Redevelopment Project Area. The complex completed its first of three phases in December 2005. This phase consists of 94 deed-restricted units, 67 being very low income, and 27 low income. Although, the Agency did not assist with the development of this complex, Casa Bella's deed-restricted units will be used to meet the inclusionary housing requirements.

Mortgage Assistance Program

Fiscal Year 1997-1998 was the first year in which the Agency was able to use the Mortgage Assistance Program (MAP) to assist first-time homebuyers with low to moderate incomes. MAP has been designed to assist low to moderate income households with down payment assistance and is secured as a deferred loan in a subordinate position to the primary mortgage finance. The loan shall become due and payable if the single family dwelling unit no longer becomes the household's primary residence or if the dwelling unit is sold or refinanced.

Beginning in fiscal year 1997-1998, a total of 64 households were assisted, among which, 42 households were within the low and very low income designations (4 were very low income households and 38 were low income households.) The total amount of mortgage assistance provided in fiscal year 1997-1998 amounted to \$143,309, which assisted the local sale of approximately \$4,655,468 in home sales. In fiscal year 1998-1999, a total of 91 households were assisted, among which, 58 households were within the low and very low income designations (10 were very low income households and 48 were low income households.) The total amount of mortgage assistance provided in fiscal year 1998-1999 amounted to \$193,742, which assisted the local sale of approximately \$7,194,432 in home sales. In fiscal year 1999-2000, a total of 64 households were assisted, among which, 34 were within the low and very low income designations (4 were very low income households and 30 were low income households.) The total amount of mortgage assistance provided in fiscal year 1999-2000 amounted to \$134,493, which assisted the local sale of approximately \$4,911,164 in home sales. The total amount of mortgage assistance provided in fiscal year 2000-2001 amounted to \$148,386 and assisted homebuyers with the purchase of \$3,842,916 in single-family residential units. Among the 46 MAP homebuyers in fiscal year 2000-2001, 2 were recorded to be of very low income, 24 recorded at low income and 20 recorded at moderate income. The total amount of mortgage assistance provided in fiscal year 2001-2002 amounted to \$358,146 and assisted homebuyers with the purchase of \$8,285,410 in single-family residential units. Among the 88 MAP homebuyers in fiscal year 2001-2002, 6 were recorded to be of very low income, 53 recorded at low income and 29 recorded at moderate income. The total amount of mortgage assistance provided in fiscal year 2002-2003 amounted to \$257,233 and assisted homebuyers with the purchase of \$5,743,748 in single-family residential units. Among the 54 MAP homebuyers in fiscal year 2002-2003, 6 were recorded to be of very low income, 23 recorded at low income and 25 recorded at moderate income. The

total amount of mortgage assistance provided in fiscal year 2003-2004 from the Bear Valley Road Housing Fund amounted to \$12,562 and assisted homebuyers with the purchase of \$376,642 in single-family residential units. Among the 3 MAP homebuyers in fiscal year 2003-2004, 1 was recorded to be of low income, and 2 recorded at moderate income. No mortgage assistance was provided to households within the Bear Valley Project Area for the fiscal years 2004-2005, and 2005-2006.

Overall, in the last nine fiscal years, the Bear Valley Road Housing Fund has provided assistance to 410 low and moderate income first time homebuyers. Among the total MAP participants, 249 households had incomes ranging between the low and very low income designations (32 were very low income households and 217 were low income households.)

Old Town/Midtown Redevelopment Project Area

On December 15th, 1998, the City Council of the City of Victorville adopted Ordinance Number 1889 approving the Redevelopment Plan for the Old Town/Midtown Redevelopment Project Area. The Old Town/Midtown Redevelopment Project Area encompasses 515 acres of land and includes residential, commercial and industrial area. The foundation for the Redevelopment Plan is the Old Town/Midtown Redevelopment Project Preliminary Plan, adopted by the City of Victorville Planning Commission on August 27th, 1998 using Resolution P-97-116. The Redevelopment Plan adopts the land uses set forth in the City of Victorville General Plan, more specifically, within Central City Planning Area and the Old Town Specific Plan. Table 3 represents the Project Area's history and scope.

Old Town/Midtown Redevelopment Project Area Table 3	
Size	515 Acres
Adopted	December 15, 1998
Amended	N/A
Time Limits	
Incur Debt	December 15, 2018
Plan Life	December 15, 2028
Receive Increment	December 15, 2043
Eminent Domain	No Authority
Financial Limits	
Bonded Debt	Not to exceed available bonded capacity
Tax Increment	No Limit

Major Accomplishments and Specific Achievements

This section provides a description of the Agency's progress toward alleviating blight during the 2005-2006 fiscal year within the Old Town/Midtown Redevelopment Project Area. A listing of those projects participated in by the Agency over the last fiscal year are as follows:

Strategic Plan Development

In FY 2005 - 2006 we completed the Old Town Strategic Action Plan. It was presented to City Council and the Planning Commission in draft form, in order to obtain their approval of the overall direction of the Plan. After discussion and minor changes were received, the Plan was taken back to the Old Town Task Force for final approval. The

Strategic Action Plan is expected to be adopted as an official direction and plan for Old Town by the City Council and Planning Commission in January 2007.

Old Town/Midtown Infill Housing Program

In July 2005, the Agency acquired four residential lots for the purpose of facilitating infill development within the Project Area. Later, in January 2006, the Agency acquired two additional lots for this program. The Agency has purchased these properties to stimulate home purchases by developing new single-family homes on the vacant properties. Recent land acquisitions expenditures totaled \$98,900.

CalHome Grant

In Fiscal Year 2003-2004, the Agency was awarded a \$500,000 CalHome grant from the State's Department of Housing and Community Development for the purposes of creating an owner-occupied rehabilitation program for residential property owners in the Old Town/Midtown Redevelopment Project Area. The rehabilitation program was being developed throughout FY 05-06 and will coincide with the launch of the Old Town Strategic Action Plan.

Housing Accomplishments and Achievements

Table 4 represents the inclusionary housing requirements of the Old Town/Midtown Redevelopment Project Area, including new construction throughout the 2005-2006 fiscal year as reported to the Agency by the City of Victorville Building and Safety Department.

Affordable Housing Units Required Old Town/Midtown Redevelopment Project Area Project Adoption to June 30, 2006			
Table 4			
	Total Units (1)	Very Low Income Units (40%)	Low/Moderate Income Units (60%)
No. of Replacement Units Required to Date	0	0	0
No. of Inclusionary Affordable Units Required to Date (15%)	0	0	0
Subtotal Required	0	0	0
No. Units w/ Affordability Covenants	0	0	0
Deficit/Surplus (-/+) in No. of Affordable Units Required	0	0	0

Reported through June 2005, new residential construction in the Old Town/Midtown Redevelopment Project Area has totaled 0 housing units. During the 2005-2006 fiscal year, the Project Area has seen the completion of one new single-family dwelling unit for a total assessed valuation of \$120,902. Because the development of new housing in the Old Town/Midtown Redevelopment Project Area has been limited, the Agency currently has no Affordable Housing Units Requirements.

Victor Valley Economic Development Authority Redevelopment Project Area

In response to the closure of George Air Force Base in December 1989, the Victor Valley Economic Development Authority (VVEDA) Joint Powers Authority was created

comprising the City of Victorville, City of Hesperia, the Town of Apple Valley, and the County of San Bernardino in 1991. VVEDA's prime purpose and function as a joint powers authority, and in the adoption of its Redevelopment Project Area Plan, is to provide the mechanism and funding to: (1) acquire the former George Air Force Base (now known as Southern California Logistics Airport "SCLA") and facilitate the successful reuse of the property; (2) ensure and provide adequate access to and from the major transportation systems and SCLA; and (3) promote economic development within the area surrounding SCLA. Specific provisions of the California Community Redevelopment Law (Section 33320.5) provide the authority for the legislative bodies of the communities having territory within, adjacent to, or in proximity of the air base to create a joint powers agency to effectuate the redevelopment of the air base and certain properties within an eight (8) mile radius of the boundaries of the air base. This provided VVEDA with powers, duties and obligations to implement and further the program generally formulated for the redevelopment, rehabilitation, and revitalization of the Project Area.

In 1996, and in accordance with the terms of the Third Amended Joint Exercise of Powers Agreement, VVEDA delegated its decision-making authority with respect to SCLA to the Southern California Logistics Airport Authority (SCLAA), which enabled the Authority to enter into and execute lease transactions and sales/disposition transactions on behalf of VVEDA pertaining to SCLA. SCLAA is a joint powers authority formed by the City of Victorville and Victorville Redevelopment Agency. In February of 1999, SCLAA entered into a Master Development Agreement with Stirling Airports International. The Master Development Agreement represents a public sector/private sector partnership in planning, marketing, operating, maintaining, acquiring, and redeveloping the former George Air Force Base into a first-class business and logistics center. Specifically, Stirling and SCLAA have evaluated SCLA infrastructure issues, analyzed existing and future traffic conditions, analyzed market conditions and refined the Master Development Plan. Stirling has further caused the development of a Development Vision Plan.

In July 2000, VVEDA approved a Fourth Amendment to the Joint Exercise of Powers Agreement and Redevelopment Plan which provided for the inclusion of Adelanto as a voting Member and provided greater flexibility with respect to the use of tax increment revenues by the various members. Specifically, the Fourth Amendment provides for the assignment of each Member's entitlement to the respective Member entity's Redevelopment Agency. Each respective member entity is then entitled to expend the tax increment entitlement within the VVEDA boundaries that rest within that member entity's jurisdictional boundaries. Table 5 represents the Project Area's history and scope.

Victor Valley Economic Development Authority (VVEDA) Redevelopment Project Area Table 5	
Size	60,507 Acres (Entire Project Area)
Adopted	December 28, 1993
Amended	12/28/94, 6/11/97, 4/22/98, 7/12/00, 12/23/03, 6/23/04 & 06/08/2005
Time Limits	
Incur Debt	No time limit pursuant to 4 th Amendment
Plan Life	July 12, 2030
Receive Increment	July 12, 2045
Eminent Domain	Only as specified in the 3 rd and 5 th Amendments
Financial Limits	
Bonded Debt	No Limit
Tax Increment	No Limit

Major Accomplishments and Specific Achievements

This section provides a description of the Agency's progress toward alleviating blight during the 2005-2006 fiscal year within the City of Victorville's jurisdictional portion of the Victor Valley Economic Development Authority Redevelopment Project Area. A listing of those projects participated in by the Agency over the last fiscal year are as follows.

Southern California Logistics Airport

Situated within the City of Victorville's jurisdictional portion of the VVEDA Redevelopment Project Area, Southern California Logistic Airport (SCLA), the 5,000-acre fully dedicated Logistics Support Center and Business Park, has successfully accomplished the following activities throughout the 2005-2006 fiscal year. These accomplishments directly serve as revitalization of the former George Air Force Base.

ORBIS

In April 2005, ORBIS, the flying eye hospital, DC-10 hospital ship underwent a "C" Check at SCLA. The DC-10 underwent repairs at SCLA and was modified to include surgical suites for eye surgeries, recovery rooms and classrooms. In order to complete this project, airport staff transacted an emergency rental office trailers and related infrastructure. Total expenditures for this projected approximated to \$160,000.

CBS Aviation Development, LLC

In September 2005, CBS proposed to lease certain SCLA parcels from the Airport Authority and to cause the construction of air cargo and aircraft hangar facilities. Upon completion these new air cargo and facility would be subleased to prospective tenants who are engaged in the business of cargo transport and aircraft maintenance and development. In November 2005, the Airport Authority assisted CBS with providing a market loan rate in the amount of \$2,000,000 for the purpose of facilitating the development of the hangar facilities. The development of the hangars will improve the Airport Authority's ability to attract more international and domestic aircraft industry companies to SCLA.

SCLA Hangar Improvements

In FY 05-06, SCLA underwent an estimated \$60 million in hangar construction. One of these is an A-380 size hangar to accommodate the largest commercial airplane in the world. It is the only this size being constructed on the west coast.

SCLA Rail Project

Throughout FY 05-06, land acquisition relative to the SCLA Rail Project continued. Additionally, civil design for rail and a rail undercrossing began. It is anticipated that by December 2006 the City will begin the bid process for the construction of the undercrossing, which is considered Phase 1 of the Rail Project.

Honeywell Aviation Systems

In the 05-06 Fiscal Year, a four (4) month flight test program was undertaken for carbon brakes on a Boeing 747. This program involved equipping a B-747 aircraft with carbon brakes, flight testing, landing and evaluating the performance of the carbon brakes under a vast variety of operational scenarios, including water landing. A similar program was conducted at SCLA in FY 04-05, when Boeing Recovery and Modification Services modified, tested and evaluated a DC-10 with carbon brakes.

Housing Accomplishments and Achievements

The following shall represent the inclusionary housing requirements of Victorville's jurisdictional portion the Victor Valley Economic Development Authority Redevelopment Project Area, as adopted in the 1999 Implementation and Housing Compliance Plan, and including new construction throughout the 2005-2006 fiscal year as reported to the Agency by the City of Victorville Building and Safety Department.

Affordable Housing Units Required Victor Valley Economic Development Authority Redevelopment Project Area (Victorville's portion) Project Adoption to June 30, 2006			
Table 5			
	Total Units (5,081)	Very Low Income Units (40%)	Low/Moderate Income Units (60%)
No. of Replacement Units Required to Date	0	0	0
No. of Inclusionary Affordable Units Required to Date (15%)	762	305	457
Subtotal Required	762	305	457
No. Units w/ Affordability Covenants	401.5	244.5	157
Deficit/Surplus (-/+) in No. of Affordable Units Required	-360.5	-60.5	-300

Reported through June 2005, new residential construction in the City of Victorville's jurisdiction portion of the VVEDA Redevelopment Project Area totaled 3,765 housing units. During the 2005-2006 fiscal year, Victorville's portion of the Project Area has seen the completion of 1,316 single-family dwelling units with a cumulative assessed valuation of \$255,434,563.

Mortgage Assistance Program

Fiscal year 2003-2004 was the first year in which the Agency was able to use the Mortgage Assistance Program (MAP) to assist first-time homebuyers with low to moderate incomes.

For the past two fiscal years, Victorville's portion of the VVEDA Redevelopment Project Area has enabled the Mortgage Assistance Program to provide assistance to 17 low and moderate income first-time homebuyers. Among the total MAP participants, 8 households had incomes ranging between the low and very low income designations (2 were very low income households and 6 were low income households).

In fiscal year 2003-2004, a total of 9 households were assisted, among which, 2 households were within the low and very low income designations. The total amount of mortgage assistance provided in fiscal year 2003-2004 from Victorville's VVEDA Housing Fund amounted to \$39,949, which assisted the local sale of approximately \$1,122,452 in home sales.

In fiscal year 2004-2005, a total of 8 households were assisted, among which, 6 households were within the low and very low income designations. Total amount of mortgage assistance provided in fiscal year 2004-2005 from Victorville's VVEDA Housing Fund amounted to \$204,347.50, which assisted the locale sale of approximately \$1,318,730 in home sales.

In fiscal year 2005-2006, one (1) household was assisted by the MAP Program. This household was in the moderate-income category, and \$8,500 was used from the VVEDA Housing Fund to assist with the purchase of this home.

Village Oak

The Village Oak Apartment complex located within the Victorville portion of the VVEDA Redevelopment Project Area has 115 deed restricted units for very low income households for a duration of 55 years. The Agency uses these deed restrictions to assist in meeting its inclusionary housing requirements for the project area.

Kimberly Park Apartments

Kimberly Park Apartment complex, located within the Victorville portion of the VVEDA Redevelopment Project Area, has 100 units deed restricted for very low income households and 31 units deed restricted for low income households. The Agency uses these deed restrictions to assist in meeting its inclusionary housing requirements for the project area.

Northgate Village Apartments

This complex was acquired and developed by the Victorville Public Development Corporation in 1992, to assist in providing low and moderate income housing within the Bear Valley Redevelopment Project Area. In December 2005, the Agency completed its sale to Southern California Housing Development Corporation (SoCal Housing) of Northgate Village Apartments. The final sale was a result of the direction given by the Redevelopment Agency board and the Victorville Public Development Corporation Board dating back to September 2004. To make this transaction feasible, staff was required to refinance the Northgate debt obligation with the California Housing Finance Agency (CalHFA), restructure Northgate's subordinated debt, and approve a management financing plan for operations on a go-forward basis.

Prior to the sale of Northgate, 49 units were deed-restricted, 28 restricted to very low income households and 21 units were deed-restricted for low to moderate income

households previously reported in the Bear Valley Redevelopment Project Area. Since the sale of the complex, SoCal has increased the number of deed-restricted units for a total of 138 units, 28 units restricted to very low income households, and 110 restricted to low income households. These deed-restricted units are now being reported in the VVEDA Redevelopment Project Area due to funding provided by its housing fund.

Redevelopment Agency Marketing

Marketing activities in 2005-2006 consisted of increasing our tradeshow presence and building relationships and partnerships with national site selectors. We also expanded our reach by becoming more involved with regional/Southern California opportunities, and received the high honor of being recognized for economic development awards by two nationally and statewide-known organizations.

Following are some of the key accomplishments of 2005-2006:

- CALED Grand Prize Award for Economic Development Partnership
- CoreNet Global award finalist for Economic Development Leadership
- 123 leads processed (See attached Leads for FY 2005-2006)
- Successful CoreNet Global Fall 2005 tradeshow-accompanying 9 site selectors, partners and customers to a "by personal invitation" event and business building opportunity
- Our first press tour with 3 logistics editors-garnering editorial coverage in major logistics publication
- Individual meetings with over 25 site selectors, end-users, and partners, specifically discussing development opportunities in Victorville
- Supplemented marketing toolbox through the continuation of the Opportunities newsletter. Mailed and distributed to over 1000 companies, site selectors and brokers.

We also continued our relationship with Chabin Concepts for continued marketing development, expanded our relationships with Porter Novelli and Rockey Hill Knowlton for PR opportunities, and increased our role with Inland Empire Economic Partnership through additional membership on site selection committees.

Lastly, we increased our role with High Desert Opportunity, to ensure that the event attracts the type of business desired in Victorville and the Victor Valley.

Agency Loan Status Report²

The Agency did not have any outstanding loans, in the amount of \$50,000 or more, that were in default or not in compliance with the terms of the loan during the 2005-2006 fiscal year.

Agency Owned Property

During the 2005-2006 fiscal year, the Redevelopment Agency owned approximately ±73.10 acres of land identified with the following legal descriptions:

Auto Mall Signs

First Auto Mall Sign – Parcel A of Parcel Map 15221, in the City of Victorville, County of San Bernardino, State of California (real property with a permanent structure). Parcel A

² Prepared in accordance with H&SC section 33080.1(e)

of Parcel Map 15221 was previously reported as Parcel A of Parcel Map 14904 (.012 acres).

Second Auto Mall Sign – Parcel A of Parcel Map 16292, in the City of Victorville, county of San Bernardino, State of California (.014 acres). Parcel A of Parcel Map 16292 was previously reported as a Rogersdale Property in FY 04-05.

Amber Pointe Drive

Lot 153, Tract No. 8399, as shown on map on file in Book 115, pages 83 through 97 (2.28 acres)

Foxborough Properties

The Victorville Redevelopment Agency owned Parcels 2 (10.29 gross acres), and 4 (5.0 acres) on Parcel Map 16201 during the 2005-2006 Fiscal year (15.29 acres).

Home Base Building and Vacant Land

Parcel 3 of Parcel Map 11233, in the City of Victorville, County of San Bernardino, State of California (±8.04 acres)

Parcel 2 of Parcel Map 11233, in the City of Victorville, County of San Bernardino, State of California (±1.98 acres)

Civic Drive Properties

Lots 15, 16, 17, 18, 219 and 220, Tract M.5 100/8-10 Civic Center Unit No. 1 San Bernardino County, CA (1.5 acres)

Lots 216 and 217, Tract M.5000/8-10 Civic Center Unit No. 1, San Bernardino County, CA (.40 acres)

Nisqualli Interchange Property

Parcel 1 through 4 of Parcel Map 15276, in the City of Victorville, County of San Bernardino, State of California (±14.23 acres)

Auto Mall

The Victorville Redevelopment Agency owned Parcels 1 of Parcel Map 16292 during the 2004-2005 Fiscal Year (2.66 acres).

Runway Extension Properties

The East ½ of the Southwest ¼ of the Northeast ¼ of Section 10, Township 6 North, Range 5 West, San Bernardino Base and Meridian (5.0 acres)

Parcel 3 of Parcel Map 2892, in the City of Victorville, County of San Bernardino, State of California (21.7 acres)

Redevelopment Infill Housing

Town Victor Lots 13 & 14 Block 12, Town Victor Lot 10 Block 12, Town Victor Lots 6, 7, 8 and 9 Block 12, Town Of Victor Lots 23, 24, 25 and 26 Block 12, Town Victor Lots 3 and 4 Block 8 and Town Victor Lots 23 and 24 Block 7 (1.0 acres)

Dwelling Units Destroyed or Removed Directly or Indirectly by the Agency³

The Victorville Redevelopment Agency has not destroyed (nor entered into any third-party agreements which resulted in destruction of) any dwelling units housing persons and families of low and moderate income in its Project Areas. Furthermore, the Agency has not destroyed (nor entered into any third-party agreements which resulted in the destruction of) any dwelling units housing non-elderly and elderly households. Therefore, the replacement-housing requirement of Section 33413(a) for the Victorville Redevelopment Agency in any of its Project Areas is zero.

At this time, the Agency does not plan to destroy, remove, or to assist financially with projects that result in the destruction or removal of affordable housing units in the Project Area. Therefore, no replacement housing is anticipated during the next ten years.

Subsidized Dwelling Units⁴

Pursuant to an Affordable Housing Agreement with Southern California Housing Development Corporation (SoCal), 138 units in the Northgate Village Apartments are receiving an operational subsidy.

Deed Restrictions Applied to New and Rehabilitated Units within a Project Area⁵

To date, the Agency has not directly constructed or rehabilitated any units within its project areas.

Deed restrictions were also placed on 2 housing units purchased in fiscal year 2005-2006. Restrictions were based on the Agency's Mortgage Assistance Program, requiring covenants to set aside these units to benefit low and moderate income households for a term of forty-five years.

Monitoring by Agency⁶

H&SC Section 33418 requires that redevelopment agencies monitor any housing affordable to persons and families of low or moderate income developed or otherwise made available. Information shall be obtained by the redevelopment agency from owners and managers of the housing specified therein and current data shall be included in any reports required by law to be submitted to the Department of Housing and Community Development or the State Controllers office.

Compliance to this section is provided above, and identified in Tables 2, 4 and 6 entitled Affordable Housing Units Required. The programs administered and monitored by the Agency are the aforementioned Northgate Village Apartment project, the Impressions at Valley Center project, and the Mortgage Assistance Program.

³ Prepared in accordance with H&SC sections 33080.4(a)(1), (2), (3)

⁴ Prepared in accordance with H&SC section 33080.4(a)(4)

⁵ Prepared in accordance with H&SC section 33080.4(a)(5)

⁶ Prepared in accordance with H&SC section 33080.4(a)(7)

Victorville Redevelopment Agency
Statement of Activities

BEAR VALLEY ROAD
HOOK BOULEVARD
OLD TOWN/MIDTOWN
&
VICTOR VALLEY ECONOMIC DEVELOPMENT AUTHORITY (VVEDA)
REDEVELOPMENT PROJECT AREAS
2004-2005 FISCAL YEAR

Victorville City Hall
14343 Civic Drive
Victorville, CA 92392
(760) 955-5032
www.victorvillecity.com

Purpose:

Section 33080.1 of the California Health and Safety Code (H&SC) requires every Redevelopment Agency throughout the State of California to present an annual report to its legislative body within six months from the end of the agency's fiscal year. The annual report is required to contain, among other things, (1) a description of the Agency's activities in the previous fiscal year affecting housing and displacement that contains the information required by H&SC Sections 33080.4 and 33080.7; (2) a description of the Agency's progress, including activities and expenditures, in alleviating blight in the previous fiscal year, (3) a list of, and status report on, all loans made by the Redevelopment Agency that are fifty thousand dollars (\$50,000) or more, that in the previous fiscal year were in default, or not in compliance with the terms of the loan approved by the Redevelopment Agency; (4) a description of the total number and nature of the properties that the Agency owns and those properties the Agency has acquired in the previous fiscal year; and, (5) any other information that the Agency believes useful to explain its programs, including, but not limited to, the number of jobs created and lost in the previous fiscal year as a result of its activities.

Finally, H&SC Section 33080.7 requires this description of the Agency's activities shall identify the amount of excess surplus, as defined in Section 33334.10, which has accumulated in the Agency's Low and Moderate Income Housing Fund. Of the total excess surplus, the description shall also identify the amount that has accrued to the Low and Moderate Income Housing Fund during each fiscal year. This component of the annual report shall also include any plan required for reporting by subdivision (c) of Section 33334.10 (descriptions of the housing fund will be found within the Statement of Indebtedness and the Financial Statement).

Mission Statement

The mission of the Victorville Redevelopment Agency is to eliminate conditions of blight by promoting and providing affordable housing to households with low to moderate incomes, encourage opportunities to new and expanding commercial and industrial businesses, promote the regional attributes of the Victor Valley and to dedicate

resources necessary to successfully redevelop Southern California Logistics Airport (SCLA).

Bear Valley Road Redevelopment Project Area

The Victorville Redevelopment Agency, by adopting Ordinance Number 800 establishing the Bear Valley Road Redevelopment Project Area, was formed in December of 1981. The First Amendment to the Bear Valley Road Redevelopment Project Area took place in December 1985 (Ordinance Number 1049) adding the Hook Boulevard sub-area. The Second Amendment took place in December 1988 (Ordinance Number 1279) rezoning certain industrial and residentially zoned property to commercial uses and imposing certain affordability covenants to the development of residentially zoned property. The Project Area's Third Amendment took place in February 1993 (Ordinance Number 1620) establishing time limits for incurring debt. On April 19, 1994, the City Council adopted Ordinance No. 1703, which amended the Redevelopment Plan (Fourth Amendment) pursuant to Health and Safety Code 33333.6. This Amendment established new and separate time limits for the Bear Valley Road Project Area and the Hook Road Interchange Subarea. On February 21, 2006, the City Council adopted Ordinance No. 2136, and Ordinance No. 2137; both ordinances amended the Bear Valley Road Redevelopment Plan pursuant to Health and Safety Code Section 33333.6(e)(2) [Senate Bill 211]. The Fifth Amendment, Ordinance No. 2136, rescinded the time limit to incur debt for the Bear Valley Road Project Area and the Hook Boulevard Interchange Subarea. Amendment Sixth, Ordinance No. 2137, provided a one-year extension to the plan life and to the time frame to collect tax increment revenue for the Bear Valley Road Project Area and the Hook Boulevard Interchange Subarea. On March 21, 2006 City Council adopted Ordinance No. 2139 amending the Bear Valley Road Redevelopment Plan pursuant to Health and Safety Code Section 33333.6(e)(2)(D) [Senate Bill 1096]. The Seventh Amendment provided a two-year extension to the plan life for the Bear Valley Road Project Area and a one-year extension to the plan life for the Hook Boulevard Interchange Subarea.

Since the Project Area's adoption in 1981, the Bear Valley Road Redevelopment Project Area has grown through amendment to encompass 1,680 acres. Originally, over half of the Project Area was designated for commercial and industrial uses while about a third was designated for residential use. Over the past five years, the commercial and industrial sectors have experienced the greatest amount of growth. The Bear Valley Road Redevelopment Project Area has benefited the medical industry, professional, hospitality and industrial distribution markets. Table 1 below offers a background of the Project Area's history and scope.

Bear Valley Road/Hook Boulevard Redevelopment Project Area		
Table 1		
	Bear Valley Road (As Adopted)	Hook Boulevard (First Amendment)
Size	1,680 Acres	
Adopted	December 29, 1981	December 30, 1985
Amended	12/30/1985, 12/20/1988, 02/16/1993, 04/19/1994, 02/21/2006, & 03/21/2006	
Time Limits		
Incur Debt	January 1, 2004	December 30, 2005
Plan Life	December 29, 2021	December 30, 2025
Receive Increment	December 29, 2031	December 30, 2035
Eminent Domain	No Authority	No Authority
Financial Limits		
Bonded Debt	\$29M+CPI+Pass Through	
Tax Increment	\$49M+CPI+Pass Through+Low/Mod Associated Pass Through	

The Victorville Redevelopment Agency combines regional public infrastructure and public entrepreneurship with private investment to create an environment that attracts jobs, housing, and expands economic development opportunities within the Project Area boundaries.

Leveraging tax increment funds with capital improvement money from the City of Victorville, the Agency builds infrastructure, finances public projects and selectively supports private projects and developments to revitalize new and economically declining areas.

The Project Area consists primarily of commercial and industrial uses. Twenty percent of all Agency revenues are allocated to support low and moderate income housing. As a part of the Project Area adoption, findings were made to support the use of housing set-aside funds outside the Project Area. To date, housing set-aside funds are used both inside and outside of the Project Area. Housing set-aside funds are not used, however, to support affordable housing outside the jurisdictional boundary of the City of Victorville.

Major Accomplishments and Specific Achievements

This section provides a description of the Agency's progress toward alleviating blight during the 2005-2006 fiscal year within the Bear Valley Road Redevelopment Project Area. Over the last fiscal year, the Agency participated in commercial/industrial activities along with making available an increasing number of low and moderate-income housing units both inside and outside of the Project Area boundaries. A listing of those projects participated in by the Agency over the last fiscal year are as follows.

Auto Park at Valley Center

The auto mall, named Auto Park at Valley Center, is the first of its kind in the Victor Valley and is located within the Hook Boulevard sub-region of the Bear Valley Road Project Area.

During the FY 05-06, the Victorville Nissan and Valley-Hi Honda auto dealerships have continued to progress in their construction. Victorville Nissan is expected to be

completed September 2006, while the completion of Valley-Hi Honda is anticipated for November 2006. Both auto dealerships are located in the Auto Park at Valley Center, within the Hook Redevelopment Project Area. The Victorville Nissan dealership is estimated to be ±35,660 square feet, and Valley-Hi Honda is estimated to be ±53,000 square feet. Together, both dealerships will employ about 150 people. In August 2005, the Agency received payoff for loans carried by the Agency in the amount of \$1,512,463.66 related to the Browning Automotive DDA. As a function of the Disposition and Development Agreement (DDA), the Agency carried a short-term loan for a portion of the land acquisition, and recorded Promissory Notes and Deeds of Trust in favor of the Agency.

Auto Park at Valley Center Pylon Signs

In September 2005, the Agency awarded a design services contract for the Auto Mall Signs and LED Display to AD Art Sign Company in the amount of \$7,500. The contract consists of Design and Engineering services for the retro fitting of the existing Reader board sign located on the east side of Interstate 15, and the proposed new sign to be located on the west side of Interstate 15. The signs are for advertising businesses located within the Auto Park, in the Hook Redevelopment Project Area.

Civic Rogers, LLC

In May 2006, the Building Department issued a Certificate of Occupancy for the completion of the Home Depot home-improvement retail store located at Roy Rogers Drive and Civic Drive, within the Hook Redevelopment Project Area. The developer met its obligation of completing the retail store by September 2006 and is currently in the process of developing at least 25,000 additional square feet of building space prior to September 2007, as obligated in its Owner Participation Agreement with the Agency. Civic Rogers, LLC is developing a shopping center with Home Depot as its major tenant and several smaller outpads with ancillary retail uses

Foxborough Industrial Park

In May 2006, the Agency approved a Memo of Understanding (MOU) for the purposes of conducting a land assembly that will ultimately facilitate the build-out of additional warehouse and manufacturing space within the Foxborough Industrial Park. The property is north of and adjacent to Ottawa Road east of Hesperia Road within the Bear Valley Redevelopment Project Area.

In February 2006, construction was completed on the new ±335,000 square foot manufacturing and warehouse facility for Nutro Products Inc. The new facility is estimated to employ approximately 200 employees and the total value of the project is estimated at \$62 million.

In May 2006, Opus West Corporation (ConAgra Foods) received its Certificate of Completion for satisfying all of its obligations set forth in the Disposition and Development Agreement (DDA) that was executed back in April 2005. ConAgra Foods is located within the Foxborough Industrial Park and the new food distribution facility is ±207,700 square feet.

Victorville West Limited Partnerships

In December 2005, the Agency entered into a purchase and sale agreement with Victorville West Limited Partnerships for the acquisition of the former Home Base building and vacant land located along Valley Center Drive in the Hook

Redevelopment Project Area. On February 2006, the Agency closed escrow and acquired the building and vacant land for a total of 9.96 acres. The combined price for the two sites amounted to \$7.5 million.

Housing Accomplishments and Achievements¹

The Agency, throughout the last fiscal year and with the assistance of its housing authority (the Victorville Public Development Corporation), has made available programs that assist in meeting the requirements of state law regarding the setting aside and utilization of the 20% low and moderate income housing fund.

Table 2 represents the inclusionary housing requirements of the Bear Valley/Hook Boulevard Redevelopment Project Area, as adopted in the 1999 Implementation and Housing Compliance Plan, and including new construction through the 2005-2006 fiscal year as reported to the Agency by the City of Victorville Building and Safety Department.

Affordable Housing Units Required Bear Valley Road/Hook Boulevard Redevelopment Project Area Project Adoption to June 30, 2006				
Table 2				
	Total Units (1,645)	Very Income (40%)	Low Units	Low/Moderate Income Units (60%)
No. of Replacement Units Required to Date	0	0		0
No. of Inclusionary Affordable Units Required to Date (15%)	247	99		148
Subtotal Required	247	99		148
No. Units w/ Affordability Covenants	462.5	182		280.5
Deficit/Surplus (-/+) in No. of Affordable Units Required	+215.5	+83		+132.5

Reported through June 2005, new residential construction in the Bear Valley and Hook Project Area totaled 1,431 housing units. During the 2005-2006 fiscal year, the Project Area has seen the completion of 118 single-family dwelling units, and 96 multi-family dwelling units, with a combined cumulative assessed valuation of \$22,345,479.

The following programs are utilized by the Agency to serve the affordable housing needs within the Bear Valley Road Redevelopment Project Area and the City:

Impressions at Valley Center

The Impressions at Valley Center apartment complex currently provides affordable housing to very low-income households by deed restricting 99 units for a period of 55 years. The deed-restricted units assist the Agency in meeting its inclusionary housing requirements.

¹ Prepared to satisfy requirements of H&SC sections 33080.1(a)(2)(c) and 33080.4(a)(6)

Wimbledon Apartments

The Wimbledon Apartment complex located in the Bear Valley Road Redevelopment Project area has 58 units restricted for low to moderate income households for a term of 30 years. The Agency uses these deed-restrictions to assist its inclusionary housing requirements.

Casa Bella

The Casa Bella apartment complex is a new apartment complex located within the Bear Valley Redevelopment Project Area. The complex completed its first of three phases in December 2005. This phase consists of 94 deed-restricted units, 67 being very low income, and 27 low income. Although, the Agency did not assist with the development of this complex, Casa Bella's deed-restricted units will be used to meet the inclusionary housing requirements.

Mortgage Assistance Program

Fiscal Year 1997-1998 was the first year in which the Agency was able to use the Mortgage Assistance Program (MAP) to assist first-time homebuyers with low to moderate incomes. MAP has been designed to assist low to moderate income households with down payment assistance and is secured as a deferred loan in a subordinate position to the primary mortgage finance. The loan shall become due and payable if the single family dwelling unit no longer becomes the household's primary residence or if the dwelling unit is sold or refinanced.

Beginning in fiscal year 1997-1998, a total of 64 households were assisted, among which, 42 households were within the low and very low income designations (4 were very low income households and 38 were low income households.) The total amount of mortgage assistance provided in fiscal year 1997-1998 amounted to \$143,309, which assisted the local sale of approximately \$4,655,468 in home sales. In fiscal year 1998-1999, a total of 91 households were assisted, among which, 58 households were within the low and very low income designations (10 were very low income households and 48 were low income households.) The total amount of mortgage assistance provided in fiscal year 1998-1999 amounted to \$193,742, which assisted the local sale of approximately \$7,194,432 in home sales. In fiscal year 1999-2000, a total of 64 households were assisted, among which, 34 were within the low and very low income designations (4 were very low income households and 30 were low income households.) The total amount of mortgage assistance provided in fiscal year 1999-2000 amounted to \$134,493, which assisted the local sale of approximately \$4,911,164 in home sales. The total amount of mortgage assistance provided in fiscal year 2000-2001 amounted to \$148,386 and assisted homebuyers with the purchase of \$3,842,916 in single-family residential units. Among the 46 MAP homebuyers in fiscal year 2000-2001, 2 were recorded to be of very low income, 24 recorded at low income and 20 recorded at moderate income. The total amount of mortgage assistance provided in fiscal year 2001-2002 amounted to \$358,146 and assisted homebuyers with the purchase of \$8,285,410 in single-family residential units. Among the 88 MAP homebuyers in fiscal year 2001-2002, 6 were recorded to be of very low income, 53 recorded at low income and 29 recorded at moderate income. The total amount of mortgage assistance provided in fiscal year 2002-2003 amounted to \$257,233 and assisted homebuyers with the purchase of \$5,743,748 in single-family residential units. Among the 54 MAP homebuyers in fiscal year 2002-2003, 6 were recorded to be of very low income, 23 recorded at low income and 25 recorded at moderate income. The

total amount of mortgage assistance provided in fiscal year 2003-2004 from the Bear Valley Road Housing Fund amounted to \$12,562 and assisted homebuyers with the purchase of \$376,642 in single-family residential units. Among the 3 MAP homebuyers in fiscal year 2003-2004, 1 was recorded to be of low income, and 2 recorded at moderate income. No mortgage assistance was provided to households within the Bear Valley Project Area for the fiscal years 2004-2005, and 2005-2006.

Overall, in the last nine fiscal years, the Bear Valley Road Housing Fund has provided assistance to 410 low and moderate income first time homebuyers. Among the total MAP participants, 249 households had incomes ranging between the low and very low income designations (32 were very low income households and 217 were low income households.)

Old Town/Midtown Redevelopment Project Area

On December 15th, 1998, the City Council of the City of Victorville adopted Ordinance Number 1889 approving the Redevelopment Plan for the Old Town/Midtown Redevelopment Project Area. The Old Town/Midtown Redevelopment Project Area encompasses 515 acres of land and includes residential, commercial and industrial area. The foundation for the Redevelopment Plan is the Old Town/Midtown Redevelopment Project Preliminary Plan, adopted by the City of Victorville Planning Commission on August 27th, 1998 using Resolution P-97-116. The Redevelopment Plan adopts the land uses set forth in the City of Victorville General Plan, more specifically, within Central City Planning Area and the Old Town Specific Plan. Table 3 represents the Project Area's history and scope.

Old Town/Midtown Redevelopment Project Area Table 3	
Size	515 Acres
Adopted	December 15, 1998
Amended	N/A
Time Limits	
Incur Debt	December 15, 2018
Plan Life	December 15, 2028
Receive Increment	December 15, 2043
Eminent Domain	No Authority
Financial Limits	
Bonded Debt	Not to exceed available bonded capacity
Tax Increment	No Limit

Major Accomplishments and Specific Achievements

This section provides a description of the Agency's progress toward alleviating blight during the 2005-2006 fiscal year within the Old Town/Midtown Redevelopment Project Area. A listing of those projects participated in by the Agency over the last fiscal year are as follows:

Strategic Plan Development

In FY 2005 - 2006 we completed the Old Town Strategic Action Plan. It was presented to City Council and the Planning Commission in draft form, in order to obtain their approval of the overall direction of the Plan. After discussion and minor changes were received, the Plan was taken back to the Old Town Task Force for final approval. The

Strategic Action Plan is expected to be adopted as an official direction and plan for Old Town by the City Council and Planning Commission in January 2007.

Old Town/Midtown Infill Housing Program

In July 2005, the Agency acquired four residential lots for the purpose of facilitating infill development within the Project Area. Later, in January 2006, the Agency acquired two additional lots for this program. The Agency has purchased these properties to stimulate home purchases by developing new single-family homes on the vacant properties. Recent land acquisitions expenditures totaled \$98,900.

CalHome Grant

In Fiscal Year 2003-2004, the Agency was awarded a \$500,000 CalHome grant from the State's Department of Housing and Community Development for the purposes of creating an owner-occupied rehabilitation program for residential property owners in the Old Town/Midtown Redevelopment Project Area. The rehabilitation program was being developed throughout FY 05-06 and will coincide with the launch of the Old Town Strategic Action Plan.

Housing Accomplishments and Achievements

Table 4 represents the inclusionary housing requirements of the Old Town/Midtown Redevelopment Project Area, including new construction throughout the 2005-2006 fiscal year as reported to the Agency by the City of Victorville Building and Safety Department.

Affordable Housing Units Required Old Town/Midtown Redevelopment Project Area Project Adoption to June 30, 2006				
Table 4				
	Total Units (1)	Very Income (40%)	Low Units	Low/Moderate Income Units (60%)
No. of Replacement Units Required to Date	0	0		0
No. of Inclusionary Affordable Units Required to Date (15%)	0	0		0
Subtotal Required	0	0		0
No. Units w/ Affordability Covenants	0	0		0
Deficit/Surplus (-/+) in No. of Affordable Units Required	0	0		0

Reported through June 2005, new residential construction in the Old Town/Midtown Redevelopment Project Area has totaled 0 housing units. During the 2005-2006 fiscal year, the Project Area has seen the completion of one new single-family dwelling unit for a total assessed valuation of \$120,902. Because the development of new housing in the Old Town/Midtown Redevelopment Project Area has been limited, the Agency currently has no Affordable Housing Units Requirements.

Victor Valley Economic Development Authority Redevelopment Project Area

In response to the closure of George Air Force Base in December 1989, the Victor Valley Economic Development Authority (VVEDA) Joint Powers Authority was created

comprising the City of Victorville, City of Hesperia, the Town of Apple Valley, and the County of San Bernardino in 1991. VVEDA's prime purpose and function as a joint powers authority, and in the adoption of its Redevelopment Project Area Plan, is to provide the mechanism and funding to: (1) acquire the former George Air Force Base (now known as Southern California Logistics Airport "SCLA") and facilitate the successful reuse of the property; (2) ensure and provide adequate access to and from the major transportation systems and SCLA; and (3) promote economic development within the area surrounding SCLA. Specific provisions of the California Community Redevelopment Law (Section 33320.5) provide the authority for the legislative bodies of the communities having territory within, adjacent to, or in proximity of the air base to create a joint powers agency to effectuate the redevelopment of the air base and certain properties within an eight (8) mile radius of the boundaries of the air base. This provided VVEDA with powers, duties and obligations to implement and further the program generally formulated for the redevelopment, rehabilitation, and revitalization of the Project Area.

In 1996, and in accordance with the terms of the Third Amended Joint Exercise of Powers Agreement, VVEDA delegated its decision-making authority with respect to SCLA to the Southern California Logistics Airport Authority (SCLAA), which enabled the Authority to enter into and execute lease transactions and sales/disposition transactions on behalf of VVEDA pertaining to SCLA. SCLAA is a joint powers authority formed by the City of Victorville and Victorville Redevelopment Agency. In February of 1999, SCLAA entered into a Master Development Agreement with Stirling Airports International. The Master Development Agreement represents a public sector/private sector partnership in planning, marketing, operating, maintaining, acquiring, and redeveloping the former George Air Force Base into a first-class business and logistics center. Specifically, Stirling and SCLAA have evaluated SCLA infrastructure issues, analyzed existing and future traffic conditions, analyzed market conditions and refined the Master Development Plan. Stirling has further caused the development of a Development Vision Plan.

In July 2000, VVEDA approved a Fourth Amendment to the Joint Exercise of Powers Agreement and Redevelopment Plan which provided for the inclusion of Adelanto as a voting Member and provided greater flexibility with respect to the use of tax increment revenues by the various members. Specifically, the Fourth Amendment provides for the assignment of each Member's entitlement to the respective Member entity's Redevelopment Agency. Each respective member entity is then entitled to expend the tax increment entitlement within the VVEDA boundaries that rest within that member entity's jurisdictional boundaries. Table 5 represents the Project Area's history and scope.

Victor Valley Economic Development Authority (VVEDA) Redevelopment Project Area Table 5	
Size	60,507 Acres (Entire Project Area)
Adopted	December 28, 1993
Amended	12/28/94, 6/11/97, 4/22/98, 7/12/00, 12/23/03, 6/23/04 & 06/08/2005
Time Limits	
Incur Debt	No time limit pursuant to 4 th Amendment
Plan Life	July 12, 2030
Receive Increment	July 12, 2045
Eminent Domain	Only as specified in the 3 rd and 5 th Amendments
Financial Limits	
Bonded Debt	No Limit
Tax Increment	No Limit

Major Accomplishments and Specific Achievements

This section provides a description of the Agency's progress toward alleviating blight during the 2005-2006 fiscal year within the City of Victorville's jurisdictional portion of the Victor Valley Economic Development Authority Redevelopment Project Area. A listing of those projects participated in by the Agency over the last fiscal year are as follows.

Southern California Logistics Airport

Situated within the City of Victorville's jurisdictional portion of the VVEDA Redevelopment Project Area, Southern California Logistic Airport (SCLA), the 5,000-acre fully dedicated Logistics Support Center and Business Park, has successfully accomplished the following activities throughout the 2005-2006 fiscal year. These accomplishments directly serve as revitalization of the former George Air Force Base.

ORBIS

In April 2005, ORBIS, the flying eye hospital, DC-10 hospital ship underwent a "C" Check at SCLA. The DC-10 underwent repairs at SCLA and was modified to include surgical suites for eye surgeries, recovery rooms and classrooms. In order to complete this project, airport staff transacted an emergency rental office trailers and related infrastructure. Total expenditures for this projected approximated to \$160,000.

CBS Aviation Development, LLC

In September 2005, CBS proposed to lease certain SCLA parcels from the Airport Authority and to cause the construction of air cargo and aircraft hangar facilities. Upon completion these new air cargo and facility would be subleased to prospective tenants who are engaged in the business of cargo transport and aircraft maintenance and development. In November 2005, the Airport Authority assisted CBS with providing a market loan rate in the amount of \$2,000,000 for the purpose of facilitating the development of the hangar facilities. The development of the hangars will improve the Airport Authority's ability to attract more international and domestic aircraft industry companies to SCLA.

SCLA Hangar Improvements

In FY 05-06, SCLA underwent an estimated \$60 million in hangar construction. One of these is an A-380 size hangar to accommodate the largest commercial airplane in the world. It is the only this size being constructed on the west coast.

SCLA Rail Project

Throughout FY 05-06, land acquisition relative to the SCLA Rail Project continued. Additionally, civil design for rail and a rail undercrossing began. It is anticipated that by December 2006 the City will begin the bid process for the construction of the undercrossing, which is considered Phase 1 of the Rail Project.

Honeywell Aviation Systems

In the 05-06 Fiscal Year, a four (4) month flight test program was undertaken for carbon brakes on a Boeing 747. This program involved equipping a B-747 aircraft with carbon brakes, flight testing, landing and evaluating the performance of the carbon brakes under a vast variety of operational scenarios, including water landing. A similar program was conducted at SCLA in FY 04-05, when Boeing Recovery and Modification Services modified, tested and evaluated a DC-10 with carbon brakes.

Housing Accomplishments and Achievements

The following shall represent the inclusionary housing requirements of Victorville's jurisdictional portion the Victor Valley Economic Development Authority Redevelopment Project Area, as adopted in the 1999 Implementation and Housing Compliance Plan, and including new construction throughout the 2005-2006 fiscal year as reported to the Agency by the City of Victorville Building and Safety Department.

Affordable Housing Units Required			
Victor Valley Economic Development Authority Redevelopment Project Area (Victorville's portion)			
Project Adoption to June 30, 2006			
Table 5			
	Total Units (5,081)	Very Low Income Units (40%)	Low/Moderate Income Units (60%)
No. of Replacement Units Required to Date	0	0	0
No. of Inclusionary Affordable Units Required to Date (15%)	762	305	457
Subtotal Required	762	305	457
No. Units w/ Affordability Covenants	401.5	244.5	157
Deficit/Surplus (-/+) in No. of Affordable Units Required	-360.5	-60.5	-300

Reported through June 2005, new residential construction in the City of Victorville's jurisdiction portion of the VVEDA Redevelopment Project Area totaled 3,765 housing units. During the 2005-2006 fiscal year, Victorville's portion of the Project Area has seen the completion of 1,316 single-family dwelling units with a cumulative assessed valuation of \$255,434,563.

Mortgage Assistance Program

Fiscal year 2003-2004 was the first year in which the Agency was able to use the Mortgage Assistance Program (MAP) to assist first-time homebuyers with low to moderate incomes.

For the past two fiscal years, Victorville's portion of the VVEDA Redevelopment Project Area has enabled the Mortgage Assistance Program to provide assistance to 17 low and moderate income first-time homebuyers. Among the total MAP participants, 8 households had incomes ranging between the low and very low income designations (2 were very low income households and 6 were low income households).

In fiscal year 2003-2004, a total of 9 households were assisted, among which, 2 households were within the low and very low income designations. The total amount of mortgage assistance provided in fiscal year 2003-2004 from Victorville's VVEDA Housing Fund amounted to \$39,949, which assisted the local sale of approximately \$1,122,452 in home sales.

In fiscal year 2004-2005, a total of 8 households were assisted, among which, 6 households were within the low and very low income designations. Total amount of mortgage assistance provided in fiscal year 2004-2005 from Victorville's VVEDA Housing Fund amounted to \$204,347.50, which assisted the locale sale of approximately \$1,318,730 in home sales.

In fiscal year 2005-2006, one (1) household was assisted by the MAP Program. This household was in the moderate-income category, and \$8,500 was used from the VVEDA Housing Fund to assist with the purchase of this home.

Village Oak

The Village Oak Apartment complex located within the Victorville portion of the VVEDA Redevelopment Project Area has 115 deed restricted units for very low income households for a duration of 55 years. The Agency uses these deed restrictions to assist in meeting its inclusionary housing requirements for the project area.

Kimberly Park Apartments

Kimberly Park Apartment complex, located within the Victorville portion of the VVEDA Redevelopment Project Area, has 100 units deed restricted for very low income households and 31 units deed restricted for low income households. The Agency uses these deed restrictions to assist in meeting its inclusionary housing requirements for the project area.

Northgate Village Apartments

This complex was acquired and developed by the Victorville Public Development Corporation in 1992, to assist in providing low and moderate income housing within the Bear Valley Redevelopment Project Area. In December 2005, the Agency completed its sale to Southern California Housing Development Corporation (SoCal Housing) of Northgate Village Apartments. The final sale was a result of the direction given by the Redevelopment Agency board and the Victorville Public Development Corporation Board dating back to September 2004. To make this transaction feasible, staff was required to refinance the Northgate debt obligation with the California Housing Finance Agency (CalHFA), restructure Northgate's subordinated debt, and approve a management financing plan for operations on a go-forward basis.

Prior to the sale of Northgate, 49 units were deed-restricted, 28 restricted to very low income households and 21 units were deed-restricted for low to moderate income

households previously reported in the Bear Valley Redevelopment Project Area. Since the sale of the complex, SoCal has increased the number of deed-restricted units for a total of 138 units, 28 units restricted to very low income households, and 110 restricted to low income households. These deed-restricted units are now being reported in the VVEDA Redevelopment Project Area due to funding provided by its housing fund.

Redevelopment Agency Marketing

Marketing activities in 2005-2006 consisted of increasing our tradeshow presence and building relationships and partnerships with national site selectors. We also expanded our reach by becoming more involved with regional/Southern California opportunities, and received the high honor of being recognized for economic development awards by two nationally and statewide-known organizations.

Following are some of the key accomplishments of 2005-2006:

- CALED Grand Prize Award for Economic Development Partnership
- CoreNet Global award finalist for Economic Development Leadership
- 123 leads processed (See attached Leads for FY 2005-2006)
- Successful CoreNet Global Fall 2005 tradeshow-accompanying 9 site selectors, partners and customers to a "by personal invitation" event and business building opportunity
- Our first press tour with 3 logistics editors-garnering editorial coverage in major logistics publication
- Individual meetings with over 25 site selectors, end-users, and partners, specifically discussing development opportunities in Victorville
- Supplemented marketing toolbox through the continuation of the Opportunities newsletter. Mailed and distributed to over 1000 companies, site selectors and brokers.

We also continued our relationship with Chabin Concepts for continued marketing development, expanded our relationships with Porter Novelli and Rockey Hill Knowlton for PR opportunities, and increased our role with Inland Empire Economic Partnership through additional membership on site selection committees.

Lastly, we increased our role with High Desert Opportunity, to ensure that the event attracts the type of business desired in Victorville and the Victor Valley.

Agency Loan Status Report²

The Agency did not have any outstanding loans, in the amount of \$50,000 or more, that were in default or not in compliance with the terms of the loan during the 2005-2006 fiscal year.

Agency Owned Property

During the 2005-2006 fiscal year, the Redevelopment Agency owned approximately ±73.10 acres of land identified with the following legal descriptions:

Auto Mall Signs

First Auto Mall Sign – Parcel A of Parcel Map 15221, in the City of Victorville, County of San Bernardino, State of California (real property with a permanent structure). Parcel A

² Prepared in accordance with H&SC section 33080.1(e)

of Parcel Map 15221 was previously reported as Parcel A of Parcel Map 14904 (.012 acres).

Second Auto Mall Sign – Parcel A of Parcel Map 16292, in the City of Victorville, county of San Bernardino, State of California (.014 acres). Parcel A of Parcel Map 16292 was previously reported as a Rogersdale Property in FY 04-05.

Amber Pointe Drive

Lot 153, Tract No. 8399, as shown on map on file in Book 115, pages 83 through 97 (2.28 acres)

Foxborough Properties

The Victorville Redevelopment Agency owned Parcels 2 (10.29 gross acres), and 4 (5.0 acres) on Parcel Map 16201 during the 2005-2006 Fiscal year (15.29 acres).

Home Base Building and Vacant Land

Parcel 3 of Parcel Map 11233, in the City of Victorville, County of San Bernardino, State of California (±8.04 acres)

Parcel 2 of Parcel Map 11233, in the City of Victorville, County of San Bernardino, State of California (±1.98 acres)

Civic Drive Properties

Lots 15, 16, 17, 18, 219 and 220, Tract M.5 100/8-10 Civic Center Unit No. 1 San Bernardino County, CA (1.5 acres)

Lots 216 and 217, Tract M.5000/8-10 Civic Center Unit No. 1, San Bernardino County, CA (.40 acres)

Nisqualli Interchange Property

Parcel 1 through 4 of Parcel Map 15276, in the City of Victorville, County of San Bernardino, State of California (±14.23 acres)

Auto Mall

The Victorville Redevelopment Agency owned Parcels 1 of Parcel Map 16292 during the 2004-2005 Fiscal Year (2.66 acres).

Runway Extension Properties

The East ½ of the Southwest ¼ of the Northeast ¼ of Section 10, Township 6 North, Range 5 West, San Bernardino Base and Meridian (5.0 acres)

Parcel 3 of Parcel Map 2892, in the City of Victorville, County of San Bernardino, State of California (21.7 acres)

Redevelopment Infill Housing

Town Victor Lots 13 & 14 Block 12, Town Victor Lot 10 Block 12, Town Victor Lots 6, 7, 8 and 9 Block 12, Town Of Victor Lots 23, 24, 25 and 26 Block 12, Town Victor Lots 3 and 4 Block 8 and Town Victor Lots 23 and 24 Block 7 (1.0 acres)

Dwelling Units Destroyed or Removed Directly or Indirectly by the Agency³

The Victorville Redevelopment Agency has not destroyed (nor entered into any third-party agreements which resulted in destruction of) any dwelling units housing persons and families of low and moderate income in its Project Areas. Furthermore, the Agency has not destroyed (nor entered into any third-party agreements which resulted in the destruction of) any dwelling units housing non-elderly and elderly households. Therefore, the replacement-housing requirement of Section 33413(a) for the Victorville Redevelopment Agency in any of its Project Areas is zero.

At this time, the Agency does not plan to destroy, remove, or to assist financially with projects that result in the destruction or removal of affordable housing units in the Project Area. Therefore, no replacement housing is anticipated during the next ten years.

Subsidized Dwelling Units⁴

Pursuant to an Affordable Housing Agreement with Southern California Housing Development Corporation (SoCal), 138 units in the Northgate Village Apartments are receiving an operational subsidy.

Deed Restrictions Applied to New and Rehabilitated Units within a Project Area⁵

To date, the Agency has not directly constructed or rehabilitated any units within its project areas.

Deed restrictions were also placed on 2 housing units purchased in fiscal year 2005-2006. Restrictions were based on the Agency's Mortgage Assistance Program, requiring covenants to set aside these units to benefit low and moderate income households for a term of forty-five years.

Monitoring by Agency⁶

H&SC Section 33418 requires that redevelopment agencies monitor any housing affordable to persons and families of low or moderate income developed or otherwise made available. Information shall be obtained by the redevelopment agency from owners and managers of the housing specified therein and current data shall be included in any reports required by law to be submitted to the Department of Housing and Community Development or the State Controllers office.

Compliance to this section is provided above, and identified in Tables 2, 4 and 6 entitled Affordable Housing Units Required. The programs administered and monitored by the Agency are the aforementioned Northgate Village Apartment project, the Impressions at Valley Center project, and the Mortgage Assistance Program.

³ Prepared in accordance with H&SC sections 33080.4(a)(1), (2), (3)

⁴ Prepared in accordance with H&SC section 33080.4(a)(4)

⁵ Prepared in accordance with H&SC section 33080.4(a)(5)

⁶ Prepared in accordance with H&SC section 33080.4(a)(7)

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**CITY OF VICTORVILLE
CITY COUNCIL
AGENDA**

REGULAR MEETING
DECEMBER 19, 2006
7:00 P.M.

MOJAVE DESERT AIR QUALITY
MANAGEMENT DISTRICT - BOARDROOM
14306 PARK AVENUE
www.ci.victorville.ca.us

THE CITY COUNCIL MEETING IS SCHEDULED TO BEGIN AT 7:00 P.M.
OR AS SOON THEREAFTER AS POSSIBLE UPON THE CONCLUSION OF THE
MEETING OF THE VICTORVILLE REDEVELOPMENT AGENCY

ANY INDIVIDUAL WITH A DISABILITY WHO REQUIRES REASONABLE
ACCOMMODATION TO PARTICIPATE IN A CITY COUNCIL MEETING MAY REQUEST
ASSISTANCE AND/OR RECEIVE THE AGENDA IN AN ALTERNATIVE FORMAT BY
CONTACTING THE VICTORVILLE CITY CLERK'S OFFICE
(760) 955-5026 NO LATER THAN 72 HOURS PRIOR TO THE MEETING

CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

PUBLIC COMMENT

1. PUBLIC COMMENT ON ITEMS OF INTEREST TO THE PUBLIC

APPEAL HEARING

2. AN APPEAL HEARING CALLED TO HEAR ARGUMENT FOR OR AGAINST THE
ADOPTION OF RESOLUTION NO. 06-192 – VERSION A - GRANTING OR
VERSION B - DENYING

A. RESOLUTION NO. 06-192 – GRANTING

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE
GRANTING THE APPEAL OF THE DENIAL BY THE PLANNING COMMISSION OF
PROPOSED CONDITIONAL USE PERMIT CUP-06-064 TO ALLOW FOR A
HOMELESS OUTREACH CENTER AND RELATED SERVICES IN THE STORE
FRONT COMMERCIAL DISTRICT OF OLD TOWN ON PROPERTY LOCATED AT
16882 C STREET – VICTOR VALLEY RESCUE MISSION

B. RESOLUTION NO. 06-192 – DENYING

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE
DENYING THE APPEAL OF CONDITIONAL USE PERMIT CUP-06-064 TO ALLOW

FOR A HOMELESS OUTREACH CENTER AND RELATED SERVICES IN THE STORE FRONT COMMERCIAL DISTRICT OF OLD TOWN ON PROPERTY LOCATED AT 16882 C STREET – VICTOR VALLEY RESCUE MISSION

PUBLIC HEARING

3. A PUBLIC HEARING CALLED TO HEAR ARGUMENTS FOR OR AGAINST THE INTRODUCTION OF ORDINANCE NO. 2183 ENTITLED:

AN ORDINANCE OF THE CITY OF VICTORVILLE ESTABLISHING SPEED ZONES UPON CERTAIN STREETS IN SAID CITY AND AMENDING SECTION 12.20.020 OF THE VICTORVILLE MUNICIPAL CODE, ENTITLED "DECREASE OF STATE LAW MAXIMUM SPEED ON VARIOUS STREETS"

4. A PUBLIC HEARING CALLED TO HEAR ARGUMENTS FOR OR AGAINST THE INTRODUCTION OF ORDINANCE NO. 2184 ENTITLED:

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE APPROVING AMENDMENT A-06-001, VARIOUS AMENDMENTS OF THE VICTORVILLE MUNICIPAL CODE TO TITLE 17, SUBDIVISIONS; AND TITLE 18, ZONING – CITY OF VICTORVILLE

CONSENT CALENDAR

5. PRESENTATION OF REQUEST TO APPROVE THE CONSENT CALENDAR AS FOLLOWS:

- A. PRESENTATION OF REQUEST FOR APPROVAL OF COMMERCIAL DEMAND SCHEDULE NO. 10 IN THE AMOUNT OF \$14,841,794.88 COVERING WARRANT NOS. 581059, 580713, 581048, 581350, 581399, 581555, 581686 AND 581094 THROUGH 582076 INCLUSIVE
- B. PRESENTATION OF REQUEST FOR APPROVAL OF PAYROLL DEMAND SCHEDULE NO. 6A FOR PAYROLL PERIOD NOVEMBER 18, 2006 THROUGH DECEMBER 1, 2006, IN THE AMOUNT OF \$1,270,934.94 COVERING WARRANT NOS. 21029 THROUGH 21075 AND ADVICE NOS. 107748 THROUGH 108303 INCLUSIVE AND VOID ADVICE CHECK NOS. 107581 AND 107585
- C. PRESENTATION OF REQUEST TO ACCEPT THE FOLLOWING STAFF REPORTS:
1. PUBLIC WORKS DEPARTMENT – OCTOBER 2006
 2. COMMUNITY SERVICES DEPARTMENT – OCTOBER 2006
-

- D. PRESENTATION OF REQUEST TO AWARD A CONTRACT TO NIXON-EGLI EQUIPMENT COMPANY TO FURNISH AND DELIVER ONE (1) NEW NINE-WHEEL PNEUMATIC ROLLER IN THE AMOUNT OF \$69,987.94
- E. PRESENTATION OF REQUEST TO AWARD AN ARCHITECTURAL CONTRACT TO MW PELTZ FOR THE DORIS DAVIES PARK REVISION IN THE AMOUNT OF \$139,016.00
- F. PRESENTATION OF REQUEST TO AWARD A CONTRACT TO CDW-G TO PURCHASE A HP DESIGN JET 4500 MFP IN AN AMOUNT NOT TO EXCEED \$30,000.00
- G. PRESENTATION OF REQUEST FOR AUTHORIZATION TO CONSIGN / SELL SURPLUS FIRE APPARTUS
- H. PRESENTATION OF REQUEST TO RELEASE 20% OF THE LETTER OF CREDIT FOR SEWER AND STREETS FOR TRACT 16251 – AMERICAN HOUSING GROUP
- I. PRESENTATION OF REQUEST TO RELEASE 80% OF THE SEWER AND STREETS BOND FOR TRACT 16244-2 & 3 – PORTRAIT HOMES
- J. PRESENTATION OF REQUEST TO APPROVE THE FINAL MAP FOR TRACT 16684 – NEW WEST HOMES
- K. PRESENTATION OF REQUEST TO ACCEPT THE MAINTENANCE OF THE SEWER INSTALLED ALONG BELLFLOWER, LUNA AND BALDY MESA ROAD

WRITTEN COMMUNICATIONS

- 6. PRESENTATION OF REQUEST TO APPROVE THE AMENDMENT TO THE PROFESSIONAL SERVICES AGREEMENT WITH PROJECT PARTNERS FOR AN ADDITIONAL YEAR IN THE AMOUNT OF \$165,000.00
 - 7. PRESENTATION OF REQUEST TO ADOPT RESOLUTION NO. 06-194 ENTITLED:

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE RECOMMENDING TO THE VICTOR VALLEY ECONOMIC DEVELOPMENT AUTHORITY APPROVAL OF THE PROPOSED 2006 AMENDMENT TO THE 1993 VICTOR VALLEY REDEVELOPMENT PLAN (AMENDMENT NO. 8) AND APPROVING THE FORM OF DOCUMENTS IN CONNECTION THEREWITH
 - 8. PRESENTATION OF REQUEST TO ADOPT RESOLUTION NO. 06-195 ENTITLED:
-

A RESOLUTION OF APPLICATION BY THE CITY COUNCIL OF THE CITY OF VICTORVILLE REQUESTING THE LOCAL AGENCY FORMATION COMMISSION CONSIDER AN AMENDMENT OF THE SPHERE OF INFLUENCE OF THE CITY OF VICTORVILLE

9. PRESENTATION OF REQUEST TO ADOPT RESOLUTION NO. 06-193 ENTITLED:

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE ORDERING THE VACATION (ABANDONMENT) OF THE DRAINAGE EASEMENT IN PARCEL 1 OF PARCEL MAP 8167

10. PRESENTATION OF REQUEST TO ADOPT RESOLUTION NO. 06-196 ENTITLED:

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE SUPPORTING BURLINGTON NORTHERN SANTA FE'S APPLICATION FOR A NEGATIVE DECLARATION OF THE ENVIRONMENTAL IMPACT OF ITS PROPOSED THIRD RAIL THROUGH CAJON PASS

11. PRESENTATION OF REQUEST TO AWARD A CONTRACT TO RIVERSIDE CONSTRUCTION FOR NATIONAL TRAILS HIGHWAY OVERHEAD FROM TURNER ROAD TO AIR EXPRESSWAY IN THE AMOUNT OF \$5,486,740.16 FROM THE SECOND ISSUE OF BOND PROCEEDS

12. PRESENTATION OF REQUEST TO AWARD A CONTRACT TO SIERRA PACIFIC ELECTRICAL CONTRACTING FOR THE EL EVADO/SENECA ROAD SIGNAL AND THE SENECA/CIVIC DRIVE SIGNAL FOR THE LOW BID AMOUNT OF \$440,014.40

COUNCIL REPORTS

13. PRESENTATION OF REPORTS FROM COUNCIL MEMBERS

CLOSES SESSION

14. CLOSED SESSION CALLED PURSUANT TO GOVERNMENT CODE SECTION 54956.8:

CONFERENCE WITH REAL PROPERTY NEGOTIATOR
PROPERTY LOCATION: North of Southern California Logistics Airport Area
CITY/AGENCY NEGOTIATOR: Green de Bortnowsky & Quintanilla / Inland Energy
NEGOTIATING PARTIES: Property Owner - see below

<u>Property Owner</u>	<u>APN</u>	<u>Property Address</u>
7-Star Suites Hotel	0460-241-03	No street address
Aim High	0460-241-02	No street address

CITY COUNCIL AGENDA

DECEMBER 19, 2006

Page 5 of 5

15. CLOSED SESSION CALLED PURSUANT TO GOVERNMENT CODE SECTION 54956.8:

CONFERENCE WITH REAL PROPERTY NEGOTIATOR

PROPERTY LOCATION: Amargosa Road & Eucalyptus Street & Nisqualli Road

CITY/AGENCY NEGOTIATOR: Green de Bortnowsky & Quintanilla / California

Property Specialists

NEGOTIATING PARTIES: Property Owners – see below

<u>Property Owner</u>	<u>APN</u>	<u>Property Address</u>
Bayshore LLC	3072-251-30	Amargosa Road & Eucalyptus Street
Rudolfo Padilla	3091-011-01	Nisqualli Road

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AGENDA ITEM

CITY COUNCIL REGULAR MEETING
MEETING OF: DECEMBER 19, 2006

SUBMITTED BY: Carolee Bates
City Clerk

DATE: 12/12/06

SUBJECT: PUBLIC COMMENT ON ITEMS OF INTEREST TO THE PUBLIC

RECOMMENDATION: N/A

FISCAL IMPACT: N/A

Budget Amount:
Budget Acct. No.:

--Finance Department Use Only--
Additional Appropriation:

No
 Yes/\$ Amt.:

Finance Director Review and Approval _____

DISCUSSION: State law requires that each agenda of a governing body provide an opportunity for members of the public to address the legislative body on items of interest to the public within the body's subject matter of jurisdiction.

Accordingly, this item has been placed on the agenda to afford an opportunity for public comment at this time.

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AGENDA ITEM

CITY COUNCIL MEETING OF: January 2, 2007

SUBMITTED BY: Bill Webb
Director of Development

DATE: December 18, 2006

SUBJECT: APPEAL HEARING – CONDITIONAL USE PERMIT CUP-06-064 –
VICTOR VALLEY RESCUE MISSION – RESOLUTION NO. 06-192

RECOMMENDATION: Staff recommends that the City Council evaluate the merit of this appeal and whether the Planning Commission erred in its decision.

FISCAL IMPACT: None.

DISCUSSION: At the regularly scheduled meeting held November 8, 2006, the Planning Commission, by unanimous vote, denied Conditional Use Permit CUP-06-064 to allow for a homeless outreach center and related services in the Store Front Commercial District of Old Town located at 16822 C Street. Reverend Paul D. Vyzourek is appealing the decision. Attached is a copy of the appeal letter, an excerpt of the Planning Commission minutes, and other pertinent data.

--Finance Dept. Use Only--
Additional Appropriation:

No
 Yes/\$Amount:

Finance Director Review and
Approval _____

BW:pi

EXECUTIVE SUMMARY

Conditional Use Permit CUP-06-064

PROJECT DESCRIPTION: To allow for a homeless outreach center and related services in the Store Front Commercial District of Old Town on property located at 16822 C Street.

APPLICANT:	Victor Valley Rescue Mission
PLANNING COMMISSION PUBLIC HEARING DATES:	November 8, 2006
NUMBER OF PEOPLE SPEAKING IN FAVOR:	5
NUMBER OF PEOPLE SPEAKING OPPOSED:	4
NUMBER OF WRITTEN COMMENTS IN FAVOR:	2
NUMBER OF WRITTEN COMMENTS OPPOSED:	1
STAFF RECOMMENDATION:	Denial
PLANNING COMMISSION ACTION:	Denied
PLANNING COMMISSION VOTE:	five nays

PERTINENT INFORMATION

The Victor Valley Rescue Mission's request for issuance of Conditional Use Permit CUP-06-064 – a request to allow for a homeless outreach center and related services in the Store Front Commercial District of Old town, was denied at a regularly scheduled meeting by the Planning Commission on November 8, 2006.

The decision by the Planning Commission was based on several findings including:

- a) Non-conformance with the intent, purpose and goals of the Old Town Element of the General Plan; and
- b) Non-conformance with the intent, purpose, goals and vision of the Old Town Specific Plan; and
- c) Approval of the request within the Store Front Commercial District of the Old Town Specific Plan would be contrary to the Old Town Redevelopment Plan.

Attached are responses from Andre de Bortnowsky, Assistant City Attorney and Jennifer A. Mizrahi, Deputy City Attorney responding to all portions of the appeal filed with the City Clerk. Additionally, all correspondence, reports and photographs used by the Planning Commission in their decision are attached.

/pi

RESOLUTION NO. 06-192

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE GRANTING THE APPEAL OF THE DENIAL BY THE PLANNING COMMISSION OF PROPOSED CONDITIONAL USE PERMIT CUP-06-064 TO ALLOW FOR A HOMELESS OUTREACH CENTER AND RELATED SERVICES IN THE STORE FRONT COMMERCIAL DISTRICT OF OLD TOWN ON PROPERTY LOCATED AT 16882 C STREET – VICTOR VALLEY RESCUE MISSION

WHEREAS, at a regular meeting held November 8, 2006, the Planning Commission denied Conditional Use Permit CUP-06-064, which would allow for a homeless outreach center and related services in the Store Front Commercial District of Old Town on property located at 16882 C Street in the City of Victorville, County of San Bernardino, State of California, more specifically described as:

The south easterly ½ of Lots 19 and 20, of the Town of Victorville, Map of Victorville per map recorded in Book 9, Block 25, Page 35, inclusive, records of San Bernardino County, State of California; and

WHEREAS, on, November 14, 2006, Reverend Paul D. Vyzourek filed an Appeal of the Planning Commission's action denying Conditional Use Permit CUP-06-064; and

WHEREAS, an Appeal Hearing was duly held before the City Council of the City of Victorville on the 2nd day of January, 2007 for the purpose of taking public input relative to the Appeal, and after hearing all testimony presented, the Council duly closed the appeal hearing; and

WHEREAS, the City Council, in the exercise of its discretion as the final legislative and judicatory body of the City, finds, based on substantial evidence in the record, that the Planning Commission in denying Resolution No. P-06-251 erred in its decision; and

WHEREAS, the City Council finds that the proposed site plan will not have an adverse effect on abutting property; and

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY RESOLVE AS FOLLOWS:

The City Council of the City of Victorville does hereby grant the applicant's appeal, based on substantial evidence, and so order the approval of Conditional Use Permit CUP-06-064 to allow for a homeless outreach center and related services in the Store Front Commercial District of Old Town on property hereinabove described.

RESOLUTION NO. 06-192

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE DENYING THE APPEAL OF CONDITIONAL USE PERMIT CUP-06-064 TO ALLOW FOR A HOMELESS OUTREACH CENTER AND RELATED SERVICES IN THE STORE FRONT COMMERCIAL DISTRICT OF OLD TOWN ON PROPERTY LOCATED AT 16882 C STREET – VICTOR VALLEY RESCUE MISSION

WHEREAS at a regular meeting held on November 8, 2006, the Planning Commission denied Conditional Use Permit CUP-06-064 to allow for a homeless outreach center and related services in the Store Front Commercial District of Old Town on property located 16882 C Street, County of San Bernardino, State of California, more specifically described as:

The south easterly ½ of Lots 19 and 20, of the Town of Victorville, Map of Victorville per map recorded in Book 9, Block 25, Page 35, inclusive, records of San Bernardino County, State of California; and

WHEREAS, on November 14, 2006, Reverend Paul D. Vyzourek, filed an appeal of the Planning Commission's denial of Conditional Use Permit CUP-06-064; and

WHEREAS, an appeal hearing was duly held before the City Council of the City of Victorville on the 2nd day of January 2007, for the purpose of taking public input relative to the Appeal, and after hearing all testimony presented, the Council duly closed the appeal hearing; and

WHEREAS, the City Council, in the exercise of its discretion as the final legislative and adjudicatory body of the City, finds, based on substantial evidence in the record, that the Planning Commission did not err in denying Resolution No. P-06-251; and

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The City Council of the City of Victorville does hereby deny the applicant's appeal, based on substantial evidence, and uphold the decision of the Planning Commission denying Conditional Use Permit CUP-06-064 to allow for a homeless outreach center and related services in the Store Front Commercial District of Old Town on property located at 16822 C Street.



23801 Calabasas Road
Suite 1015
Calabasas, CA 91302
818.704.0195
Fax 818.704.4729

Green, de Bortnowsky & Quintanilla, LLP
Attorneys at Law

www.gdqlaw.com

35-325 Date Palm Drive
Suite 202
Cathedral City, CA 92234
760.770.0873
Fax 760.770.1724

Direct E-mail Address:
jmizrahi@gdqlaw.com

Reply to:
Calabasas Office

MEMORANDUM

TO: Bill Webb, Director of Planning

FROM: Andre de Bortnowsky, Assistant City Attorney
Jennifer A. Mizrahi, Deputy City Attorney

DATE : December 7, 2006

RE: Memo re Responses to Victor Valley Rescue Mission's Appeal from Planning Commission's denial of Conditional Use Permit

FILE: VVCA-0006

Issue 1:

Appeal Paragraph Number 1.

SBCRM [San Bernardino County Rescue Mission] was denied due process by not being informed of an addendum to the agenda prior to the meeting time. It was our understanding that the purpose of this hearing was to decide whether or not a conditional use for a homeless outreach center would be "essential and desirable" to this area of Victorville. Since these issues were NOT permitted to be addressed this proceeding was in error.

Response:

The Rescue Mission is operating its facility in the Store Front Commercial Zone of the Old Town Specific Plan, in the heart of the City of Victorville's ("City") Old Town. The primary purpose of the Old Town Element of the General Plan is to "encourage the revitalization of the Old Town commercial and residential land uses as well as provide incentives for future development

through a set of internally consistent development guidelines.” The Planning Commission based its decision on whether the Rescue Mission was “essential and/or desirable” to the Old Town Store Front Commercial Zone. The applicant, along with several members of the public, were afforded the opportunity to give testimony both for and against whether they believed that the Rescue Mission was “essential and/or desirable” to that area.

The Planning Commission denied the Rescue Mission’s request for the issuance of a Conditional Use Permit based on several findings including, 1) allowing the Mission in the Store Front Commercial District of Old Town is in non-conformance with the intent, purpose and goals of the Old Town Element of the General Plan, 2) allowing the Mission in the Store Front Commercial District of Old Town is in non-conformance with the intent, purpose, goals and vision of the Old Town Specific Plan, and 3) allowing the Mission in the Store Front Commercial District of Old Town would be contrary to the Old Town Redevelopment Plan.

Staff presented an addendum to the staff report at the meeting regarding the background and performance of the applicant. It has long been a City policy to investigate the background and performance of applicants during the business license and conditional use permit review process in order to establish credible history. The addendum was clearly read aloud into the record prior to the opening of the public hearing. This afforded both the applicant, and any other person wishing to provide testimony, with an opportunity to be heard on the matter. The applicant was provided ample notice and an opportunity to be heard on the conditional use permit.

Issue 2:

Appeal Paragraph Number 2:

The Planning Commission was biased by the introduction of a totally unrelated issue to these proceedings. We were not given the needed time to properly respond to this issue. This precluded the Commission’s ability to act fairly rendering its decision in error.

Response:

The additional information provided in staff’s addendum was read aloud into the record prior to the opening of the public hearing. This afforded the applicant and any other person wishing to provide testimony on the addendum ample time to do so. The Planning Commission allotted the applicant ample time to provide testimony. Further, the Chairperson made it a point to allow every member in the audience ample time to speak on this matter.

Issue 3:

Appeal Paragraph Number 3.

The Planning Department presented a biased view of the Mission based on a single day of operations surrounding a yard sale and not on the day to day operations or the willingness of the

Mission to comply will [sic] any and all ordinances concerning its permitted use as a Homeless Outreach Center. The mission was portrayed as a "Homeless Shelter Facility" as defined under 18.04.380 of the Municipal Code as "a facility that provides immediate short term temporary accommodations with possible support services for persons and or families who lack a fixed, regular and adequate nighttime residence." SBCRM is not now nor has it ever been a "Homeless Shelter Facility" as defined. This misinformation caused the Commission's decision to be in error.

Response:

The Planning Department visited the Rescue Mission, took photos of its facilities, and noted several code violations. In providing evidence to the contrary, the Rescue Mission submitted photographs of its site in an effort to refute the staff's evidence. The Planning Commission looked at the photos and took all evidence into consideration before rendering its opinion.

The Planning Commission based its decision on the fact that this type of assembly use would be in contrast to the General Plan and the Specific Plan. The applicant provided testimony to clarify that it did not run a "Homeless Shelter Facility" and that it did not allow persons to stay overnight. The Rescue Mission stated that it is a homeless outreach center that provides homeless persons with food, a place to bathe, and assembly uses such as worship activities and meetings.

Issue 4:

Appeal Paragraph Number 4.

The Planning Commission's decision was biased due to slanderous remarks made by Mr. Webb during his opening statement that attacked the Missions [sic] credibility. Had the Mission been aware of his intent to attack our credibility we certainly could have answered all of these allegations with witnesses who have actually witnessed our willingness to conform to all standards set forth by law. This misinformation caused the Commissions [sic] decision to be in error [sic]

Response:

The Planning Commission's decision was strictly based on the land use regulation and the non-conformance of an assembly use in the center of the City's Old Town area. The Planning Commission denied the Rescue Mission's request for the issuance of a Conditional Use Permit based on several findings including, 1) allowing the Mission in the Store Front Commercial District of Old Town is in non-conformance with the intent, purpose and goals of the Old Town Element of the General Plan, 2) allowing the Mission in the Store Front Commercial District of Old Town is in non-conformance with the intent, purpose, goals and vision of the Old Town Specific Plan, and 3) allowing the Mission in the Store Front Commercial District of Old Town would be contrary to the Old Town Redevelopment Plan. The Planning Commission afforded the Rescue Mission a fair hearing and provided ample time for the applicant, those in favor and those opposed, to provide testimony.

Issue 5:

Appeal Paragraph Number 5.

The Planning Commission's decision is in error because it was biased by bringing forth many issues of conformity that the Mission had previously and immediately complied with prior to this meeting. These issues were used to attack our credibility. These issues should have spoken volumes about the essential and desirable attributes for the Mission's existence in Old Town Victorville.

Response:

The staff report stated that the Rescue Mission was allegedly in violation of fourteen (14) different code provisions. The Rescue Mission was provided ample time to testify, and did in fact testify, that it allegedly is no longer in violation of certain code sections. The Planning Commission weighed the relevant evidence, and then, in its discretion, determined that the project was not suited for the district where it was proposed.

Issue 6:

Appeal Paragraph Number 6:

The Planning Department presented the issue of Assembly Use as strictly not being in compliance with the special SFC zoning in Old Town and directed the Mission's representative to not make comments outside of this directive and then proceeded to permit many other comments that attacked our credibility that were unrelated to this particular issue. Assembly use is in fact a part of several permitted and conditional uses of an SFC zoned property.

Response:

The Planning Commission took all evidence and testimony into consideration and made its decision based upon findings that an assembly use in the store front commercial district is contrary to the goals and policies of the general plan and specific plan. Based upon the findings, the Planning Commission decided that an assembly use is contrary to the goals and objectives of the store front commercial district and the project was not suited for the district where it was proposed.

Issues 7:

Appeal Paragraph Number 7.

The Mission believes, concerning the permitted uses of an SCF zoned property that we could conform to the following uses as stated in the city document titled Land use Plan for Store Front Commercial District.

- 3.4.2.g *Clothing store*
- 3.4.2.q *Gift shop*
- 3.4.2.y *Household major appliance*
- 3.4.2.ii *Secondhand store*
- 3.4.3.s *Other uses if found to conform to the intent of this district*

Response to 7.

The Rescue Mission did not present evidence that its primary use was any of the above activities.

Issues 8:

Appeal Paragraph Number 8.

The Mission believes, concerning the conditional uses of an SCF zoned property that we could conform to the following uses as stated in the city document titled Land use Plan for Store Front Commercial District:

- 3.5.2 *Accessory uses; i.e. churches, clubs, social halls, lodges and theaters*
- 3.5.9 *Emergency service dispatching facility*
- 3.5.17 *Trade School*

Response:

The Planning Commission, in its discretion, based its decision on findings which included the fact that allowing the Rescue Mission in the Store Front Commercial district would be contrary to the general plan and specific plan.

CITY OF
VICTORVILLE



760-955-5000
FAX 760-245-7243
email: vville@ci.victorville.ca.us

14343 Civic Drive
P.O. Box 5001
Victorville, California 92393-5001

November 21, 2006

Reverend Paul D. Vyzourek
San Bernardino County Rescue Mission
P.O. Box 3060
Victorville, CA 92392

Re: Appeal of Denial of CUP-06-064

Dear Reverend Vyzourek:

The purpose of this letter is to confirm the receipt of your Application for Appeal and payment of the appeal fee in the amount of \$125, (Receipt No. 7202), in connection with your appeal of the Planning Commission's decision at its meeting held November 8, 2006 to deny the above-referenced Conditional Use Permit. Your appeal will be scheduled before the City Council of the City of Victorville at its meeting to be held at 7 p.m. on Tuesday, December 19, 2006 in the City Council Chambers, Victorville City Hall, 14343 Civic Drive, Victorville. You or a representative are encouraged to attend this meeting to provide any input you may have to the City Council. An agenda will be mailed to you when it is printed on Thursday, December 14, 2006. For your information, the agenda for the City Council meeting may also be viewed in its entirety by logging on to the City of Victorville website at www.ci.victorville.ca.us.

Should you have any questions or need additional information concerning this appeal, please contact me at 760-955-5026.

Sincerely,

Carolee Bates
City Clerk

/cb

cc: City of Victorville Planning Department



City of Victorville
 Department of Development
 Planning • Building • Code Enforcement

RECEIVED BY CITY CLERK

11-14-06; 3:15 p.m.
 CL

4343 Civic Drive
 PO Box 5001
 Victorville, CA 92393-5001
 (760) 935-5135
 Fax (760) 269-0070
 planning@cl.victorville.ca.us

APPLICATION FOR APPEAL

After you have completed the application, please submit it to the Planning Department for appeals of the Planning Director's decision and to the City Clerk for appeals of the Planning Commission's decision, with the appropriate fee (see below). It will then be scheduled for a hearing for consideration by the appropriate decision-making body.

Name of person filing appeal: Rev Paul D Vyzourek for Victor Valley Rescue Mission
 Address of person filing appeal: 16822 C Street Victorville, CA
 Phone number of person filing appeal: 6760 684-0047 O. 760.935-3958

FEES

Appeal of Planning Director decision to the Planning Commission	\$75	
Appeal of Planning Commission decision to the City Council	\$125	419101 10190 4000 0000

Case No. of appeal: Sup 06-064 4000-4004

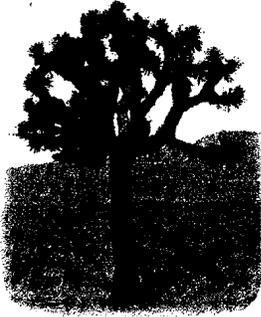
What are you appealing (i.e., the entire decision, a condition, etc.):
The entire decision

Why do you believe there was an error made in the decision?
Please see attached addendum

Signature: Paul D Vyzourek Date: 11-14-2006

FOR OFFICE USE ONLY:

Staff Initials: _____	Date Appeal Accepted: _____	Receipt No.: _____
-----------------------	-----------------------------	--------------------



San Bernardino County

Rescue Mission

formerly ~ Victor Valley Rescue Mission

Mail: P.O. 3060
Victorville, CA 92392
Locations: Mission Outreach Center
16822 C Street
"Old Town" Victorville, CA 92395
Awakening Ranch Recovery Home
El Mirage, CA 92301
Phone: (760)955-5958 * 985-1053
Director: Paul D. Vyzourek (760)684-0047

Changing Lives for Good

Date: November 13, 2006
To: City of Victorville
City Council
From: San Bernardino County Rescue Mission
Board of Directors
Subject: Addendum to Application for Appeal

Why do we believe there was an error made in the decision?

1. SBCRM was denied due process by not being informed of an addendum to the agenda prior to the meeting time. It was our understanding that the purpose of this hearing was to decide whether or not a conditional use for a homeless outreach center would be "essential and desirable" to this area of Victorville. Since these issues were NOT permitted to be addressed this proceeding was in error.
2. The Planning Commission was biased by the introduction of a totally unrelated issue to these proceedings. We were not given the needed time to properly respond to this issue. This precluded the Commission's ability to act fairly rendering its decision in error.
3. The Planning Department presented a biased view of the Mission based on a single day of operations surrounding a yard sale and not on the day to day operations or the willingness of the Mission to comply with any and all ordinances concerning its permitted use as a Homeless Outreach Center. The Mission was portrayed as a "Homeless Shelter Facility" as defined under 18.04.380 of the Municipal Code as "a facility that provides immediate and short term temporary accommodations with possible support services for persons and or families who lack a fixed, regular and adequate nighttime residence." SBCRM is not now nor has it ever been a "Homeless Shelter Facility" as defined. This misinformation caused the Commission's decision to be in error.
4. The Planning Commission's decision was biased due to slanderous remarks made by Mr. Webb during his opening statement that attacked the Mission's credibility. Had the Mission been aware of his intent to attack our credibility we certainly could have answered all of these allegations with witnesses who have actually witnessed our willingness to conform to all standards set forth by law. This misinformation caused the Commission's decision to be in error.

5. The Planning Commission's decision is in error because it was biased by bringing forth many issues of conformity that the Mission had previously and immediately complied with prior to this meeting . These issues were used to attack our credibility. These very issues should have spoken volumes about the essential and desirable attributes of the Mission's existence in Old Town Victorville.
 6. The Planning Department presented the issue of Assembly Use as strictly not being in compliance with the special SFC zoning in Old Town and directed the Mission's representative to not make comments outside of this directive and then proceeded to permit many other comments that attacked our credibility that were unrelated to this particular issue. Assembly use is in fact a part of several permitted and conditional uses of an SFC zoned property. (see 8. below)
 7. The Mission believes, concerning the permitted uses of an SCF zoned property that we would conform to the following uses as stated in the city document titled Land Use Plan for Store Front Commercial District:
 - 3.4.2.g Clothing Store (We give clothing to those who need it, sell some to others on a volunteer donation basis and use our facility to recycle unused garments)
 - 3.4.2.q Gift Shop (We give children gifts and other items such as beds and furniture to help them be more like the other kids and help their parents prevent homelessness)
 - 3.4.2.y Household major appliance (We give reconditioned appliances away to the desperately poor and needy of this area)
 - 3.4.2.ii Secondhand store (Most if not all of the items donated to the Mission are second hand and those not directly used to aid the poor are sold on a volunteer donation basis)
 - 3.4.3.s Other uses if found to conform to the intent of this district (This seems to be a judgment call and not restricted by law)
 8. The Mission believes, concerning the conditional uses of an SCF zoned property that we would conform to the following uses as stated in city document titled Land Use Plan for Store Front Commercial District:
 - 3.5.2 Accessory uses; i.e. churches, clubs, social halls, lodges and theaters
 - 3.5.9 Emergency service dispatching facility (This is exactly what we do!)
 - 3.5.17 Trade school (this would be applicable because of our job training program connected to our Recovery and Discipleship Program)
-



November 9, 2006

Mr. Paul Vyzourek
16822 C Street
Victorville, California 92392

Re: Revocation of Victor Valley Rescue Mission's Business License

Dear Mr. Vyzourek:

This letter serves as notification that the Victor Valley Rescue Mission's business license is hereby revoked. Revocation is a result of the operation of a business that is prohibited by Municipal Code Title 18.

The decision was based, in whole or in part, on the following Victorville Municipal Code Section 5.04.050 (Conformance to Zoning) which states:

No license issued under the provisions of this chapter shall be construed as permission to conduct or carry on a business at any place within the city where the conduct or the carrying on of such business is prohibited by Title 18.

Following your appeal hearing on September 5, 2006, a final determination was held in abeyance in order to afford you the opportunity to apply for a Conditional Use Permit. On November 8, 2006, the Planning Commission, at its regularly scheduled public meeting, denied Victor Valley Rescue Mission's request for the issuance of a Conditional Use Permit.

Please be aware of the following. Victorville Municipal Code 5.04.320 states:

. . . Upon a final decision by the city manager, or his or her designee, it shall thereafter be unlawful for any person to carry on the business after the permit or license has been suspended, revoked or renewal refused, unless and until the appeal process is utilized and the decision of the city manager or his or her designee, is subsequently reversed.

Paul Vyzourek
November 9, 2006
Page 2 of 2

Any licensee or permit holder aggrieved by any final decision rendered by the city manager, or his or her designee, at or after the above mentioned hearing, shall have the right of appeal to the city council. Such appeal shall be made by filing with the city, within ten calendar days from the effective date of the service of notice of the action taken by the city manager or, his or her designee, a written statement setting forth the specific grounds of appeal. Upon a timely notice of appeal in proper form, the city clerk shall set the appeal hearing for a regularly scheduled city council meeting or a special meeting not later than thirty days after receipt of request for appeal or review, unless such requirement is waived by the licensee or permit holder. Notice of such hearing shall be given to the appellant not less than five days prior to the hearing, as described in this subsection, unless notice is waived in writing by the appellant. The licensee and his or her attorney may be present and may submit evidence at the appeal hearing. The appeal hearing shall not be continued by the city council without the applicant's consent. Within a reasonable time after the appeal hearing, the city council shall render a final decision regarding suspension, revocation or renewal. **The decision and order of the city council at or after such hearing shall be final and conclusive.**



Jon B. Roberts
City Manager

JBR:mw

Excerpt of Planning Commission Minutes
November 8, 2006 Meeting
CUP-06-064

“Mr. Webb outlined the staff report and noted the reason this came to Staff’s attention was due to complaints of numerous violations occurring at the site. Code Enforcement visited the site and found numerous violations, which Mr. Webb then identified as failure to conform to zoning, violation of the nuisance ordinance, failure to apply and obtain a conditional use permit as well as various other business licenses and municipal code permits. In addition, there were Fire Code violations, property maintenance violations and County Health and Safety Code violations. Staff’s main concern was the health and safety violations occurring with regards to the preparation of food being served to the public, however it also brought to Staff’s attention the fact that this was not a permitted use in Old Town.

In checking the initial business license, it was noted that the use was listed as a homeless outreach center that was similar to an office use, not a homeless facility where food was being served. After the initial business license had been approved, the business filed additional paperwork with the business license department giving a further explanation of what they did, in an attempt to obtain some type of financial aid. Planning staff was unaware of this so the complaints regarding the business were the first time Planning was made aware that the business was in violation of the zoning code. Staff was looking at the use as an assembly use and read, for the record, the centers description of the types of uses available at the center. The description read, “Assembly uses for recovery classes, discipleship training classes, twelve-step group meetings and bible studies.” Additional related services proposed by the applicant were, “distribution of clothes, house wares and food to low-income individuals.” It also included a request to allow the facility as a location for individuals to receive mail and messages as well as providing them open restrooms, free coffee and water as well as meals. Mr. Webb stated, by definition, this was an assembly use, which was not permitted as a primary use in the Old Town Specific Plan. Mr. Webb went on to explain that the word assembly did not necessarily mean “Church,” assembly was when a large group assembles for any of the items listed in the description. During the investigation process, it was found that the use was not only in violation of the Old Town Specific Plan, but the General Plan and the Redevelopment Plan for the intent of the Store Front Commercial area of the Old Town Specific Plan. As a result of the investigation, Staff requested that they apply for a conditional use permit so the Commission could determine whether the use was appropriate for the area, while they were correcting the other violations.

Mr. Webb then read an addendum to the staff report based upon further researching the business and their other businesses throughout the city. The addendum covered numerous other violations at a single-family residence within the Brentwood community, showing that the applicant had a history of failure to demonstrate credible performance and obedience to the law, which supported Staff’s recommendation for denial of the conditional use permit for the outreach center. That being said, Mr. Webb requested that the consideration of the Commission be focused upon the actual non-compliance to the zoning of the area, which was Store Front Commercial District as stated in the Old Town Specific Plan, the non-compliance with the General Plan and the non-compliance with the Redevelopment program.

Chairman McEachron opened the public hearing at 7:26 p.m. and requested that anyone wishing to speak on the item keep their comments relevant to the issue of zoning

and non-compliance. He also noted that the Commission could not take into account other issues when rendering a decision on this application.

Mr. Webb reiterated to the Brentwood community members in the audience that the City had notified the proper authorities regarding the single-family residence in that area. In addition, the City had denied a business license for the residence and citations had already been issued.

Paul D. Vyzourek, Executive Director of the Victor Valley Rescue Mission, 15083 Roan Circle, Victorville, addressed the Chair requesting more than three minutes to speak and stated Mr. Webb was misinformed by his staff. Mr. Vyzourek presented the Commission with color photos of areas where the rescue mission had complied with violations.

Mr. Webb clarified that he had stated that the mission had been complying with the violations that had been issued.

Chairman McEachron requested that Mr. Vyzourek focus on why he believed that the mission fit within the zoning in the Old Town Specific Plan with respect to the type of business he was running at that location. The violations Mr. Webb addressed were only to provide the Commission with background information and would not be taken into consideration when making a decision on the conditional use permit.

Mr. Vyzourek stated that it showed credibility. He went on to state the reason he was before the Commission, which was for approval of an assembly use. An assembly use was more than fifteen people in a 2,400 square foot building. Several years ago, when he started the rescue mission, he applied for a business license and every year it came in the mail. He filled the application out accurately and for two years he clearly stated the business was no longer a thrift store but a homeless outreach center. He called people in Planning and was told not to worry about it, that he had received his business license. Finally, because he had an agreement with the property owner, Miguel Orosco, to obtain a business license, last December he insisted that he go through the process. He put in the applications and requested inspections be done. Building, Code Enforcement, the Fire Department and the Health Department all came to the location and gave him a list of items that needed to be brought into compliance. On March 20th of this year, they were given their business license for a homeless outreach center and allowed occupancy of fifteen people in a building of over 2,400 square feet. Consequently, they had been operating as an outreach center from that time on. Not until they held a yard sale, one of only two they had in the three years they had been at that address, Code Enforcement came and took pictures showing how terrible they ran the center. The reality was that they normally kept the center spic and span and except for that one-day, when they had a jump house in the alley, they never restricted egress to anything. He felt the staff report on the day-to-day operation of the mission was being based on a one-day event and that wasn't correct. The mission was cited in the revocation process as a shelter and he stated that the rescue mission had never been a shelter. They had never housed people at the mission, as there were no facilities to do that. The health department came in and questioned whether they prepared meals on the premises and he responded that they did not. They had never prepared meals there; they had, however, served meals. They provided pre-packaged meals to people after they attended a religious service. Mr. Vyzourek continued to address the issues of compliance on items they had been cited for.

Chairman McEachron stated no one was arguing with the fact that the mission was complying with items they had been cited for and instructed Mr. Vyzourek to address the issue of why an assembly use should be permitted in that area.

Mr. Vyzourek stated because they were providing a need that was special to the community of Victorville and would address that if...

Chairman McEachron instructed Mr. Vyzourek to stop addressing the compliance issues and address the zoning issue.

Mr. Vyzourek stated he was finished with the compliance issues.

Chairman McEachron again requested that Mr. Vyzourek move on.

Mr. Vyzourek stated the mission was essential and desirable. Those were the two criteria that had to be met for an assembly use or for any conditional use. Since the year 2000, the mission had been part of a solution to prevent a homeless problem by providing needed items to poor families. This was something everyone seemed to be forgetting. There were poor families in the Old Town District that, if not helped with the most basic needs, would become homeless. The problem would increase and the mission was a part of preventing that problem. Over 50% of the people they helped were families with children. No one wanted to be confronted by the poor and the mission was a place, out of public site, for them to go during the day. The location of the mission was essential to their intake process and as a local entity they had brought in over \$200,000.00 this year to the local economy. The mission was supported by constituents of people within Victorville and the Victor Valley as a whole and not by public funds. Finally, Mr. Vyzourek stated the 3,000 plus supporters, the Board of Directors and volunteers joined together to urge the Commission to approve Resolution P-06-251 for the betterment of the community.

Marilyn Vyzourek, 15083 Roan Circle, Victorville, addressed the Chair as a member of the Board of Directors of the Mission and stated the rescue mission offered a program to men that would enable them to get out of the Old Town neighborhood, out of Victorville and out to El Mirage. The minute they joined the program they were sent out to El Mirage where they could get their lives together and return back home. She felt this was a solution to the homeless problem in the Old Town area.

Reverend Harvey Whitaker, 13160 Olathe Road, addressed the Chair and stated he had been associated with the Victor Valley Rescue Mission for approximately one year. In addition, he was Pastor of the Loving Hearts International Ministries in Hesperia and represented many other organizations. His ministries had donated numerous things including money, food, services, etc. to help the rescue mission. He personally had witnessed eight people that had made a 180-degree turn in their life due to the services rendered at the mission. Not all the people served by the mission were homeless, some were local residents that came to the mission to get food because they ran out of money. He felt the mission was essential to the development of Old Town Victorville and had the support of numerous Baptist churches in the Victor Valley.

Ray Piccini with Beck Oil, Inc., 16640 'D' Street, Victorville, addressed the Chair and stated Beck Oil was a vendor to the mission. He had visited both the camp in El Mirage and the facility in Old Town and felt the environment was very clean and comfortable. He supported the mission in the Old Town area of Victorville.

Miguel De Jesus Orozco, 11335 Lemming Street, Lakewood, CA, addressed the Chair and stated he was the owner of the mission property and knew of at least ten people that the

mission had helped to turn their lives around. He noted that numerous businesses had failed in the last sixteen years at that location and when he purchased it the property was a mess. He requested that the Commission approve the conditional use permit because he felt, if the mission had to move, the property would return to being a mess and no one would want to put a store in that area.

Dane Davis, Pastor of First Christian Church, 14422 Chamberlain Drive, Victorville, addressed the Chair and stated he hadn't even realized the mission was there until a few months ago and felt it was an ideal location for a rescue mission. For the last six years, his church had a food and clothing pantry that distributed to well over 100 families. It was decided by their leadership team to close that down because they realized the Victor Valley Rescue Mission was doing a better job than they were. He strongly encouraged the Commission to grant the conditional use permit.

Mark Ward, 15582 10th Street, Victorville, addressed the Chair and stated he had lived there since 1987. He noted that he had submitted a letter that was part of the agenda item and added that the issue was not a homeless issue; it was the wrong business in the wrong zone. He felt there was an over abundance of such services in the area, including the High Desert Homeless Services and that it was unfair for Old Town Victorville to house the entire Victor Valley's population of people that chose not to change their way of life. He closed his comments by stating the Old Town Property Owners were not saying they did not want this in their back yard, they were saying their back yard was full.

Michelle Overton, 14420 Hunt Ridge Drive, addressed the Chair and attempted to read her comments to the Commission regarding the property on Windmill Road.

Mr. Vyzourek stood and stated that had nothing to do with the mission.

Ms. Overton stated it had to do with the two pedophiles.

Mr. Vyzourek stated that nothing could be said about Windmill.

Mr. Webb stated he did not say nothing was to be said about Windmill.

Mr. Szarzynski requested the audience come to order.

Mr. Vyzourek questioned what Windmill had to do with Old Town.

Ms. Overton read her comments to the Commission that expressed grave concerns about allowing pedophiles to reside in the Brentwood community.

David Luce, 14583 Windmill Road, addressed the Chair and expressed his concern for his three children under the age of fourteen that lived next door to the house on Windmill Road. He was distressed that a rescue mission would have no concern for the surrounding residents or their children. He was also concerned that the mission had repeatedly violated State and City laws. He felt there should be penalties and consequences regarding such behavior. He requested that the City deny the business license for the house on Windmill Road.

Chairman McEachron clarified that the issue on Windmill Road was only related to the rescue mission by way of the same business running both projects. The Commission was not

making a decision on what was occurring at the Windmill Road residence. He requested that Mr. Webb reiterate on the events regarding Windmill Road.

Mr. Webb reiterated that the City had denied the business license for the Windmill Road address.

Mr. Vyzourek stated he would comply with that issue as they had complied with everything else that had been requested.

Chairman McEachron requested that Mr. Vyzourek sit down and stated his outburst was uncalled for.

Christina Luna, 14405 Windmill Circle, addressed the Chair and stated she was not against the rescue mission per se, however she worked at an elementary school for children that had no voice and lived directly across the street from the house in question. Her concern was for her community and wanted the pedophiles out of her neighborhood.

Michael James, 14419 Huntridge Drive, Victorville, addressed the Chair and stated the rescue mission broke the law a few times and felt the conditional use permit should be denied as a result of that.

Karina Quezada, 14559 Windmill Road, addressed the Chair and stated she understood that the Commission was not addressing the Windmill issue, however, she understood that they could address the credibility of the applicant. She felt the applicant had no credibility and it appeared to her that Mr. Vyzourek had no concern for the residents when he placed the individuals in the house on Windmill.

Olga (last name no stated), 14591 Windmill Road, addressed the Chair and stated she had been molested and every time she had to walk to her mailbox, which was right next to where someone who molested a child lived, it brought back a lot of memories. She felt those residents needed to move to a facility away from children. She could not understand why Mr. Vyzourek would put a pedophile in an area full of children. She noted that Mr. Vyzourek stated he helped families and questioned why he didn't place a needy family in that home.

Larry Huber, President of the Old Town Property Owners Association, 16454 Villa Drive, Victorville, addressed the Chair and stated he had been in Victorville forty years and had seen Old Town Victorville deteriorate and now start to revive. The City had spent 1.3 million dollars or more on an Old Town Strategic Action Plan and advised the mission's property owner to read the plan. He noted that currently there was no zoning for the type of operation Mr. Vyzourek was running in Old Town. The issue was zoning and the property was not zoned for the type of business they were running and did not meet the specific purpose or intent of the Old Town Specific Plan. He questioned whether the business was the San Bernardino County Rescue Mission or the Victor Valley Rescue Mission as he had seen information referring to both at the same address. In conclusion, Mr. Huber stated the mission should move to a location with the proper zoning.

Chairman McEachron questioned whether there was anyone else present wishing to address the Commission on the proposed project.

Members of the audience questioned how they could obtain additional information on what was happening regarding the house on Windmill Road and Mr. Webb stated they could contact Jorge Duran in Code Enforcement for additional information.

There being no further testimony, Chairman McEachron closed the public hearing at 8:09 p.m.

Commissioner Hinojos stated he had been living in Victorville for fifty-six years and grew up just a block away from where the mission was located. He felt the work the mission did was noble and needed, however there were also hard working families living in that area that the Commission needed to take into consideration. There had been testimony related to the problems of drugs and prostitutes and he pointed out that the Commission had the responsibility to eliminate existing problems as well as allow businesses that were in accordance with existing zoning. Staff provided information as to why the business was not in conformance with current City ordinances and the Old Town Specific Plan; therefore he motioned to deny Resolution P-06-251 based upon Staff's findings.

The motion was seconded by Commissioner Porter and carried by unanimous vote of the Commission.

Chairman McEachron called for a short recess at 8:12 p.m. in order to allow time for anyone wishing to leave.

Chairman McEachron called the meeting back to order at 8:15 p.m.”

MEMORANDUM



DATE: November 8, 2006
FROM: Bill Webb, AICP
Director of Development
TO: Chairman and Planning Commissioners

SUBJECT: ADDENDUM TO STAFF REPORT: VICTOR VALLEY RESCUE MISSION
OUTREACH CENTER: CUP-06-064

AGENDA ITEM NO. 28

It is City policy to investigate the background and performance of applicants during the business licensing and conditional use permit review processes in order to establish a credible history. Since the time of the writing of the Planning Commission Staff Report, such investigation has uncovered several City and State violations that the Rescue Mission has incurred on another property within the City of Victorville that Staff finds relevant to the Planning Commission's review.

These violations have occurred at a "transitional house" located at 14579 Windmill Road, within the Brentwood neighborhood. The Rescue Mission leased the property from the owner and has subleased it to four individuals as part of the transitional housing program, in violation of both State and City laws. The violations include:

- 1) **California Penal Code Section 3003.5:** Housing two known sex offenders in a single-family residence;
- 2) **Victorville Municipal Code Section 5.04.670:** Failure to obtain a business license for operation of a boarding house in a single-family residence;
- 3) **Victorville Municipal Code Section 5.04.670:** Failure to obtain a business license for renting a single-family residence;
- 4) **Victorville Municipal Code Section 18.16.040:** Violating regulations that prohibit renting more than one room in a single-family residence.

Staff has denied a business license request for this property, alerted the proper authorities of the State violation, and cited the Rescue Mission for the City code violations.

Therefore, Staff finds that these actions are indicative of the Mission's history of failure to demonstrate credible performance and obedience to the law, and thus supports our recommendation for conditional use permit denial at the Outreach Center.



PLANNING COMMISSION STAFF REPORT

DATE: November 8, 2006 **AGENDA NO. 28**

CASES: CUP-06-064

SUBJECT: To allow for a homeless outreach center and related services in the Store Front Commercial District of Old Town.

APPLICANT: Victor Valley Rescue Mission

LOCATION: 16822 C Street

I. STAFF RECOMMENDATION:

That the Planning Commission take the following actions:

Conditional Use Permit - Staff recommends denial of Resolution No. P-06-251 denying Case No. CUP-06-064 based upon:

- a) Previous and current code violations;
- b) Non-conformance with the intent, purpose and goals of the Old Town Element of the General Plan;
- c) Non-conformance with the intent, purpose, goals and vision of the Old Town Specific Plan;
- d) Non-conformance with the Old Town Redevelopment Plan.

II. SUMMARY:

The applicant is requesting approval for the continuing operation of what they describe as a "Homeless Outreach Center" and related services including assembly uses for recovery classes, discipleship training classes, 12 step group meetings and bible studies. Additional related services proposed by the applicant are distribution of clothes, house wares, furniture and food to low-income individuals. This proposal also includes a request to allow the facility to be used as a location for individuals to receive mail & messages as well as providing open restrooms and free coffee and water to individuals in the Old Town area.

These uses are not permitted as primary uses in the Store Front Commercial (SFC) District of the Old Town Specific Plan.

III. STAFF ANALYSIS:

Conditional Use Permit.

a) Code Violations.

The site has incurred numerous Victorville Municipal Code violations in the past (as witnessed by the attached photos) including the following:

- **V.M.C. 5.04.050 Conformance to zoning**

"No license issued under the provisions of this chapter shall be construed as permission to conduct or carry on a business at any place within the city where the conduct of the carrying on of such business is prohibited by Title 18."

Violation:

- Alleged illegal operation of a prohibited use/ unpermitted operation of a homeless homeless shelter in violation of the Old Town Specific Plan Store Front Commercial zoning regulations.

- **V.M.C. 5.04.060 Nuisance prohibited**

"No license issued under the provisions of this chapter shall be construed as permission to conduct or carry on a business in such a manner as to create a nuisance."

Violation:

- Conducting a business in such a manner as to allow and maintain a nuisance by allowing large amounts of people to loiter, restricting side walks and street access throughout all hours of day and night and as reported by the Victorville Police Department and local businesses thus, jeopardizing the safety, health, comfort or response to the public.

- **V.M.C. 5.04.100 Application-Contents**

"An application for a license under this chapter must state the nature or kind of business for which the license is required, the place where such business will be carried on or conducted, the name of the owners of the business and must be signed by the applicant. ...The applicant must notify the city manager or collector of any change in facts stated in the application within fifteen days of such change."

Violation:

- Illegal operation of an unlicensed/ unapproved homeless shelter or public eating facility business not described, listed, or approved by the City Manager as an extension of the approved business license for Victor Valley Rescue Mission.

- **V.M.C. 6.08.010 New Business**

"(a) Any person, firm or corporation intending to operate any place or business required by this title to have a permit, which is not in existence on the effective date of this code shall before opening or operating such place of business make application to the health officer upon a form provided by such health officer giving the name of the owner or owners, manager or managers thereof, the location, and such other information as the health officer may require for the administration of this code.

(b) This application shall include a signed statement that such applicant will observe the provisions of this code, and all other applicable statutes, ordinances, rules and regulations.

(c) Following receipt of application by the health officer, he shall make or cause to be made an inspection of the premises, and, if the provisions of this code have been complied with, he shall so certify that fact to the applicant and issue a permit to operate, upon a form approved by the health officer; provided, that such permit may be issued by the health officer without making such an inspection if his

experience and knowledge of the premises affords him reasonable assurance of compliance with the provisions of this code."

Violation:

- Illegal operation of an unpermitted public eating place or food handling facility located in an uninspected food preparation area (as required to be inspected by a health officer) containing a large stock of ready-to-serve food within the building.
- **V.M.C. 6.12.020 Permits Required**
"It is unlawful to operate or permit to be operated any public eating place or food handling place without an unrevoked permit, issued in accordance with the provisions of this code."

Violation:

- Illegal operation of an unpermitted public eating place or food handling facility located in an uninspected food preparation area (as required to be inspected by a health officer) containing a large stock of ready-to-serve food within the building.
- **V.M.C. 8.05.020 Findings and adoption of the California Fire Code**
*"(a) Findings. The city council hereby finds and determines:
(2) That the Uniform Fire Code, 2000 Edition, and the Uniform Fire Code Standards, adopted by said organizations, are nationally recognized compilations of proposed rules, regulations and standards of said organizations."*

Violations:

- Illegal latching devices installed.
- Illegally/ improperly installed propane tank used to fuel water heater.
- No Haz-Mat permit obtained for large propane source.
- **V.M.C. 13.02.115 Property Maintenance**
*"It is unlawful and considered a nuisance for any person owning, leasing, occupying or having charge or possession of any real property in this city to allow any of the following listed conditions to exist that are visible from adjoining properties or any public right-of-way:
(1) The open or outside storage and/or accumulation of packing boxes or containers, broken/discarded furniture, household goods, fixtures or equipment, appliances, clothing or other such personal property items;
(2) The open or outside storage and/or accumulation of cans, bottles, lumber, wood, scrap metals, junk, trash, debris, refuse or other salvageable materials. Exceptions are trash or refuse items awaiting collection by the sanitation department in compliance with this code and the stacked firewood for use by the occupant of a residence on the premises..."*

Violations:

- Permitting/ creating a nuisance by allowing the accumulation of vast amounts of containers, broken/ discarded furniture, household goods, appliances, clothing and junk/ debris throughout the property.
- Prohibited/ unpermitted storage of two large trailers located at the rear of the property. Failure to obtain a temporary storage trailer permit.

- **V.M.C. 13.02.130 Nuisances Designated Generally**

"A nuisance is a thing, act, occupation or use of property which does any of the following:

- (a) Annoys, injures or endangers the safety, health, comfort or repose of the public;*
- (b) Unlawfully interferes with, obstructs or tends to obstruct or render dangerous for passage a public park, square, street, alley or highway..."*

Violations:

- Permitting/ creating a nuisance by allowing the accumulation of vast amounts of containers, broken/ discarded furniture, household goods, appliances, clothing and junk/ debris throughout the property.
- Conducting numerous amounts of unpermitted outdoor sales events blocking access to the alley located on the east side of the building and affecting the ordinary use by the public of streets, alleys, or sidewalks.

- **V.M.C. 13.02.140 Nuisances Affecting Health**

"The following are nuisances affecting health:

- (h) All other acts, omissions of acts, occupations and uses of property which are deemed by the county health department to be a nuisance to the health of the inhabitants of this city or any considerable number thereof."*

Violations:

- Illegal operation of an unpermitted public eating place or food handling facility located in an uninspected food preparation area (as required to be inspected by a health officer) containing a large stock of ready-to-serve food within the building.
- Permitting/ creating a nuisance by allowing the accumulation of vast amounts of containers, broken/ discarded furniture, household goods, appliances, clothing and junk/ debris throughout the property.

- **V.M.C. 13.02.150 Nuisances Affecting Health, Safety and Welfare**

"The following are nuisances affecting public health, safety and welfare:

- (5) Obstructions and excavations affecting the ordinary use by the public of streets, alleys, sidewalks or public grounds except under such conditions as are provided by law;*
- (6) Any use of property abutting upon a public street or sidewalk or any use of a public street or sidewalk which causes large crowds of people to gather, obstructing traffic and the free use of the streets and sidewalks;*
- (8) All other conditions or things which are liable to cause injury to the person or property of anyone..."*

Violations:

- Conducting numerous amounts of unpermitted outdoor sales events blocking access to the alley located on the east side of the building and affecting the ordinary use by the public of streets, alleys, or sidewalks.
- Permitting/ creating a nuisance by allowing the accumulation of vast amounts of containers, broken/ discarded furniture, household goods, appliances, clothing and junk/ debris throughout the property.

- **V.M.C. 13.02.170 Creating, Permitting, etc., Nuisances Prohibited**

"Any person who knowingly causes or creates a nuisance or permits any nuisance to be created upon or to remain upon any premises owned or occupied by him is guilty of a violation of this code."

Violations:

- Permitting/ creating a nuisance by allowing the accumulation of vast amounts of containers, broken/ discarded furniture, household goods, appliances, clothing and junk/ debris throughout the property.
- Conducting a business in such a manner as to allow and maintain a nuisance by allowing large amounts of people to loiter, restricting side walks and street access throughout all hours of day and night and as reported by the Victorville Police Department and local businesses thus, jeopardizing the safety, health, comfort or response to the public.

- **V.M.C. 15.04.020 Code Adoption**

"One copy of the Uniform Building Code, 1997 Edition, prepared and published by the International Conference of Building Officials, having been filed in the office of the city clerk, such code hereinafter modified, is designated and adopted by reference as the building code of the city."

Reference: California Building Code 109.1 Use and Occupancy: No building or structure shall be used or occupied, and no change in the existing occupancy classification of a building or structure or portion thereof shall be made until the building official has issued a certificate of occupancy therefore as provided herein.

Violation:

- Exceeding the approved use and occupation of the issued Certificate of Occupancy (issued and classified as occupancy group B) by maintaining an illegal public eating place or food handling facility and an alleged illegal homeless shelter inconsistent with the uses approved by the Building Official.

- **V.M.C. 18.06.030 Rules of Application**

"No building or structure shall be erected, reconstructed or structurally altered or enlarged, nor shall any building, structure or land be used for any purpose except as hereinafter specifically provided and allowed in the district in which such building, structure or land is located."

Violations:

- Illegal operation of an unlicensed/ unapproved homeless shelter or public eating facility business not described, listed, or approved by the City Manager as an extension of the approved business license for Victor Valley Rescue Mission.
- Conducting numerous amounts of unpermitted outdoor sales events blocking access to the alley located on the east side of the building and affecting the ordinary use by the public of streets, alleys, or sidewalks.
- Prohibited/ unpermitted storage of two large trailers located at the rear of the property. Failure to obtain a temporary storage trailer permit.

- **V.M.C. 18.47.020 Land Use Regulations**
"All land use regulations, including, but not limit-ed to, uses allowed and development standards, shall be those as set forth in the adopted specific plan."

Violations:

- Homeless shelters are neither a permitted nor a conditionally permitted use within the Store Front Commercial (SFC) District of the Old Town Specific Plan (SP-1-95).
- Unpermitted events held in public right-of-way with no Planning Division approval. Engineering Department approval was granted for a "Parade Permit" to close and block of public right-of-way, however no Planning Division approval was give for events held in said right-of-way.

b) **General Plan.**

Purpose of the Old Town Element *"The intent of the Old Town Community Plan Element is to encourage the revitalization of the Old Town commercial and residential land uses as well as provide incentives for future development through a set of internally consistent development guidelines."*

Approval of the proposed use will not encourage the revitalization of Old Town as witnessed by the Code Violations listed earlier, specifically, the need for a code violation and citation notices in order to regulate the sites accumulation of junk/ debris as well unpermitted events. The Planning Commission should consider the past violations as means to gauge future operations of this facility.

Goal 2 of the Old Town Element *"Any revitalization effort should recognize the need to integrate physical development with economic and social programs."*

As noted in the *"Purpose of the Old Town Element"* revitalization should take place through *"internally consistent development guidelines."* Approval of this proposal would directly oppose the purpose of this element as homeless shelters and assembly uses (i.e. churches, boarding houses, community club houses, etc.) are conditional uses within the Residential Apartment (R-A) District, thus fulfilling the revitalization efforts need to integrate social programs in an area not designated for commercial uses.

c) **Old Town Specific Plan.**

Intent and Purpose of the Old Town Specific Plan *"The specific plan also serves to create standards which enable the City to assess and ensure that new uses and developments, both public and private, further the goals, objectives and policies of The Old Town Community Plan Element."*

Approval of the proposed assembly use will not further the goals, objectives or policies of The Old Town Community Plan Element as its approval would directly conflict with the purpose and goals of The Old Town Community Plan Element as noted earlier.

Vision Statement for the Old Town Specific Plan *"The key to revitalization of The Old Town is to create an atmosphere which attracts people, activities and commerce back to the area."*

This proposal will not further the realization of this vision. Staff finds that if permitted, a "homeless outreach center" and its assembly uses within the SFC District will deter shoppers as well as potential businesses and employees (as witnessed in submitted letters from neighboring property and business owners) and will therefore hinder the areas potential for economic and redevelopment vitality.

Intent of the Store Front Commercial District of the Old Town Specific Plan is to create pedestrian oriented downtown area that *"...encourages interaction between businesses and pedestrians" as well as "...serve(ing) local employees and residents while attracting shoppers, from throughout the region to experience the unique shopping environment."*

Staff notes that the proposed uses will neither encourage interaction between businesses and pedestrians nor will it draw shoppers from local markets let alone on a regional scale.

d) Victorville Redevelopment Agency - Old Town Redevelopment Plan

Victorville Redevelopment Agency – Redevelopment Plan Goal # 1 “Balance the demographic and infrastructure requirements of commercial users to successfully attract and sustain a vibrant retail environment.”

An assembly use as a primary use within a Store Front Commercial District will fail to fulfill the purpose of Redevelopment Plan Goal #1. Assembly uses, especially those aimed at homeless outreach, drug and alcohol related programs and low-income assistance programs will not attract and sustain a vibrant retail environment.

Environmental Assessment.

- Exempt pursuant to Section 15301 of the California Environmental Quality Act – Existing Facilities.

IV. SITE CHARACTERISTICS:

	Existing Land Use	General Plan	Zoning	Specific Plan
Site	V.V. Rescue Mission	Specific Plan	Store Front Commercial	SP-1-95
North	Vacant	Specific Plan	Store Front Commercial	SP-1-95
South	Vacant	Specific Plan	Store Front Commercial	SP-1-95
East	Single Family Residence	Specific Plan	Store Front Commercial	SP-1-95
West	Tire Repair	Specific Plan	Store Front Commercial	SP-1-95

NUMBER OF RADIUS LETTERS MAILED: 28

AJ

THE STAFF RECOMMENDATION MAY BE ACCEPTED OR REJECTED BY THE PLANNING COMMISSION AFTER THEIR OWN ANALYSIS AND CONSIDERATION OF PUBLIC TESTIMONY PRESENTED AT THE HEARING. THE PLANNING COMMISSION DECISION CAN BE APPEALED TO THE CITY COUNCIL WITHIN 10 DAYS OF THE PLANNING COMMISSION ACTION.

RESOLUTION NO. P-06-251

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VICTORVILLE GRANTING CONDITIONAL USE PERMIT CUP-06-064 TO ALLOW FOR A HOMELESS OUTREACH CENTER AND RELATED SERVICES

WHEREAS, an application has been received from Victor Valley Rescue Mission regarding property in the City of Victorville, County of San Bernardino, State of California, particularly described as follows:

The south easterly ½ of Lots 19 and 20, of the Town of Victorville, Map of Victorville per map recorded in Book 9, Block 25, Page 35, inclusive, records of San Bernardino County, State of California; and

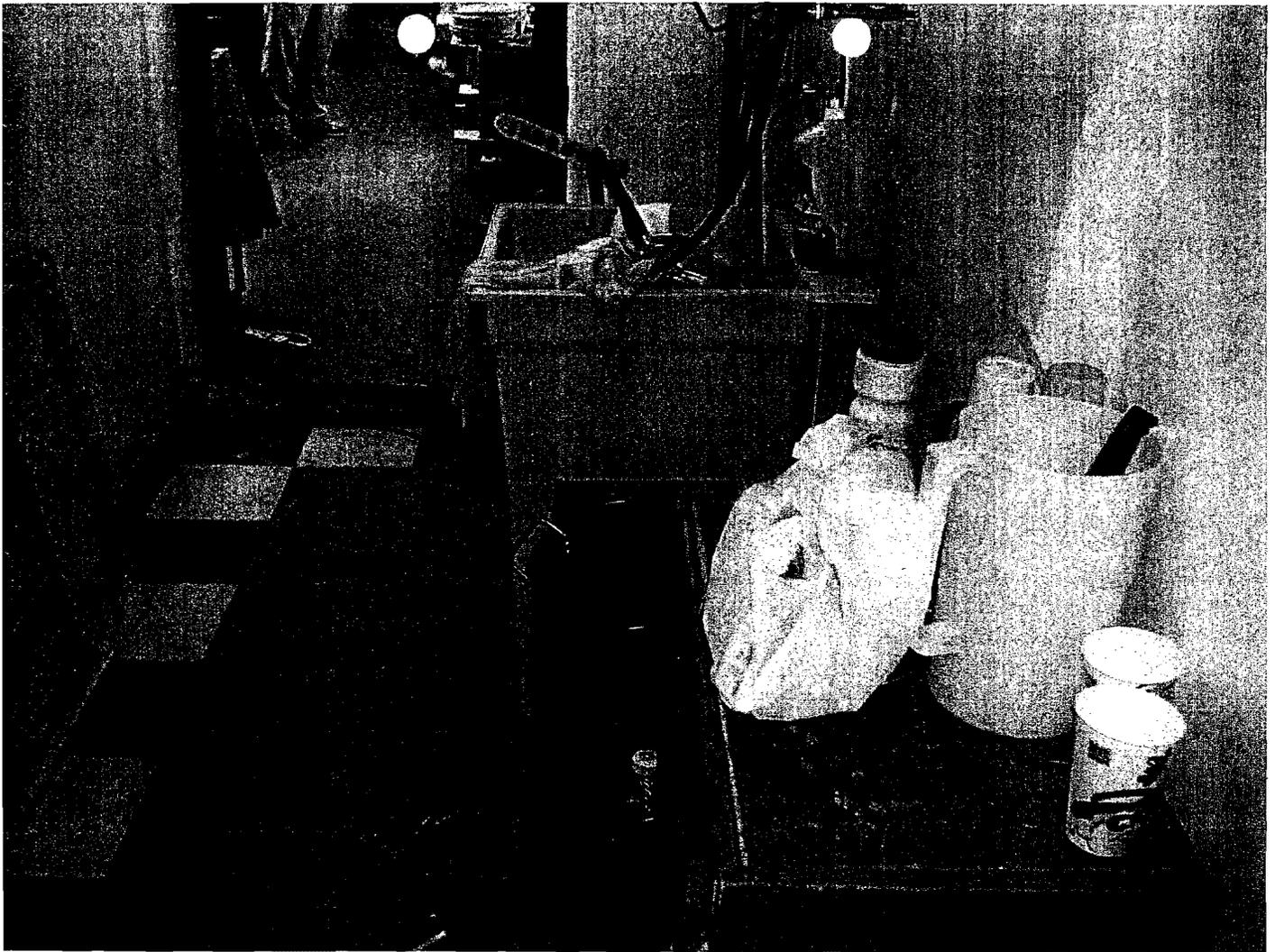
WHEREAS, a public hearing was opened on the 11th day of October, 2006 and closed on the 8th day of November 2006, pursuant to Title 7, Division I, Chapter 4, of the Government Code, State of California, to hear arguments for and against the issue; and

WHEREAS, this project has been determined to be categorically exempt from the California Environmental Quality Act (CEQA) based upon CEQA Guidelines Section 15301; and

WHEREAS, the Planning Commission finds that the site is adequate in size to accommodate the proposed use along with adequate development standards to insure land use compatibility; and

WHEREAS, the Planning Commission finds that the proposed use is properly related to other uses in the vicinity and will have no adverse effect on abutting property;

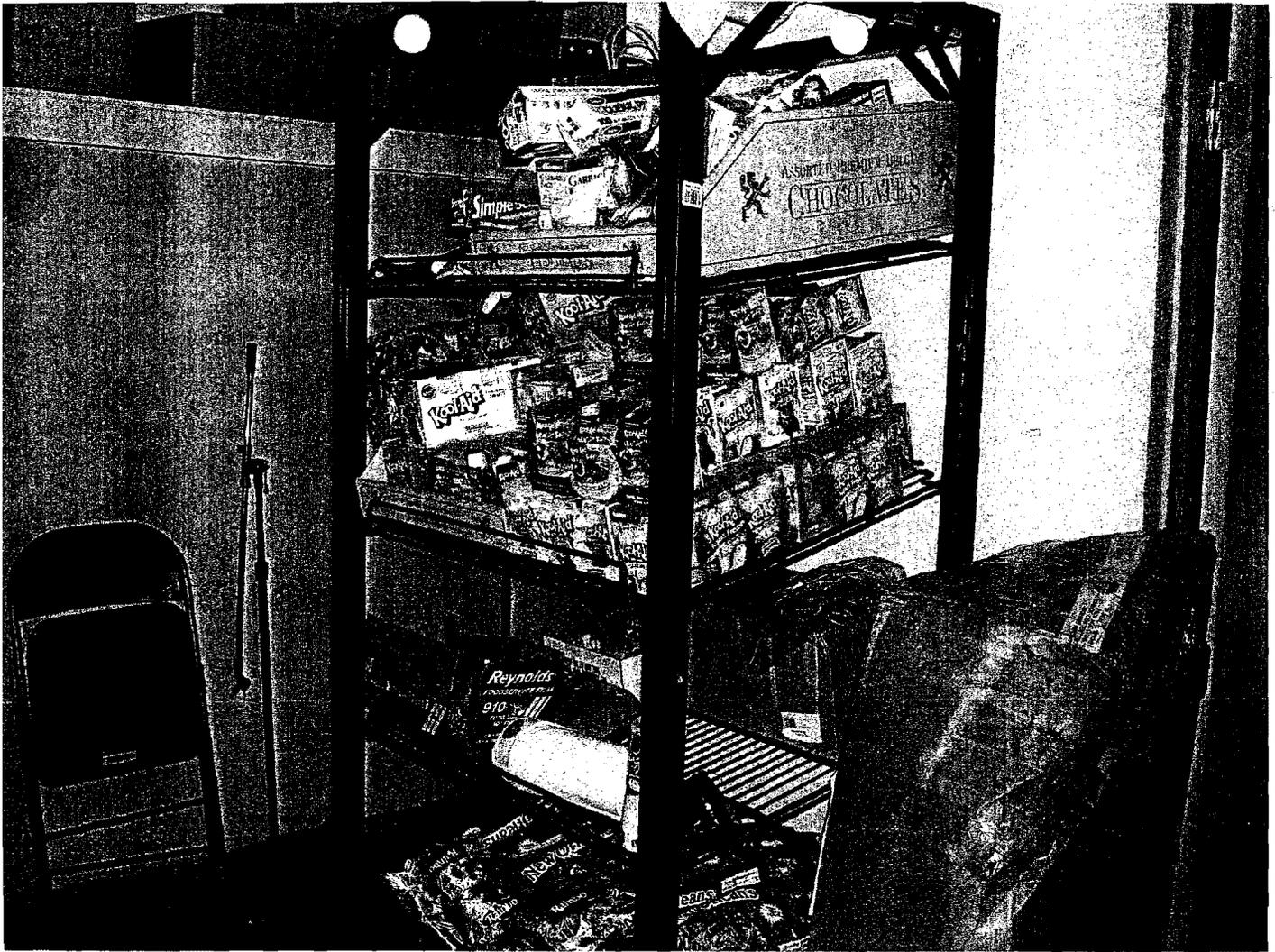
NOW, THEREFORE, BE IT RESOLVED by the Planning Commission, pursuant to Section 18.74.040 of the Victorville Municipal Code, that Conditional Use Permit CUP-06-064 to allow for a homeless outreach center and related services on property hereinabove described, be granted the applicant subject to the following conditions of approval:



8/4/06



8/4/06

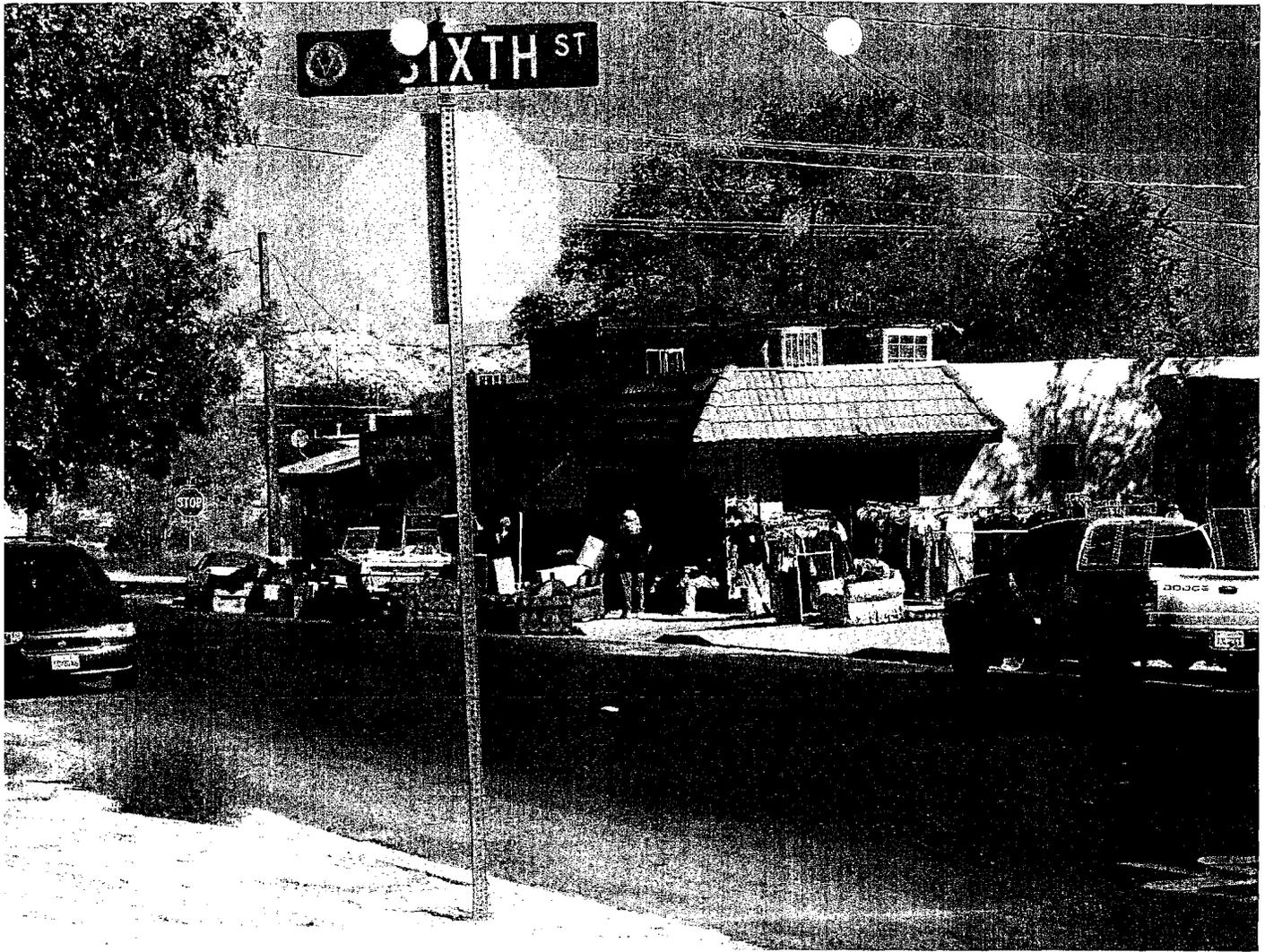


8/4/60

1000 C STREET RESCUE MISSION

08/04/83





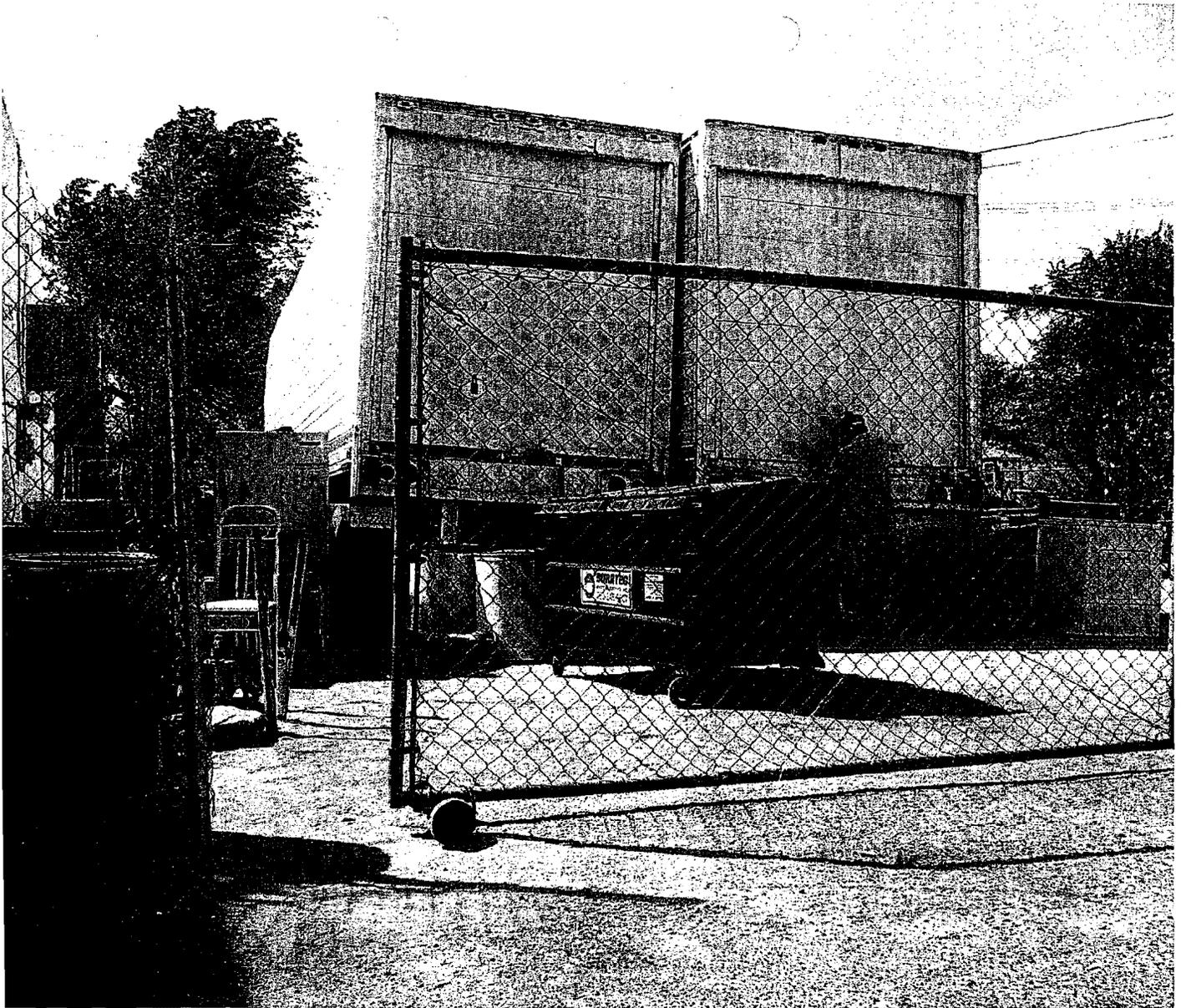
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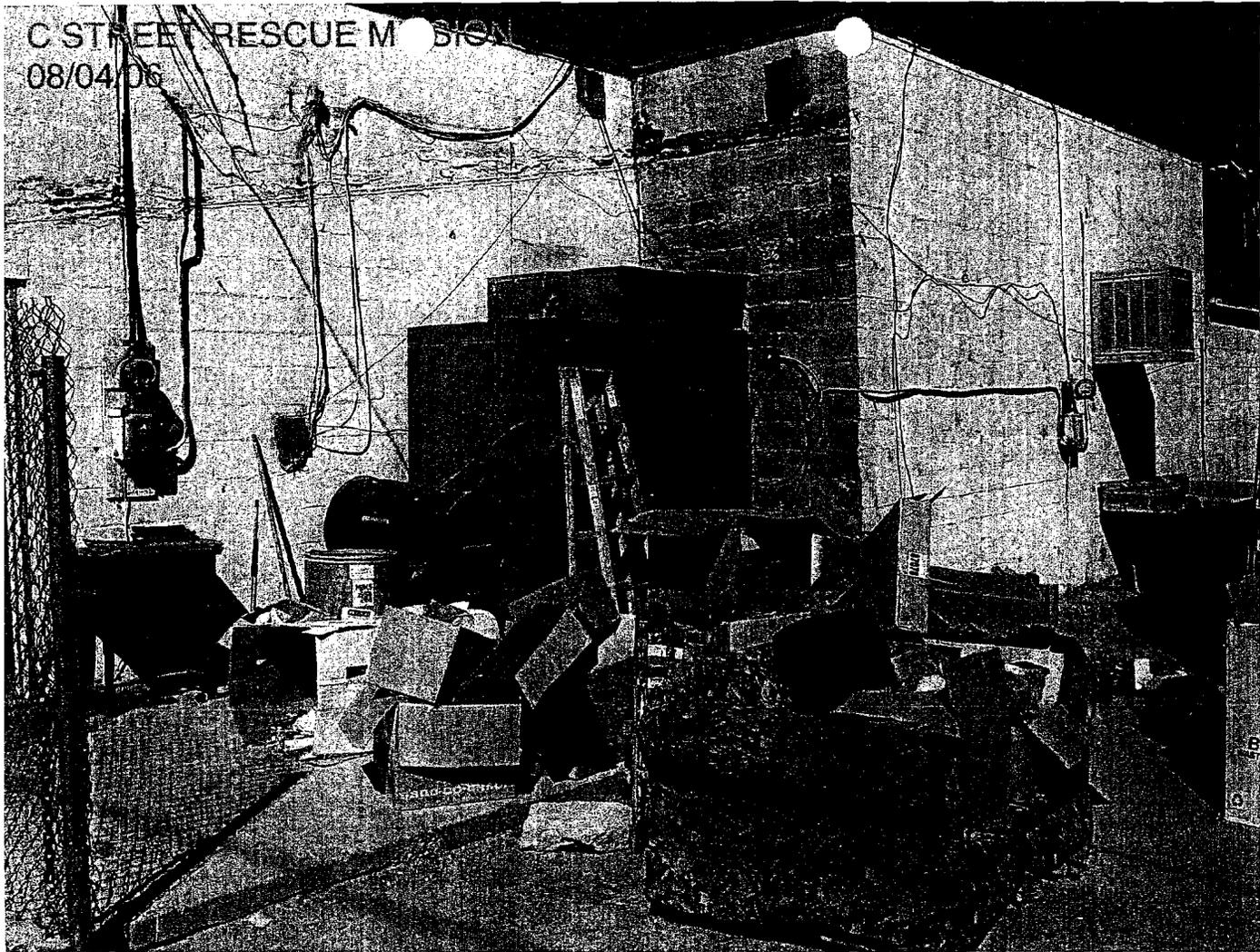
C STREET RESCUE MISSION

08/04/06





8/4/06





16822 C Street Victorville



545

CUP No. 164

5th Street

N

Applicant: Victor Valley Rescue Mission
 Owner: Miguel DeJesus Orozco
 Plans prepared by: Paul D. Vyzourek
 Date of Preparation: September 8, 2006
 Legal Description: Town Victor Sely 1/2 Lots 19 and 20 Block 25
 Scale: 1/8" = 1' 0"

Approx 71' to 5th Street

50 ft.

Victory Tire Shop

10 ft.

Tabular Summary

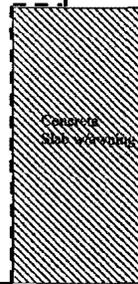
1. Adjusted gross and net acreage: .08 acres
2. Gross floor area: 2640 Sq. ft.
3. Proposed Density: No dwelling units
4. Lot coverage ratio: 74%
5. Floor area ratio: 74%
6. Landscape coverage: 0%
7. No of units, type & stories: 1 story, no dwelling units
8. Required and proposed parking: None

71 ft.

"C" Street

Sidewalk

Vacant Lot



8' 0"

Center line of Alley

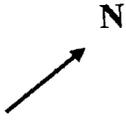
Approx 150' to 6th St.

- - - Building on Property
 ——— Property lines

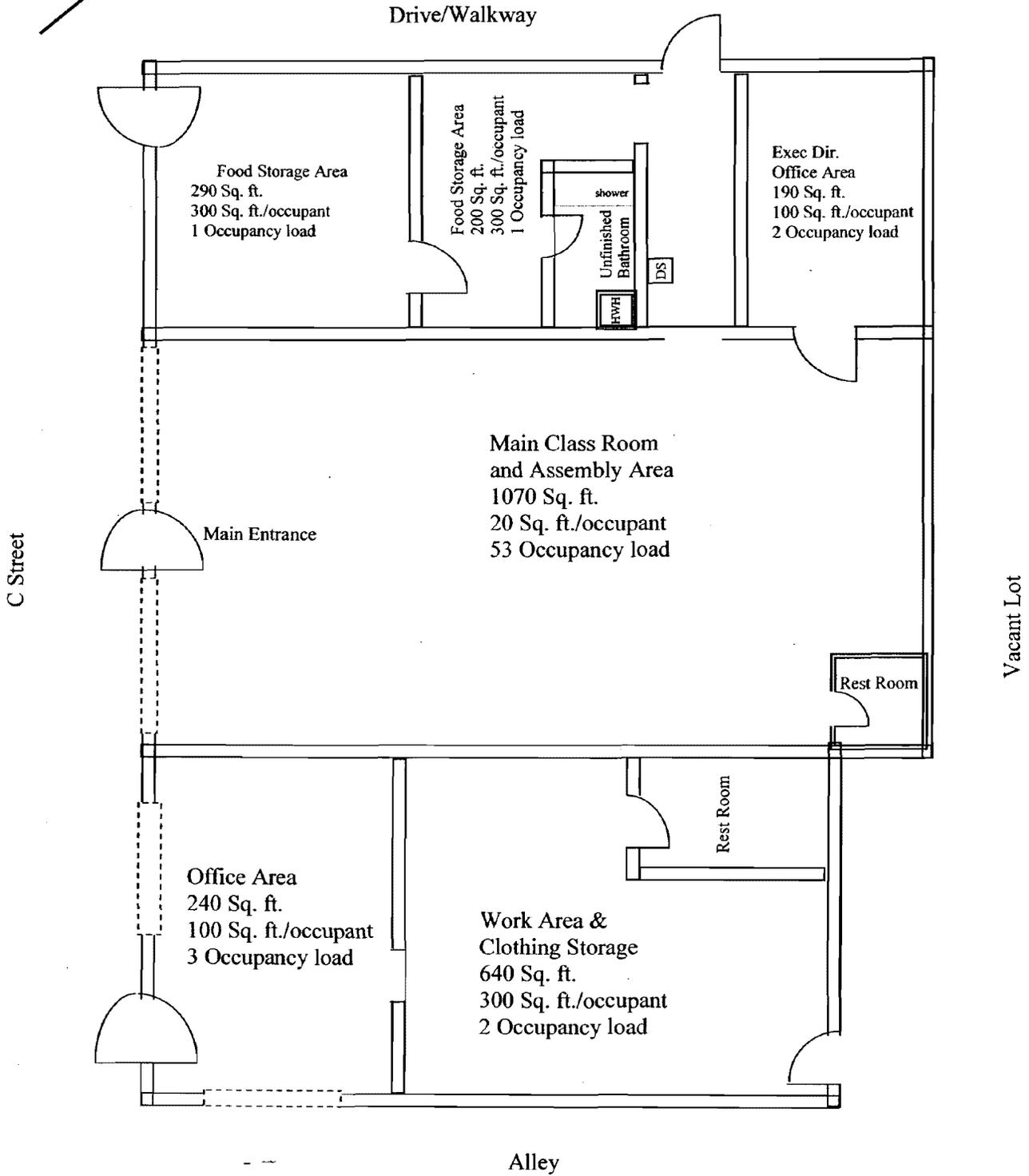
6th Street

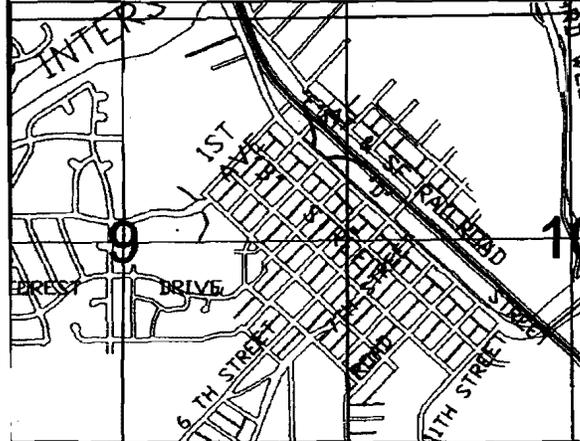
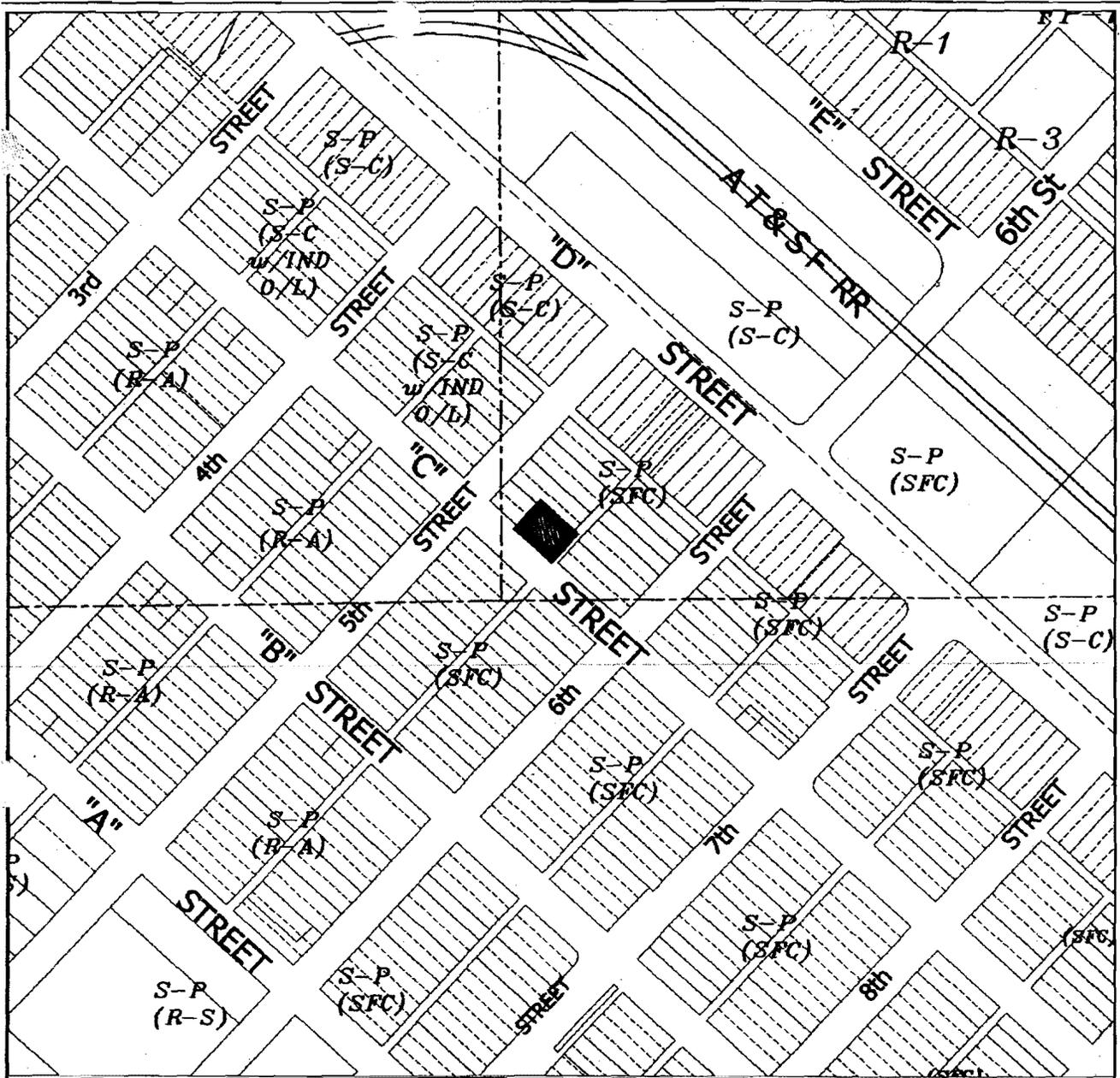
546

16822 C Street Victorville, CA 92395
Victor Valley Rescue Mission



Scale 1/8" = 1' 0"





Title: PROPERTY LOCATION MAP			
Zoning: S-P (SFC)	Area: ±0.08 Acres		
Assessor Parcel Number: 0478-226-06			
Location: 16822 C Street.			
Drawn By: BD	Checked By: AJ	Date: 09-15-06	Case Number: CUP-06-064

Vicinity Map

Graphics are diagrammatic only - Not to Scale

Prepared by: City of Victorville Planning Department 548



Conditional Use Permit CUP-06-064



August 14, 2006

Paul Vyzourek
16822 C St
Victorville, CA 92392

RE: Business: Victor Valley Rescue Mission - 16822 C St, Victorville - BSL06-00062

NOTICE OF BUSINESS LICENSE REVOCATION

An investigation was conducted by the City of Victorville, Code Enforcement Division after receiving numerous complaints of trash, debris, loitering, and an illegal homeless shelter at 16822 C St. On August 4, 2006, an inspection was conducted at the location (business identified as Victor Valley Rescue Mission) by the Code Enforcement Division. This inspection revealed various conditions, which violated the following Victorville Municipal code sections: 5.04.050, 5.04.060, 5.04.100, 6.08.010, 6.12.020, 8.05.020 (Ref California Fire Code), 13.02.115, 13.02.130 (a), 13.02.140 (h), 13.02.150 (f) (g), 13.02.170, 15.04.020 (ref. California Building Code section 109.1), 18.06.030, and 18.47.020. The following violations were observed:

1. Alleged illegal operation of a prohibited use/unpermitted operation of a homeless shelter in violation of Old Town Specific Plan Store Front Commercial zoning regulations.
2. Illegal operation of an unlicensed/ unapproved homeless shelter or public eating facility business not described, listed, or approved by the City Manager as an extension of the approved business license for Victor Valley Rescue Mission.
3. Illegal operation of an unpermitted public eating place or food handling facility located in an uninspected food preparation area (as required to be inspected by a health officer) containing a large stock of ready-to-serve food within the building.
4. Exceeding the approved use and occupation of the issued Certificate of Occupancy (issued and classified as occupancy group B) by maintaining an illegal public eating place or food handling facility and an alleged illegal homeless shelter inconsistent with the uses approved by the Building Official.

5. Conducting a business in such a manor as to allow and maintain a nuisance by allowing large amounts of people to loiter, restricting side walks and street access throughout all hours of day and night and as reported by the Victorville Police Department and local businesses thus, jeopardizing the safety, health, comfort or repose of the public.
6. Conducting numerous amounts of unpermitted outdoor sales events blocking access to the alley located on the east side of the building and affecting the ordinary use by the public of streets, alleys, or sidewalks. Failure to obtain a temporary use permit for special events.
7. Permitting/ creating a nuisance by allowing the accumulation of vast amounts of containers, broken/discarded furniture, household goods, appliances, clothing and junk/debris throughout the property.
8. Prohibited/unpermitted storage of two large trailers located at the rear of the property. Failure to obtain a temporary storage trailer permit.

After consideration and review of the list of violations mentioned above and review of the submitted business license application (submitted on February 3, 2006 by Paul Vyzourek), and in accordance with the Victorville Municipal Code sections 5.04.100, 5.04.102 (c), 5.04.115 (b), 15.04.020 (California Building Code Section 109.6), and 18.06.080, the City of Victorville (City Manager and/or his designees), hereby revokes the business license and certificate of occupancy issued on February 3, 2006 to Victor Valley Rescue Mission, owned and managed by Paul Vyzourek, effective on 8/28/06, in order to protect the health, safety and welfare of the public from any detrimental activities conducted by the business.

This revocation of your business license and certificate of occupancy shall be effective 14 days (on **08/28/06**) from the date of personal service.

Pursuant to section 5.04.340, any person violating any of the provisions of this chapter or knowingly or intentionally misrepresenting to any authorized Officer of the City, any material fact in procuring the license or permit herein provided for, is guilty of a misdemeanor, and upon conviction thereof, shall be punishable by a fine of not more than five hundred dollars or six months imprisonment in the county jail, or by both such fine and imprisonment.

Victorville Ordinances Violated

5.04.050 Conformance to zoning

No license issued under the provisions of this chapter shall be construed as permission to conduct or carry on a business at any place within the city where the conduct or the carrying on of such business is prohibited by Title 18.

5.04.060 Nuisance prohibited

No license issued under the provisions of this chapter shall be construed as permission to conduct or carry on a business in such manner as to create or maintain a nuisance.

5.04.100 Application-Contents

An application for a license under this chapter must state the nature or kind of business for which the license is required, the place where such business will be carried on or conducted, the name of the owners of the business and must be signed by the applicant. If the applicant is a corporation, the name shall be exactly as set forth in its articles of incorporation, and the names and addresses of all directors and an officer who is duly authorized to accept the service of legal process must be included. If the applicant is a partnership, the name and address of each general partner shall be stated. If one or more of the partners is a corporation, the provisions of this chapter as to a corporate applicant apply. In cases where such business is not to be conducted or carried on at a permanent place of business in the city, then such application shall state the residence of the owners of such business. Where application is made for a license to do business in the city, the collector may require approval of such application from the police, fire, health, building, and planning departments showing that the premises and operations therein conform to the provisions of this code and other regulatory ordinances of the city. In cases where such business is required to be licensed by the state, then such application shall include proof of current state license. In all cases where the amount of license to be paid by any person is based upon the number of men and women employed, or upon the number of wagons or other wheeled vehicles used, or upon the amount of maximum admission fee charged, or upon the number of tables, alleys or other devices used for any games, or upon the number of rooms in any building or upon the seating capacity of any building, or upon the number of machines used in the business, such person shall, before obtaining a license for his business, render to the city clerk for his guidance in ascertaining the amount of license to be paid by such person, a written statement sworn to before some officer authorized to administer oaths ascertaining the hereinbefore set forth facts and such statements shall be subject to verifications by the collector. The applicant must notify the city manager or collector of any change in facts stated in the application within fifteen days of such change.

6.08.010 New Businesses

- (a) Any person, firm or corporation intending to operate any place or business required by this title to have a permit, which is not in existence on the effective date of this code shall before opening or operating such place of business make application to the health officer upon a form provided by such health officer, giving the name of the owner or owners, manager or managers thereof, the location, and such other information as the health officer may require for the administration of this code.
- (b) This application shall include a signed statement that such applicant will observe the provisions of this code, and all other applicable statutes, ordinances, rules and regulations.

(c) Following receipt of application by the health officer, he shall make or cause to be made an inspection of the premises, and, if the provisions of this code have been complied with, he shall so certify that fact to the applicant and issue a permit to operate, upon a form approved by the health officer; provided, that such permit may be issued by the health officer without making such an inspection if his experience and knowledge of the premises affords him reasonable assurance of compliance with the provisions of this code.

6.12.020 Permits Required

It is unlawful to operate or permit to be operated any public eating place or food handling place without an unrevoked permit, issued in accordance with the provisions of this code.

8.05.020 Findings and Adoption of the California Fire Code

(a) Findings. The city council hereby finds and determines:

(1) That the Western Fire Chiefs Association and the International Conference of Building Officials are private organizations, which have been in existence for at least three years.

(2) That the Uniform Fire Code, 2000 Edition, and the Uniform Fire Code Standards, adopted by said organizations, are nationally recognized compilations of proposed rules, regulations and standards of said organizations.

13.02.115 Property Maintenance

It is unlawful and considered a nuisance for any person owning, leasing, occupying or having charge or possession of any real property in this city to allow any of the following listed conditions to exist that are visible from adjoining properties or any public right-of-way:

(1) The open or outside storage and/or accumulation of packing boxes or containers, broken/discarded furniture, household goods, fixtures or equipment, appliances, clothing or other such personal property items;

(2) The open or outside storage and/or accumulation of cans, bottles, lumber, wood, scrap metals, junk, trash, debris, refuse or other salvageable materials. Exceptions are trash or refuse items awaiting collection by the sanitation department in compliance with this code and the stacked firewood for use by the occupant of a residence on the premises;

(3) The storage or accumulation of any combustible or noncombustible materials declared a fire hazard by the city fire inspector;

(4) Nothing in this section should be construed as to prohibit residents from the practice of composting garden trimmings and other vegetative materials, provided that such activity is practiced in such a way as to prevent the generation of objectionable odors, vector or vermin problems, or fire hazards. For purposes of this ordinance, the term "composting" means the managed biological process by which organic material decomposes into a useful soil amendment.

All composting activity shall take place in such a way as to prevent materials from scattering off resident's property. Composting activity shall only take place in a rear yard

of property, and such composting activity shall be not visible from public right-of-way or adjoining properties.

13.02.130 Nuisances Designated Generally

A nuisance is a thing, act, occupation or use of property which does any of the following:

- (a) Annoys, injures or endangers the safety, health, comfort or repose of the public;
- (b) Unlawfully interferes with, obstructs or tends to obstruct or render dangerous for passage a public park, square, street, alley or highway;
- (c) In any way renders the public insecure in life or in use of property;
- (d) In any way disturbs the surface of the soil creating blowing dust or sand. (Summary abatement may be used to enforce this subsection).

13.02.140 Nuisances Affecting Health

The following are nuisances affecting health:

- (a) All diseased animals running at large;
- (b) All ponds or pools of stagnant water;
- (c) Carcasses of animals not buried or destroyed within twenty-four hours after death;
- (d) Accumulations of manure or rubbish;
- (e) Privy vaults and garbage cans which are not flytight;
- (f) The pollution of any public or private well or cistern, stream, lake, canal or body of water by sewage, creamery or industrial wastes or other substances;
- (g) All noxious weeds and other rank growths upon public or private property;
- (h) All other acts, omissions of acts, occupations, and uses of property which are deemed by the county health department to be a nuisance to the health of the inhabitants of this city or any considerable number thereof.

13.02.150 Nuisances Affecting Peace and Safety

The following are nuisances affecting public peace and safety:

- (a) All trees, hedges, billboards or other obstructions which prevent persons from having a clear view of traffic approaching an intersection from cross streets in sufficient time to bring a motor vehicle driven at a reasonable speed to a full stop before the intersection is reached;
- (b) All limbs of trees which are less than eight feet above the surface of any street or sidewalk;
- (c) All explosives, inflammable liquids and other dangerous substances stored in any manner or in any amount in violation of any law;
- (d) All unnecessary noise and annoying vibrations;
- (e) All buildings and alterations to buildings made or erected in violation of the regulations concerning manner or materials of construction;
- (f) Obstructions and excavations affecting the ordinary use by the public of streets, alleys, sidewalks or public grounds except under such conditions as are provided by law;

- (g) Any use of property abutting upon a public street or sidewalk or any use of a public street or sidewalk which causes large crowds of people to gather, obstructing traffic and the free use of the streets and sidewalks;
- (h) All dangerous unguarded machinery in any public place or so situated or operated on private property as to attract the public;
- (i) All use of stationary loudspeakers in any part of the city in such a manner as to annoy any of the inhabitants of the city;
- (j) All other conditions or things which are liable to cause injury to the person or property of anyone;
- (k) The giving of a report of the existence of any emergency to any police officer, any city employee or to any other person, with the intent or request that the same be transmitted to a city employee, knowing such report to be false.

13.02.170 Creating, Permitting, etc., Nuisances Prohibited

Any person who knowingly causes or creates a nuisance or permits any nuisance to be created upon or to remain upon any premises owned or occupied by him is guilty of a violation of this code.

15.04.020 Code Adoption

One copy of the Uniform Building Code, 1997 Edition, prepared and published by the International Conference of Building Officials, having been filed in the office of the city clerk, such code hereinafter modified, is designated and adopted by reference as the building code of the city.

Reference: California Building Code 109.1 Use and Occupancy. No building or structure shall be used or occupied, and no change in the existing occupancy classification of a building or structure or portion thereof shall be made until the building official has issued a certificate of occupancy therefor as provided herein.

18.06.030 Rules of Application

No building or structure shall be erected, reconstructed or structurally altered or repaired, nor shall any building, structure or land be used for any purpose except as hereinafter specifically provided and allowed in the district in which such building, structure or land is located. No lot shall be reduced in area in relation to any building or structure existing thereon so as to be smaller than required by these regulations, and if already less, the deficient dimension or area shall not be further reduced. Every department, official and employee of the city having the authority to issue any permit or license required by law shall comply with the provisions of this title. Any license or permit issued in conflict with the provisions of this title shall be void and of no effect.

18.47.020 Land Use Regulations

All land use regulations (outlined in Specific plan sections: SP1-95 3.4 Permitted Uses-homeless shelter not listed, SP1-95 3.5 Conditional uses-homeless shelter not listed, SP1-95 3.7 Special Regulations- no compliance) including, but not limited to, uses

allowed and development standards, shall be those as set forth in the adopted specific plan.

Victorville Ordinances Referenced

5.04.100 Application-Contents

An application for a license under this chapter must state the nature or kind of business for which the license is required, the place where such business will be carried on or conducted, the name of the owners of the business and must be signed by the applicant. If the applicant is a corporation, the name shall be exactly as set forth in its articles of incorporation, and the names and addresses of all directors and an officer who is duly authorized to accept the service of legal process must be included. If the applicant is a partnership, the name and address of each general partner shall be stated. If one or more of the partners is a corporation, the provisions of this chapter as to a corporate applicant apply. In cases where such business is not to be conducted or carried on at a permanent place of business in the city, then such application shall state the residence of the owners of such business. Where application is made for a license to do business in the city, the collector may require approval of such application from the police, fire, health, building, and planning departments showing that the premises and operations therein conform to the provisions of this code and other regulatory ordinances of the city. In cases where such business is required to be licensed by the state, then such application shall include proof of current state license.

In all cases where the amount of license to be paid by any person is based upon the number of men and women employed, or upon the number of wagons or other wheeled vehicles used, or upon the amount of maximum admission fee charged, or upon the number of tables, alleys or other devices used for any games, or upon the number of rooms in any building or upon the seating capacity of any building, or upon the number of machines used in the business, such person shall, before obtaining a license for his business, render to the city clerk for his guidance in ascertaining the amount of license to be paid by such person, a written statement sworn to before some officer authorized to administer oaths ascertaining the hereinbefore set forth facts and such statements shall be subject to verifications by the collector. The applicant must notify the city manager or collector of any change in facts stated in the application within fifteen days of such change.

5.04.102 Application-Investigation

- (a) The city manager or designee of the city manager may investigate the facts and circumstances supporting an application to ensure that all information presented is a true representation of the status of the applicant and no indication of necessity to deny such application or grant with conditions exists.
- (b) The city manager, or designee of the city manager, may examine under oath any applicant or licensee to determine the true identity of the applicant or licensee for the business, occupation or exhibition for which a license is sought. If the city manager or

designee finds that the application is not in the interest of the person in whose name the application is made, he or she may deny or revoke the license. If the city manager finds that the application is in the interest of one whose license has been revoked or who has been refused a license, it may treat the application as though made by such applicant or licensee.

(c) If the sheriff, police chief, the director of planning and development, the city engineer, the director of building and safety, the director of public works, the fire chief or any other public official, finds facts because of which any license granted pursuant to this title should not be granted or renewed, or, if renewed, should be subject to conditions not included in the existing license, or if any action for the revocation or modification of such license has been filed or is pending, each such director or official shall so notify the city manager in writing within ten days of receipt of notice of the submission of the application or intent renew, giving the name of the licensee, number of the license and the reason for denial or addition of conditions.

5.04.115 Right to Impose Or Change Conditions

(a) The city manager, or his or her designee shall, after consideration of the application and any relevant investigations, impose any and all conditions necessary to protect the health, safety and welfare of the public from any detrimental activities of the business.

(b) With respect to any previously issued license, if at any time it appears to the city manager, or his or her designee, that there are grounds for revocation of a license, or that the occupation or activity licensed is being conducted so as to be detrimental to public health, safety or public welfare, but that such grounds or such conduct could be eliminated by the imposition of conditions, or of additional conditions, or by the amendment of any existing conditions to such license, he or she shall notify the licensee of the proposed action to impose such conditions in accordance with the procedure provided in Section 5.04.320

15.04.020 Code Adoption

One copy of the Uniform Building Code, 1997 Edition, prepared and published by the International Conference of Building Officials, having been filed in the office of the city clerk, such code hereinafter modified, is designated and adopted by reference as the building code of the city.

Reference California Building Code section 109.6 Revocation: The building official may, in writing, suspend or revoke a certificate of occupancy issued under the provisions of this code whenever the certificate is issued in error, or on the basis of incorrect information supplied, or when it is determined that the building or structure or portion thereof is in violation of any ordinance or regulation or any of the provisions of this code.

18.06.080 Enforcement

All departments, officials and public employees of the city, vested with the duty or authority to issue permits or licenses, shall conform to the provisions of this title and shall issue no permit or license for uses, buildings, or purposes in conflict with the

provisions of this title; and any such permit or license issued in conflict with the provisions of this title shall be null and void

The provisions of this title shall be interpreted by the city attorney.

Any building or structure erected or maintained, or any use of property, contrary to the provisions of this title is, and the same is declared to be, unlawful and a public nuisance and the city attorney shall immediately commence actions and proceedings for the abatement, removal and enjoinder thereof, in the manner provided by law; and shall take such other steps, and shall apply to any court as may have jurisdiction to grant such reliefs as will abate or remove such building, structure or use and restrain and enjoin any person, firm or corporation from erecting or maintaining such building or structure, or using any property contrary to the provisions of this title.

This title may also be enforced by injunction issued out of the Superior Court upon the suit of the city or the owner or occupant of any real property affected by such violation or prospective violation. This method of enforcement shall be cumulative and in no way affect the penal provisions hereof.

5.04.310 Revocation and Suspension Of License-Activities Which Do Not Involve Free Speech

The city manager, or designee of the city manager, may suspend or revoke a license, other than a license covered by Section 5.04.308 if it finds that any licensee, his or her agent or any other person exercising management or control of the business, including, but not limited to, a member, partner, director, officer or general manager who is exercising authority on behalf of licensee, has:

- (1) Knowingly made any false, misleading or fraudulent statement of a material fact in an application for a license, or in any report or record required to be filed with the city manager, or his or her designee, or made in the course of soliciting; or
- (2) Been convicted of, or entered a plea of nolo contendere for, a felony or any crime involving theft, embezzlement or moral turpitude during the preceding twenty-four months, or is currently on probation, parole or subject to incarceration as a result of such conviction; if the licensee is not an individual, the above information shall apply to each officer, director, manager or member of the licensee, or any other person exercising control or management of the business; or
- (3) Within the preceding twenty-four months, committed any unlawful, false, fraudulent or dangerous act relating to a previously licensed business, with the intent to substantially benefit him or herself or another, or substantially injure another or
- (4) Committed any act which violates any rule or regulation adopted by any governmental agency relating to the licensee's business, including, but not limited to, failure to pay local taxes, fees or assessment imposed by the city, or any district created by the city; or
- (5) Violated any condition or restriction of the license; or
- (6) Conducted the licensed business in a manner contrary to the peace, health, safety and the general welfare of the public; or
- (7) Failed or refused to notify the city manager, or his or her designee, of any material change in facts stated in the application required by Section 5.04.100, within fifteen

days after such change; or

(8) Where the business involves soliciting or peddling on behalf of an organization, has failed to, with the knowledge or consent of the organization, to wear, or have in his or her possession, the city issued identification card as described in Section 5.04.781; or

(9) With respect to a nonprofit:

(A) Failed to obtain and maintain internal Revenue Service and state nonprofit status pursuant to California Revenue and Taxation Code Section 2370(d) or Internal Revenue Code Section 501(c)(3) or any subsequently enacted related legislation or regulations;

Or B) Failed to use the proceeds collected for religious or charitable purposes, less expenses or cost of administration as permitted by federal or state law.

5.04.320 Notice, Hearing, Appeal

(a) When the city concludes that grounds for imposition or change in conditions, denial, suspension, revocation or refusal to renew a license or permit exists, the city shall:

(1) Serve the applicant, licensee or permit holder with notice of the action or proposed action, either personally and/or by certified mail, and/or by regular U.S. mail, to the address last shown on the application for a license, unless the applicant or licensee has provided the city manager, or his or her designee, with written notice of a change in address, in which case the notice shall be sent to such address.

(2) The notice shall state the reasons for the action or proposed action, the right of the applicant, licensee or permit holder to a hearing or an appeal, as applicable, and the effective date of the decision to deny, suspend or revoke if the applicant, licensee or permit holder fails to exercise their right to request a hearing, or to appeal the action or proposed action, if applicable, as described in this section.

(b) Any licensee or permit holder, upon receipt of notice of proposed action by the city manager, or his or her designee, to suspend, revoke or refuse to renew a permit or license, shall have the right to a determination hearing. Such request for a hearing shall be written and received by the city within fourteen calendar days from the effective date of the service of notice of the proposed action by the city manager or his or her designee. The hearing shall be granted to the licensee or permit holder before the city manager, or his or her designee, after not less than five days' written notice to such licensee or permit holder. The notice shall state the grounds of the complaint and the time and place where such hearing will be held. Within a reasonable time after the hearing, the city manager, or his or her designee, shall render a final decision regarding suspension, revocation or refusal to renew. If the licensee or permit holder fails to request a hearing within fourteen days, the proposed action of the city manager, or his or her designee, shall be deemed final, and no right to appeal to the city council shall exist. Upon a final decision by the city manager, or his or her designee, it shall thereafter be unlawful for any person to carry on the business after the permit or license has been suspended, revoked or renewal refused, unless and until the appeal process is utilized, and the decision of the city manager or his or her designee, is subsequently reversed.

Any licensee or permit holder aggrieved by any final decision rendered by the city manager, or his or her designee, at or after the above mentioned hearing, shall have the right of appeal to the city council. Such appeal shall be made by filing with the city, within ten calendar days from the effective date of the service of notice of the action taken by the city manager or, his or her designee, a written statement setting forth the

specific grounds of appeal. Upon a timely notice of appeal in proper form, the city clerk shall set the appeal hearing for a regularly scheduled city council meeting or a special meeting not later than thirty days after receipt of request for appeal or review, unless such requirement is waived by the licensee or permit holder. Notice of such hearing shall be given to the appellant not less than five days prior to the hearing, as described in this subsection, unless notice is waived in writing by the appellant. The licensee and his or her attorney may be present and may submit evidence at the appeal hearing. The appeal hearing shall not be continued by the city council without the applicant's consent. Within a reasonable time after the appeal hearing, the city council shall render a final decision regarding suspension, revocation or renewal. The decision and order of the city council at or after such hearing shall be final and conclusive.

(c) The city manager or his or her designee, shall have the right to deny a new permit or license on any grounds provided in this chapter without the requirement of a prior hearing. Any applicant aggrieved by any action of the city manager, or his or her designee, in refusing to issue a new permit or license, shall have the right of appeal to the city council. It is unlawful for any person to carry on the business after the permit or license has been denied, unless and until the appeal process is utilized, and the subsequent decision reverses the denial. The applicant shall, within ten calendar days of the effective date of service of notice of denial by the city manager or his or her designee, file a written statement setting forth the specific grounds for appeal. Upon a timely appeal in proper form, the city clerk shall set the appeal hearing before the city council as provided in subsection (b) of this section. If the applicant fails to make a timely appeal, except as otherwise provided in this subsection, the decision of the city manager shall be deemed final and conclusive. With respect to applications for licenses involving free speech activities, the following shall apply:

(1) The city manager shall issue or deny a license for activities which may involve free speech to the applicant within thirty days from receipt of a complete application and the applicable fees. Notice of denial shall be sent by first class U.S. mail to the address provided on the license application, except as otherwise provided in subsection (a) of this section. Failure of the city manager or his or her designee to approve or deny the license application within thirty days shall result in the license being granted.

(2) Upon denial of a new license or permit for activities which may involve free speech, the applicant shall have the right to a prompt hearing before the city council. Such request for a hearing shall be written and received by the city within fourteen calendar days from the effective date of the service of notice of denial by the city manager, or his or her designee. The appeal hearing shall be granted to the applicant after not less than five days written notice to such applicant. In the event that the denial is affirmed by the city council on review, the applicant may seek prompt judicial review of the validity of the denial of the license, and the city shall make all reasonable efforts to expedite such review as provided in Section 1094.8 of the California Code of Civil Procedure, if sought by applicant.

(d) Unless otherwise specified, for the purposes of this section, notice shall be deemed effective upon personal delivery of service, or the date upon which the notice is deposited in the U.S. regular mail with adequate postage.

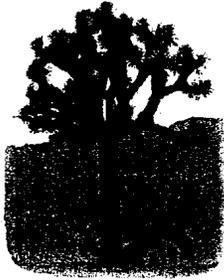
Respectfully,

Bill Webb
Director of Development

Jorge Duran
Code Enforcement Supervisor

cc: Jon Roberts, City Manager
Paul Vyzourek, Victor Valley Rescue Mission Executive Director
BW/jhd:mm

VICTOR VALLEY RESCUE MISSION



MAIL:

P.O 3060
VICTORVILLE, CA 92392

LOCATIONS:

MISSION OUTREACH CENTER
16822 C STREET
"OLD TOWN" VICTORVILLE, CA 92395

AWAKENING RANCH
18526 TANNER RD
EL MIRAGE, CA

PHONE:

(760)955-5958 * 985-1053

DIRECTOR:

PAUL D. VYZOUREK (760)684-0047

Changing Lives for Good

DATE: August 15, 2006

TO: City of Victorville
Development Department
Code Enforcement Div.
14343 Civic Drive
Victorville, CA 92395

RECEIVED BY CITY CLERK
8-15-06 jll

FROM: Rev. Paul D. Vyzourek
16822 C St
Victorville, CA 92395

Subject: Appeal of Notice of Business License Revocation

Re: NOTICE OF BUSINESS LICENSE REVOCATION
Dated August 14, 2006

The Victor Valley Rescue Mission hereby appeals this Notice of Business License Revocation for the following reasons set forth herein and enumerated in reference to said notice:

1. Victor Valley Rescue Mission is not now nor has it ever been a homeless shelter facility. We do not house people overnight at this facility. We provide clothing, house ware items, blankets, water, ready to eat foods i.e. coffee, donuts and donated pastries and pastoral counseling to the poor, needy and homeless during normal business hours only. 9:30 am to 6:00 pm. We are funded entirely by private donations. We have never taken funds from federal, state or local government. We are organized under the U.S. Tax Code 501 (c)(3) as a charitable organization and in the State of California as a Religious Charity.

2. Victor Valley Rescue Mission has been inspected by the Public Health Department and Second Harvest Food Bank of Riverside and both have given our food bank passing marks. When asked questions about preparing food on site we have been truthful in saying we do not prepare any food onsite. Our food bank gives out only non-perishable food items that have been donated for just such a cause. We have never been told by the Public Health Department that we can not serve already prepared foods to the hungry hurting and homeless of Victorville.

562

3. See 2. as the reasons for appeal are the same.

4. Victor Valley Rescue Mission is not now nor has it ever been a homeless shelter nor is it a *public eating place*. The mission is a *private* charitable organization with a mandate to help the neediest citizens of the Victor Valley with life essential services. Our 2400 sq. ft. facility consisting of 16820, 16822 and 16824 C Street should have a larger occupancy than 15 individuals.

Since it is our goal to have a place for the homeless to come to for safety reasons i.e. extreme heat or cold weather and to keep them out of the public areas which is a nuisance to businesses, persons walking by and homeowners alike during normal business hours we are hereby appealing this ruling and asking for our Certificate of Occupancy to be increased according to our actual size and reasons for operating. We are a homeless outreach center, no more and no less.

5. Victor Valley Rescue Mission has a strict no loitering policy. The property is properly posted with signs citing C.P.C. 647-E (see attached photos) and the volunteers who help up provide life essential services to the homeless constantly, during normal business hours, (which are the only time anyone is at these premise) require people to move along to public areas or come inside and access services.

V.V.R.M. have never knowingly allowed anyone to restrict side walks or street access during normal business hours. We have asked local law enforcement to help us uphold the laws of vagrancy and trespassing between the hours of about 7pm to 9am at this homeless outreach center. V.V.R.M. could have watchmen stationed at the outreach center 24 hours a day however it is our understanding that would be illegal as this in not a residential facility.

6. Victor Valley Rescue Mission has had two (2) outdoor yard sales in the over 3 years we have been at 16822 C Street. We were unaware that we were in violation of any codes at the time concerning obstructing sidewalks, alley or street access. The sidewalks and streets were never blocked from public through fare. Some restriction did occur but they were never blocked. When we were informed of the need to vacate our free jump house for the kids from the alley we complied well within the time allotted to do so by the Fire Department.

V.V.R.M. has always tried to comply with the need for a temporary use permit for special events. Last Thanksgiving when the Mission wished to block off C Street between 5th and 6th we were given just such a permit. We were unaware that we needed such a permit for a yard sale or we would have applied for one. Ignorance is certainly no excuse however, while researching this issue and doing our due diligence we found there are many homes and organizations that have yard sales from time to time who do not obtain such a permit. It was our supposition then that none was needed.

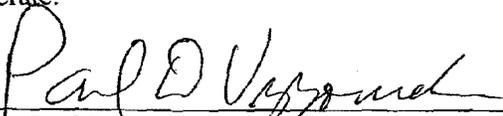
7. Victor Valley Rescue Mission has been given two written warnings about the donations accumulating in the lot we rent behind our building. In both cases we cleaned

up the mess immediately in a conscience effort to make the neighborhood look better and to comply with local ordinances. When we started using the lots behind us they were overgrown with weeds and full of trash. We keep them raked and to the best of our ability trash free. The inspections were done on one of the two days we had a yard sale and we were emptying out one of our storage trailers.

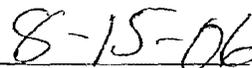
I suspect that "donations" people have just dropped off at our location rather than disposing of them in a proper fashion are being cited when referring to junk and debris on our property. We clean the mess up every morning when we come in to work. It is unfair to base this revocation on one or two incidents when in fact we are good neighbors, as evidenced by the petition we will be presenting at the hearing signed by those people who live and work near us. V.V.R.M has spent \$1,700 this year already for twice weekly dumps of our 3 yard dumpster and two 45 foot trailers taken to the local land fill full of these "donations". We strive to maintain our property in a neat and safe fashion and are willing to comply with all codes concerning this but we can hardly be held accountable for the illegal actions of others as it pertains to this property.

8. V.V.R.M. was unaware, until this date, that we were required to have a temporary storage trailer permits. Since renting and utilizing this property seems to be causing problems we have decided to vacate the lots behind our facility. There are transients who insist on trespassing, vandalizing and stealing our property thus we have taken steps to remove the trailers and our two vehicles from these lots. This is done in a spirit of cooperation and we would hope the City Manager and code enforcement would take note of this.

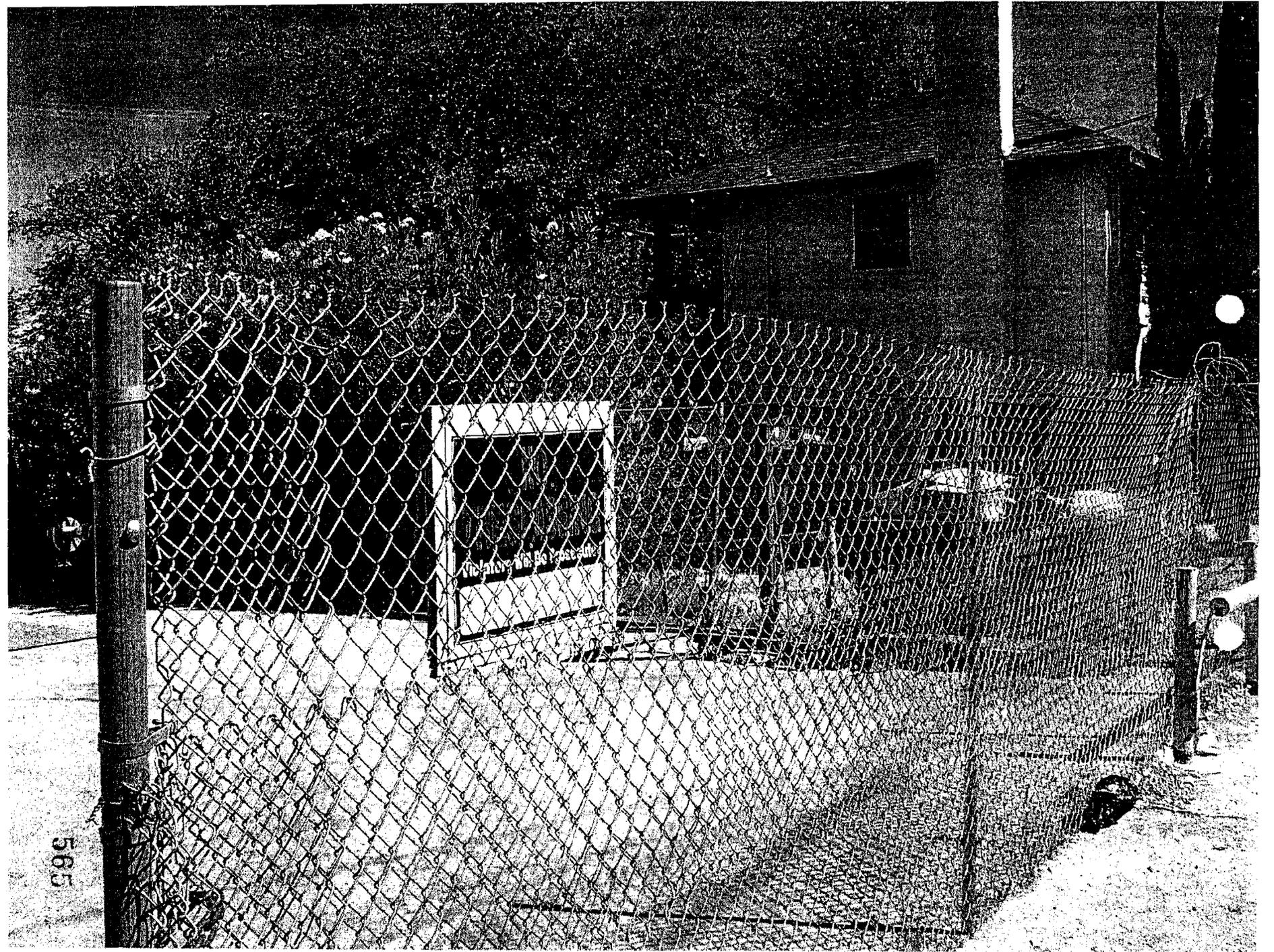
Furthermore, Victor Valley Rescue Mission and its officers and directors hereby request that code enforcement turn over copies of all of the alleged numerous complaints, copies of all communication pertaining to this address by intercity agencies, list of calls for service by police, ambulance and fire; and any other documents used in coming to this determination. All personal information should be blacked out of course. We require these document so that we might begin to substantiate our appeal before the City Manager. This appeal will be filed on August 15, 2006. Victor Valley Rescue Mission has voluntarily suspended its operations providing life essential services to the poor and homeless in Victorville until this matter is resolved and we are once again welcomed to be participants in providing for the greater good of Victorville. We would ask that the aforementioned documents be turned over to us no later than the end of business August 17, 2006 and that the appeal hearing be held on or before August 22, 2006 or that the City of Victorville rescind this "Notice of Business License Revocation" immediately and give us a time frame and a punch list of specific tasks needed to comply with all applicable codes for a Homeless Outreach Center which we have been licensed to operate.



Rev. Paul D. Vyzourek, Executive Director
Victor Valley Rescue Mission



Date

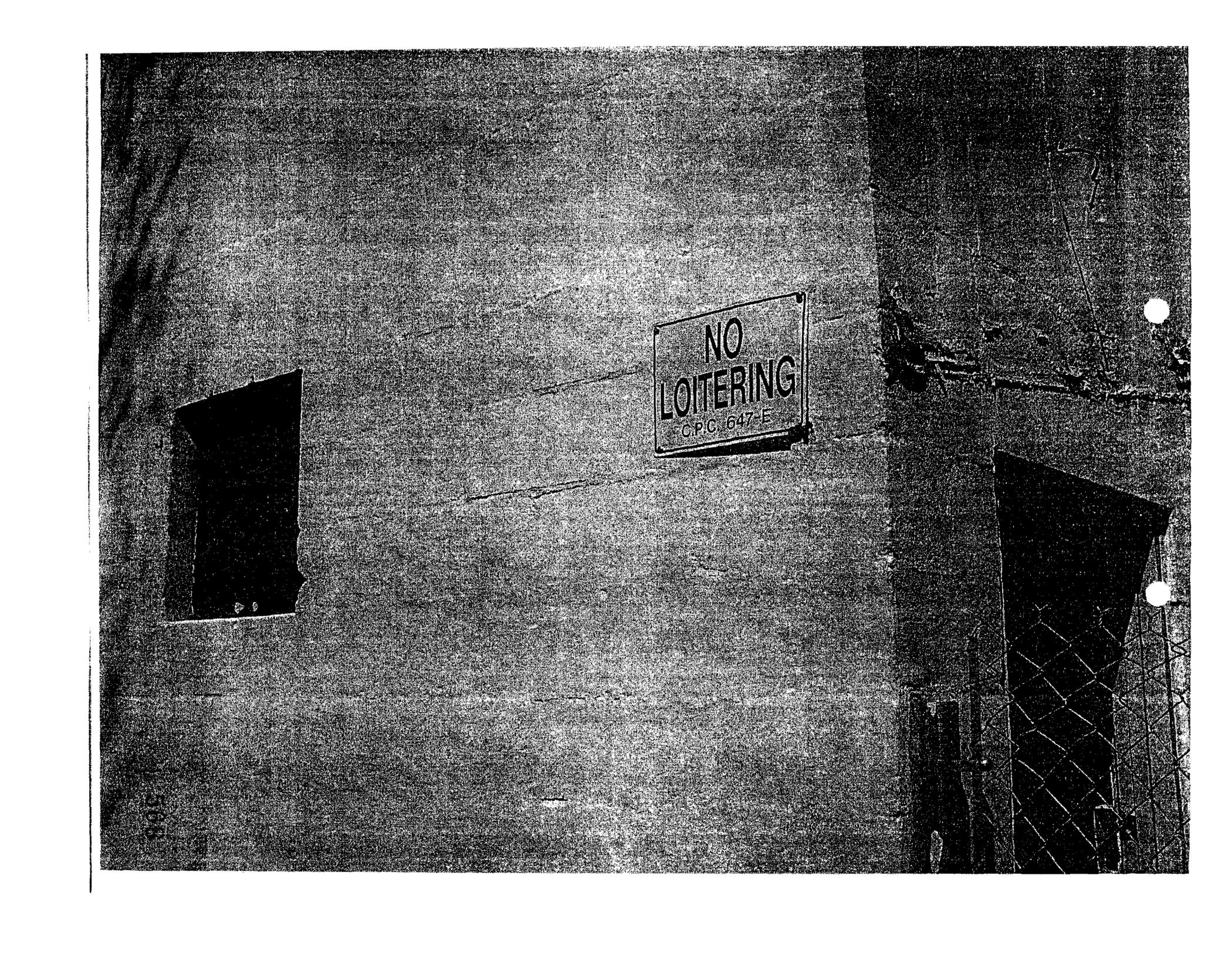


565

**NO
LOITERING**
C.P.C. 647-E

566



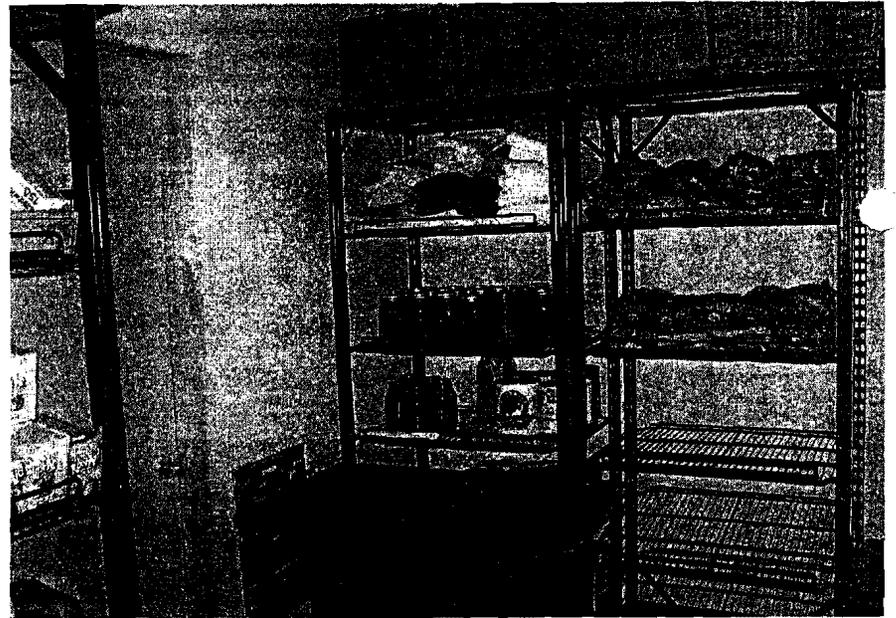
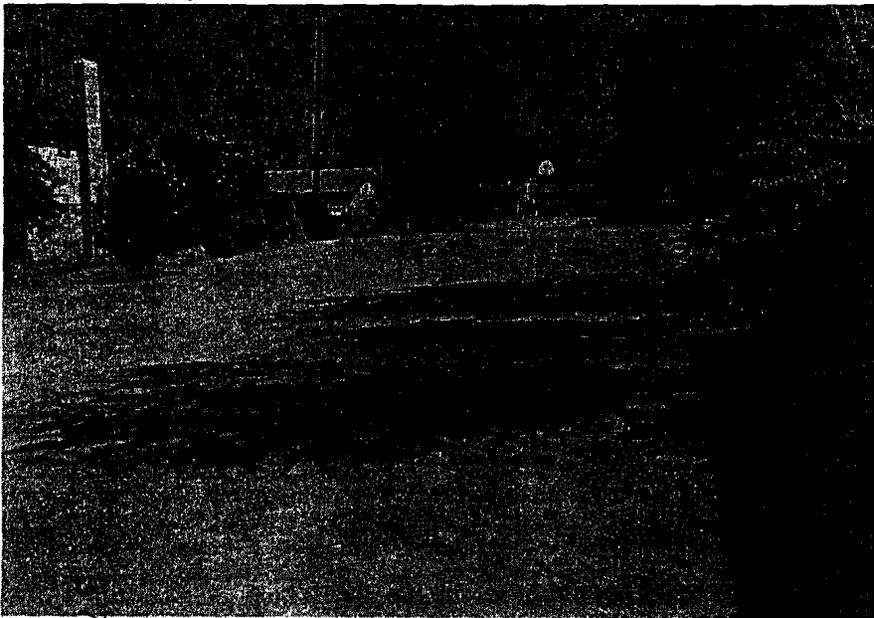
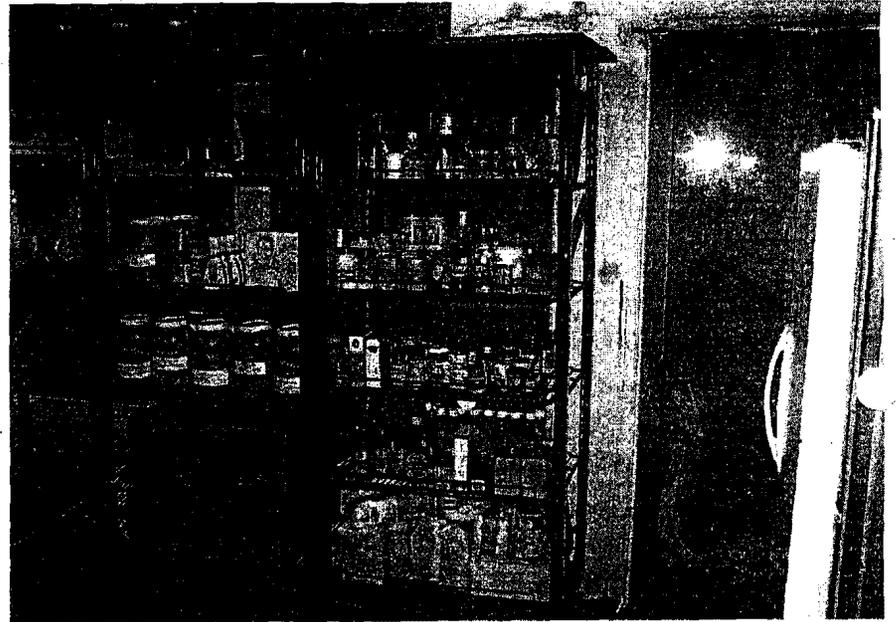
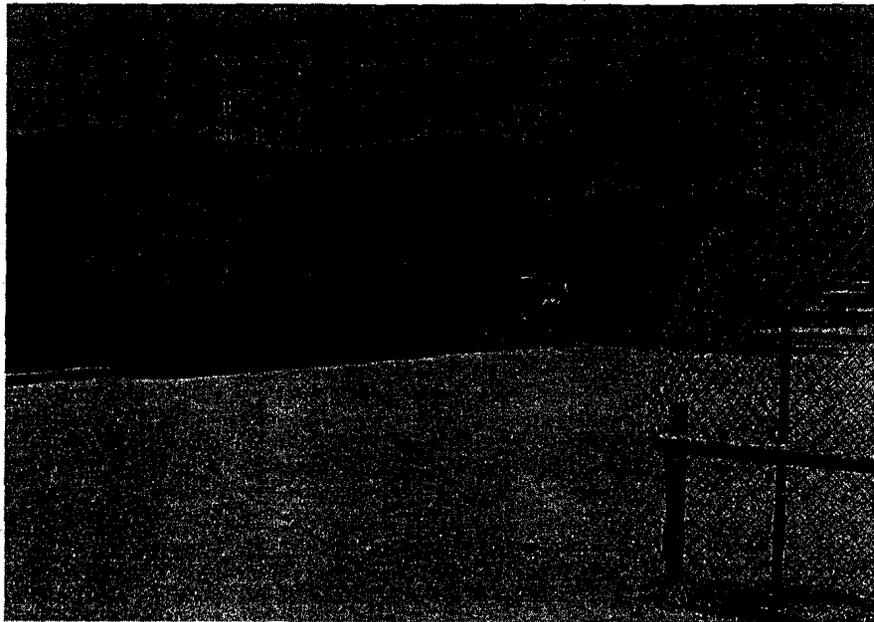
A grainy, black and white photograph of a building's exterior wall. The wall is light-colored and shows signs of wear, including a small, dark, rectangular opening on the left side. In the center-right, a rectangular sign is mounted on the wall. The sign has the words "NO LOITERING" in large, bold, capital letters. Below this, in smaller text, it reads "C.P.C. 647-E". To the right of the sign, the wall meets a corner or a different section, where a dark, possibly metal mesh or gate, is visible. There are two small, bright circular spots on the wall to the right of the sign, possibly lights or reflections. The overall image has a high-contrast, textured appearance typical of a photocopy or a low-quality scan.

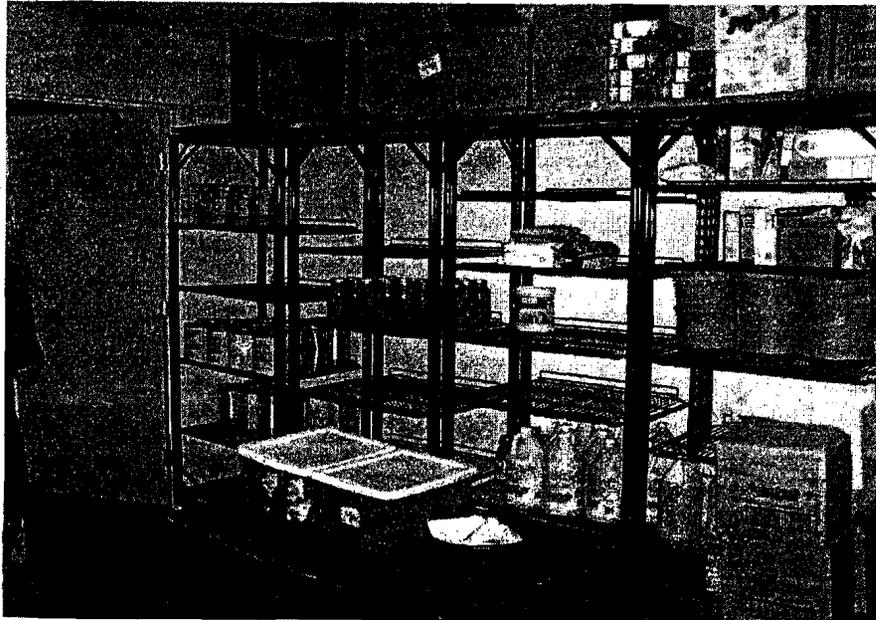
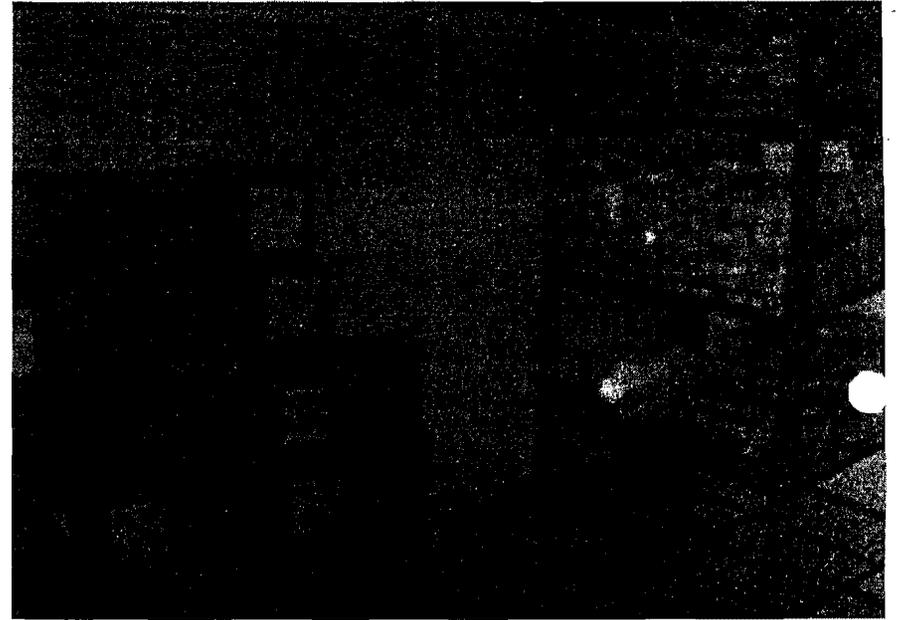
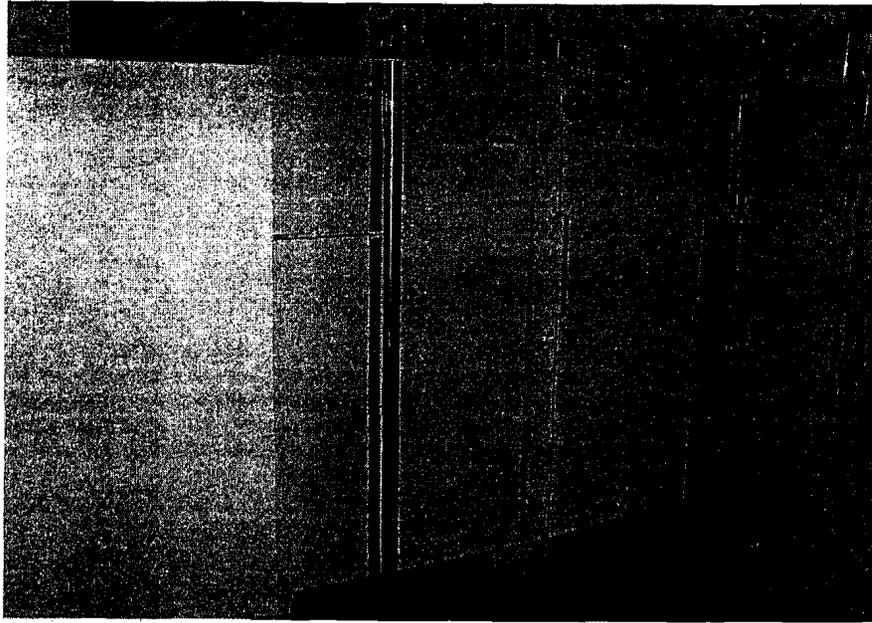
**NO
LOITERING**
C.P.C. 647-E

569

VICTORY







CITY OF
VICTORVILLE



DEVELOPMENT DEPARTMENT
Planning • Building • Code Enforcement
14343 Civic Drive
P.O. Box 5001
Victorville, CA 92395-5001

(760) 955-5104
Fax (760) 269-0074

August 16, 2006

Paul Vyzourek
16822 C St
Victorville, CA 92392

**RE: Business: Victor Valley Rescue Mission - 16822 C St, Victorville -
BSL06-00062**

Mr. Vyzourek,

The following is to clarify the Notice of Business License Revocation served to the Victor Valley Rescue Mission on August 14, 2006. It was determined through site inspections and complaints compiled by the Code Enforcement Division that the business was operating as a homeless shelter.

However, should the violations outlined in the August 14 letter be alleviated and the operation of the business revert to that of an Assembly Use (i.e. Church), the use would still be prohibited.

According to the Zone District in which the property is located, all "assembly" uses such as a church, require approval of a Conditional Use Permit. Consequently, a request for a Conditional Use Permit for operation of a church was denied on the property in 1993.

Based on the information above, the City Clerk will accept any addendum to your appeal of the business license revocation.

Respectfully,

Bill Webb
Director of Development

VICTOR VALLEY RESCUE MISSION



MAIL:

P.O 3060
VICTORVILLE, CA 92392

LOCATIONS:

MISSION OUTREACH CENTER
16822 C STREET
"OLD TOWN" VICTORVILLE, CA 92395

AWAKENING RANCH
18526 TANNER RD
EL MIRAGE, CA

PHONE:

(760)955-5958 • 985-1053

DIRECTOR:

PAUL D. VYZOUREK (760)684-0047

Changing Lives for Good

DATE: August 15, 2006
TO: City of Victorville
Director of Development, Bill Webb
14343 Civic Drive
Victorville, CA 92395
FROM: Rev. Paul D. Vyzourek
16822 C St
Victorville, CA 92395
Subject: Response to letter dated August 16, 2006
Re: Business: Victor Valley Rescue Mission 16822 C St, Victorville
BSL06-00062

Mr. Webb,

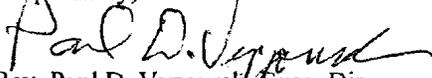
The following is in answer to your letter dated August 16, 2006.

In Victor Valley Rescue Mission's appeal of the aforementioned "Notice of Business License Revocation" there was no mention of your now alleged assertion that the Mission is using this facility as a church. Assembly Use is not necessary to operate a Homeless Outreach Center. The City of Victorville has approved us in the past to be a Homeless Outreach Center and would appreciate your office sticking to the original notice instead of changing the playing field at will.

We are not a church. If there are specific ordinances pertaining to a Homeless Outreach Centers we will do all in our power to comply with them including being more conscience of the number of people in our facility at one time. Please be advised that our goal is to provide food, clothing, recovery services, counseling, furniture and house wares for the poverty stricken families in Victorville and life essential services to those living on the streets. However, our most important function is to be an intake center for those wishing to join our Recovery and Discipleship Program in El Mirage.

It seems to me that the 20+ men who are presently taking advantage of our program and are in process of changing their lives around for good and not still living on the streets are a big part of the solution to the homeless problem. The homeless were in this area long before we opened our doors and of all the "places of refuge that help the homeless in Old Town" we are the strictest and most vigilant in not enabling them rather we try to help people get back on their feet and become productive members of society.

Respectfully,


Rev. Paul D. Vyzourek, Exec. Dir.



August 22, 2006

Paul Vyzourek
16822 C St
Victorville, CA 92392

RE: Business: Victor Valley Rescue Mission - 16822 C St, Victorville

INSPECTION RESULTS

The following are details regarding the multi-department inspection as requested by Paul Vyzourek conducted on 08/17/06.

Fire Department: (as listed on Fire and Life and Safety inspection report)

- Illegal latching devices installed.
- Haz-Mat permit required for large propane source.
- Lever action or panic hardware required for all doors or submit plans to delete all of the exit doors (except main entrance).
- No cooking operations permitted.
- No assembly use.
- Convert water heater back to natural gas (requires Building permit).
Currently being fueled by improperly installed propane tank.

Building and Safety Division:

- Provide plot plan for unpermitted patio cover (required building permit).
- Ingress/ egress issues (as stated by the fire inspector).
- Natural Gas available. Need to use natural gas to fuel water heater (as stated by the fire inspector).

Planning Division:

- Conditional use permit required for assembly.

Code Enforcement Division:

- Occupancy load shall be maintained at a maximum of 15 occupants.
- No loitering measures to be implemented along with proper sign/notice maintenance.
- Police department to be contacted for patrons refusing to leave due to loitering violations.

San Bernardino County Health Department: (as listed on Food Program inspection report)

- Do not serve food baskets
- Do not serve pot luck 6 days /week (only allowed once every 90 days)
- Business must obtained all city permits and approval for any other food or drink services.

Respectfully,

Jorge Duran
Senior Code Enforcement Officer.

CITY OF
VICTORVILLE



760-955-5000
FAX 760-245-7243
email: vville@ci.victorville.ca.us

14343 Civic Drive
P.O. Box 5001
Victorville, California 92393-5001

August 24, 2006

Reverend Paul D. Vyzourek
Victor Valley Rescue Mission
16822 C St.
Victorville, CA 92395

RE: Appeal Hearing – BSL06-00062

Dear Reverend Vyzourek:

We have received your appeal dated August 15, 2006, of the notice of revocation of the Business License for Victor Valley Rescue Mission. Your hearing before the City Manager or his designee has been scheduled for Tuesday, September 5th, 2006, at 10:00am, Victorville City Hall Conference Room E, 14343 Civic Drive, Victorville. Per section 5.04.320 (b) of the Victorville Municipal Code:

“Upon a final decision by the city manager, or his or her designee, it shall thereafter be unlawful for any person to carry on the business after the permit or license has been suspended, revoked or renewal refused, unless and until the appeal process is utilized, and the decision of the city manager or his or her designee, is subsequently reversed. Any licensee or permit holder aggrieved by any final decision rendered by the city manager, or his or her designee, at or after the above mentioned hearing, shall have the right of appeal to the city council. Such appeal shall be made by filing with the city, within ten calendar days from the effective date of the service of notice of the action taken by the city manager or, his or her designee, a written statement setting forth the specific grounds of appeal. Upon a timely notice of appeal in proper form, the city clerk shall set the appeal hearing for a regularly scheduled city council meeting or a special meeting not later than thirty days after receipt of request for appeal or review, unless such requirement is waived by the licensee or permit holder. Notice of such hearing shall be given to the appellant not less than five days prior to the hearing, as described in this subsection, unless notice is waived in writing by the appellant. The licensee and his or her attorney may be present and may submit evidence at the appeal hearing. The appeal hearing shall not be continued by the city council without the applicant’s consent. Within a reasonable time after the appeal hearing, the city council shall render a final decision regarding suspension, revocation or renewal. The decision and order of the city council at or after such hearing shall be final and conclusive.”

The grounds for the revocation include code and zoning violations as outlined in the notice issued August 14th, and a follow up letter dated August 16th from Bill Webb, Director of Development.

Should you have any further questions regarding this matter, please do not hesitate to contact our office at (760) 955-5029.

Respectfully,



Jennifer Koscelnik
Secretary to Jon Roberts
City Manager's Office

vjk

CITY OF
VICTORVILLE



760-955-5000
FAX 760-245-7243
email: vville@ci.victorville.ca.us

14343 Civic Drive
P.O. Box 5001
Victorville, California 92393-5001

August 31, 2006

Reverend Paul D. Vyzourek
Victor Valley Rescue Mission
16822 "C" Street
Victorville, CA 92395

0078

RE: Appeal Hearing – BSL06-00062

Dear Reverend Vyzourek;

In accordance with the Victorville Municipal Code Section 5.04.320, the Victor Valley Rescue Mission was provided a hearing to take place in front of the City Manager or his designee on Tuesday, September 5, 2006. It has come to the City's attention that a publicly printed letter to the editor of The Daily Press appeared in The Daily Press today. This letter invited the public to attend Victor Valley Rescue Mission's hearing in front of the City Manager.

Please be advised that the hearing in front of the City Manager is an administrative hearing for the benefit of the aggrieved party, and is not open to the public. Should Victor Valley Rescue Mission appeal any decision made by the City Manager at such meeting, which it is entitled to do pursuant to Victorville Municipal Code Section 5.04.320, said appeal will take place in front of the City Council at a publicly noticed meeting, subject to the Ralph M. Brown Act. These procedures are consistent with the due process requirements of the California Constitution. Accordingly, please refrain from inviting members of the public to attend the September 5, 2006 hearing, as they will not be allowed to participate or attend.

Sincerely,

Douglas B. Robertson
Deputy City Manager

DBR/di

c: Jon Roberts, City of Victorville
City Council, City of Victorville
Daily Press



VICTOR VALLEY RESCUE MISSION

Mail: P.O 3060
Victorville, CA 92392
Location Mission Outreach Center
16822 C Street
"Old Town" Victorville, CA 92395
Phone: (760)955-5958 * 985-1053
Director: Paul D. Vyzourek (760)684-0047

Changing Lives for Good

Date: September 8, 2006
To: City of Victorville
Department of Planning
From: Victor Valley Rescue Mission
Paul D. Vyzourek, Exec. Dir.
Subject: Project Description
Change of Conditional Use Application Requirement

Project Description

Victor Valley Rescue Mission is a Homeless Outreach Center located at 16822 C Street in Victorville. The purpose of our Mission is to provide programs of recovery as well as life essential services to the hungry, hurting and homeless in the Name of Jesus.

The goal of this Mission is to help people along the "Continuum of Care for the Homeless" as described in HUD guidelines with the result of helping individuals maintain sobriety and attain self sufficiency.

The Mission is now or will, if the conditional use is permitted, provide the following services between the hours of 9AM and 6PM:

- Provide clean serviceable clothing, coats and shoes for men, women and children.
- Provide house ware items and furniture free of charge to the desperately poor.
- Provide pastoral counseling to those who are hurting mentally and spiritually.
- Provide a space (12-18 seats) for a Christian 12 step support group to meet.
- Provide recovery related classes (30- 40 seats) to the men on Awakening Ranch's Recovery and Discipleship Program as well as though off the streets who are interested.
- Provide Bible based teaching (30-40 seats) to all who might wish to have a deeper understanding of God's Word.
- Provide non perishable pre-packaged food items to individuals and families.
- Provide intake services for the Mission's Awakening Ranch Recovery Program

- Provide safe haven, toilet facilities, a place to receive mail, a phone to receive messages and coffee/water to the homeless who otherwise might be loitering about the streets of Old Town.
- Provide specific needs during inclement weather i.e. blankets, gloves, hats etc.

Victor Valley Rescue Mission has only one (1) full time employee who is contracted by the Board of Directors as the Director. Three (3) full time volunteers make up the Mission's work force. Other volunteers which are used for maintenance and security number approximately 4-5 individuals per day Monday - Friday.



VICTOR VALLEY RESCUE MISSION

Mail: P.O 3060
Victorville, CA 92392
Location: Mission Outreach Center
16822 C Street
"Old Town" Victorville, CA 92395
Phone: (760)955-5958 * 985-1053
Director: Paul D. Vyzourek (760)684-0047

Changing Lives for Good

Date: October 11, 2006
To: City of Victorville
The Planning Department
Attn: Alex Jauregui, Asst. Planner
From: Victor Valley Rescue Mission
Board of Directors
Subject: Continuance Request for CUP-06-064

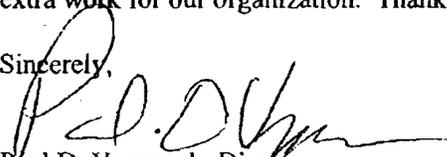


To Whom it May Concern:

This letter is to inform the Planning Commission of the City of Victorville of Victor Valley Rescue Mission's desire to accept the proposed continuance of the hearing involving our application for a Conditional Use Permit to allow for a homeless outreach center and related services.

Since the Planning Department has made this recommendation our organization has put on hold our own preparations for this hearing. Those who desire to make public comment on the desirability of our request will not be present on October 11th. It was our understanding that this continuance is a foregone conclusion. Please be advised that we would appreciate a new date as soon as possible and that it NOT be continued again as this delay has caused a lot of extra work for our organization. Thank you.

Sincerely,


Paul D. Vyzourek, Director

CASE NO

CUP-06-064

AGENCY CHECKLIST

Environmental Assessment

Needed

Tract/Parcel

0478-226-06

Class Exemption

No.

15301

AGENCY LETTERS TO BE SENT TO:	Sent	Rec'd		Sent	Rec'd
Engineering Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Ad Hoc Committees	<input type="checkbox"/>	<input type="checkbox"/>
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Golden Mesa	<input type="checkbox"/>	<input type="checkbox"/>
Community Services Department	<input type="checkbox"/>	<input type="checkbox"/>	Golden Triangle	<input type="checkbox"/>	<input type="checkbox"/>
Development Department – Building Div.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Green Tree East	<input type="checkbox"/>	<input type="checkbox"/>
Victorville Redevelopment Agency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Old Town VV Property Owners	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
City Manager	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Raintree	<input type="checkbox"/>	<input type="checkbox"/>
Police Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	South Central #4	<input type="checkbox"/>	<input type="checkbox"/>
Finance Department (Sanitation)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Tatum	<input type="checkbox"/>	<input type="checkbox"/>
Public Works	<input type="checkbox"/>	<input type="checkbox"/>			
Information Services	<input type="checkbox"/>	<input type="checkbox"/>			
Verizon California, Inc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	City of Hesperia	<input type="checkbox"/>	<input type="checkbox"/>
Southwest Gas Corporation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	City of Adelanto	<input type="checkbox"/>	<input type="checkbox"/>
Southern California Edison	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Town of Apple Valley	<input type="checkbox"/>	<input type="checkbox"/>
Victor Valley Water District	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Mojave Regional Economic Dev. Council	<input type="checkbox"/>	<input type="checkbox"/>
Baldy Mesa Water District	<input type="checkbox"/>	<input type="checkbox"/>	Victor Valley Board of Realtors	<input type="checkbox"/>	<input type="checkbox"/>
Hesperia Water District	<input type="checkbox"/>	<input type="checkbox"/>	Building Industries Association	<input type="checkbox"/>	<input type="checkbox"/>
County Service Area 64	<input type="checkbox"/>	<input type="checkbox"/>	High Desert Council of Engineering	<input type="checkbox"/>	<input type="checkbox"/>
Mojave Water Agency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Archaeological Information Center	<input type="checkbox"/>	<input type="checkbox"/>
Charter Communications	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Local Agency Formation Commission (LAFCO)	<input type="checkbox"/>	<input type="checkbox"/>
			Southern California Logistics Airport	<input type="checkbox"/>	<input type="checkbox"/>
Victor Elementary School District	<input type="checkbox"/>	<input type="checkbox"/>	Victorville Chamber of Commerce	<input type="checkbox"/>	<input type="checkbox"/>
VV Union High School District	<input type="checkbox"/>	<input type="checkbox"/>			
Adelanto Elementary School District	<input type="checkbox"/>	<input type="checkbox"/>	Indian Tribes		
Snowline Joint Unified School District	<input type="checkbox"/>	<input type="checkbox"/>	Morongo Band of Mission Indians	<input type="checkbox"/>	<input type="checkbox"/>
Hesperia Unified School District	<input type="checkbox"/>	<input type="checkbox"/>	San Fernando Band of Mission Indians	<input type="checkbox"/>	<input type="checkbox"/>
Victor Valley College	<input type="checkbox"/>	<input type="checkbox"/>	San Manuel Band of Mission Indians	<input type="checkbox"/>	<input type="checkbox"/>
Victor Valley Wastewater Reclamation Authority	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Serrano Band of Indians	<input type="checkbox"/>	<input type="checkbox"/>
Burrtec Waste Industries	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Projects over 50,000 square feet		
U.S. Post Office	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Briggs Law Corporation	<input type="checkbox"/>	<input type="checkbox"/>
Caltrans	<input type="checkbox"/>	<input type="checkbox"/>	Ed Smith	<input type="checkbox"/>	<input type="checkbox"/>
Department of Fish and Game	<input type="checkbox"/>	<input type="checkbox"/>	Sierra Club	<input type="checkbox"/>	<input type="checkbox"/>
Lahontan Water Quality Control Board	<input type="checkbox"/>	<input type="checkbox"/>			
Flood Control District	<input type="checkbox"/>	<input type="checkbox"/>			
Mojave Desert Air Quality Management District	<input type="checkbox"/>	<input type="checkbox"/>	Development Agreements		
County Transportation	<input type="checkbox"/>	<input type="checkbox"/>	Century-Crowell – Foxfire	<input type="checkbox"/>	<input type="checkbox"/>
County Health Department	<input type="checkbox"/>	<input type="checkbox"/>	Inco Homes – Mesa Verde; Vista Verde	<input type="checkbox"/>	<input type="checkbox"/>
County Planning Department	<input type="checkbox"/>	<input type="checkbox"/>	Pacific Bay – Brentwood	<input type="checkbox"/>	<input type="checkbox"/>
County Solid Waste Management Department	<input type="checkbox"/>	<input type="checkbox"/>	Southdown – Southwestern Industrial Park	<input type="checkbox"/>	<input type="checkbox"/>

Revised April 2006

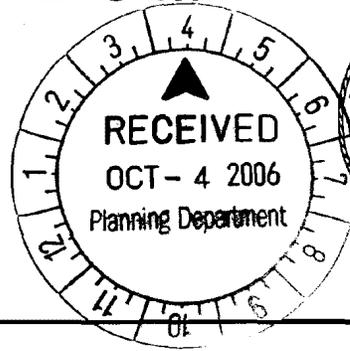
MEMORANDUM

DATE October 4, 2006

FROM John A. McGlade,
City Engineer

BB for JAMcG

TO Bill Webb
Director of Development



SUBJECT **CONDITIONAL USE PERMIT CUP-06-064, Victor Valley Rescue Mission**

The Engineering Department has no comment on the captioned Conditional Use Permit.

JAMc:MRM:mrm

September 28, 2006

John Becker, Fire Chief
Bill Webb, Director of Development

PLANNING COMMISSION MEETING – OCTOBER 11, 2006

Page 6



- Hopland shall be paved east to El Evado.
- Hopland shall be paved west to Cobalt and Cobalt south to Mojave.

Comments:

Development of this project will significantly increase the call volume for Engine 312.

If approved, the City's overall ISO rating could be impacted, resulting in higher insurance rates.

CUP-06-064

Conditions:

- Approved water supply system, complete with fire hydrants complying with Fire Department Standard No. 5, shall be in place prior to any combustible construction.
- Required fire flow for this project is 1,500 gpm @ 20 psi at furthest remote hydrant. Contact Water District to assure availability of required fire flow.
- Shall comply with all Fire Department requirements based on occupancy classification.
- Building shall have monitored Fire Alarm system installed.

PM-06-025

No adverse impact.

Submitted by: David Leef, Division Chief

JB/ta

MEMORANDUM



DATE: September 18, 2006

FROM: Kevin Collins, Plan Check Manager, CBO
Development Department, Building Division

TO: Development Department, Planning Division

SUBJECT: Conditional Use Permit CUP-06-064
Victor Valley Rescue Mission, Parcel No. 0478-226-06

In response to your Request for Comments for the upcoming Planning Commission meeting on October 11, 2006, listed below are comments with regard to the above-entitled matter:

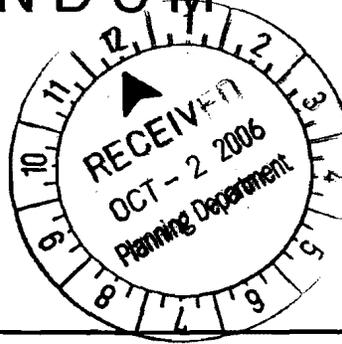
The project shall comply with all building codes in effect at the time of plan submittal.

KMC;sk



MEMORANDUM

DATE September 25, 2006
FROM **MARK A. TAYLOR**, Captain
Police Department
TO **BILL WEBB**, Director of Development
Development Department



SUBJECT **REQUEST FOR COMMENTS – PLANNING COMMISSION MTG. 10/11/06**

CUP-06-064

The Police Department's yearly statistical report indicates that the City of Victorville averages 1,500 calls for service per year for each 500 homes. On average, one deputy is able to adequately handle 1,500 calls for service per year. Therefore, adding 500 homes would require the addition of one deputy to the staffing level. The four projects listed by Victoria Homes, Tsung Chang Tsi, and Heller Development will add a combined total of 673 households to the city. This will require the addition of one deputy to our staffing level.

If you have any further questions regarding my position with the above planning commission issues, please contact me at the earliest convenience.

MAT/KL/acr



September 29, 2006

City of Victorville
14343 Civic Drive
Victorville, CA 92392-2399

Attention: Alex Jauregui
Planning Department

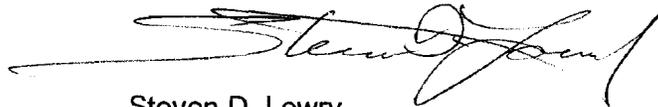
Subject: Conditional Use Permit No. 06-064
APN0478-226-06

Please be advised that the division of the property shown on Conditional Use Permit No. 06-064 will not unreasonably interfere with the free and complete exercise of any easements and/or facilities held by Southern California Edison Company within the boundaries of said map.

This letter should not be construed as a subordination of the Company's rights, title and interest in and to said easement(s), nor should this letter be construed as a waiver of any of the provisions contained in said easement(s) or a waiver of costs for relocation of any affected facilities.

In the event that the development requires relocation of facilities, on the subject property, which facilities exist by right of easement or otherwise, the owner/developer will be requested to bear the cost of such relocation and provide Edison with suitable replacement rights. Such costs and replacement rights are required prior to the performance of the relocation.

If you have any questions, or need additional information in connection with the subject subdivision, please contact me at (714) 934-0808.



Steven D. Lowry
Title and Real Estate Services
Corporate Real Estate Department

Old Town VV Property Owners
Planning Commission Items

P. 1

TO: 2690070

7602459951

SEP-27-2006 09:03A FROM: VICTORVILLE GLASS

689

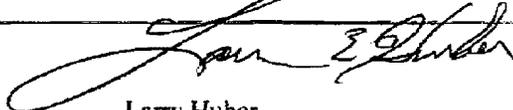
<u>CASE TYPE</u>	<u>CASE NO.</u>	<u>APPLICANT</u>	<u>ASSESSOR'S PARCEL NO.</u>	<u>CASE PLANNER</u>	<u>DESCRIPTION</u>
Conditional Use Permit	CUP-06-064	Victor Valley Rescue Mission	0478-226-06	Alex Jauregui	To allow for a Homeless Outreach Center and related services on property located at 16822 C Street

The City has spent over 1.3 million dollars for revitalizing Old Town Victorville thus far. Soon we will see a specific plan from the consultants. They need to submit the idea of increasing the visibility of the Old Town by marketing it as a safe and clean place to conduct business and tourism.

A conditional use permit for the Victor Valley Rescue Mission does not meet the intent and purpose of the specific plan in Old Town.

The Mission should go to an area where it is permitted and meets the intent of the zoning relations for the specific plan such as residential and or residential apartment.

Do what's right for Old Town, a new image and a concept that Old Town is not just crime infested and racked by poverty. This takes time and proper zoning.



Larry Huber
President, Old Town Victorville Property Owners



*Items identified by this symbol are recommendations for adoption or denial by the Planning Commission to the City Council. The Planning Commission decision on projects not identified with this symbol is final unless its decision is appealed to the City Council.



Date: September 28, 2006

NOTIFICATION OF PLANNING COMMISSION ACTION

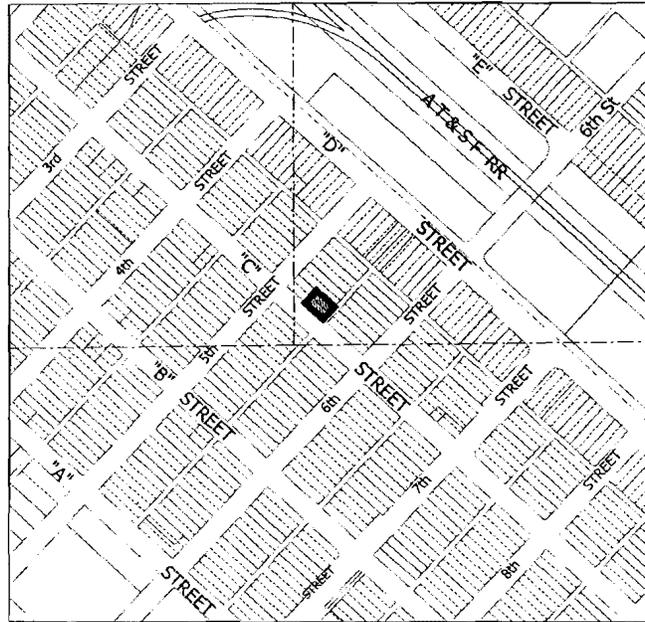
In reply refer to: Proposed Conditional Use Permit

Case No.: CUP-06-064

Dear Property Owner:

Victor Valley Rescue Mission is proposing to allow for a homeless outreach center and related services on property located at 16822 C Street.

Inasmuch as your property is located within a 300-foot radius of property for the project, and pursuant to State Planning Law and/or Local Ordinance, you are being notified of the Public Hearing on this proposed project. For more details regarding this project, please call Alex Jauregui, Assistant Planner, at (760) 955-5135. The Public Hearing will be held before the Planning Commission on October 11, 2006, in the Mojave Desert Air Quality Management District Boardroom, 14306 Park Avenue, Victorville, California, at 7:00 P.M.



If you do not plan to attend the Public Hearing and present your comments or wish to have your comments made part of the written record, please provide any comments and/or recommendations regarding the proposed project in the space below and return prior to October 11, 2006. All comments and/or recommendations will become public information and be provided to the Planning Commission in its deliberations on this proposal. PLEASE RESPOND IN BLACK INK SO IT CAN BE REPRODUCED.

Opinions and/or recommendations: See letter/comments attached.

Signature: *Mark C. Ward*

Assessor's Parcel No. 0478-226-05
0478-223-11

Address: (Please Print) MARK C. WARD
15582 10th STREET
VICTORVILLE, CA 92395-3001 USA

27 September 2006

Mark C. Ward
15582 10th Street
Victorville, CA 92395

Victorville Planning Commission
City of Victorville
P.O. Box 5001
Victorville, CA 92393-5001



Re: CUP #06-064; Victor Valley Rescue Mission

Honorable Planning Commission:

I am the owner of APN #0478-226-05 (aka the historic "Chantry House" at 15604 6th Street) and APN 0478-223-11 (15563-75 5th Street), both properties either in close proximity or contiguous to the subject of this CUP.

Samaritan's Helping Hand, Victory Outreach, St. Joan of Arc's daily Lord's Supper feeding, St. John of God Health Care Services rehab, counseling, and housing facilities on 3rd, 6th, and 10th Streets, New Beginnings Christian Center on 6th & C Streets with associated housing units and thrift store on 6th Street, Set Free's "No Shirt, No Shoes, No Problem" Center, countless houses of worship, daily feedings in Forrest Park, and on and on the list goes. The point is this: Old Town Victorville has become a virtual smorgasbord of free food, clothing, counseling, homeless, spiritual, rehab services, by anyone's measure sufficient not only for Old Town Victorville neighborhood's population, but for our entire city and beyond. Outside Old Town on Anacapa Road, the very reputable High Desert Homeless Services stands ready to assist those who are willing to play by the slightest set of rules, for all issues relating to homelessness, including beds.

It's time to say: Enough Is Enough!

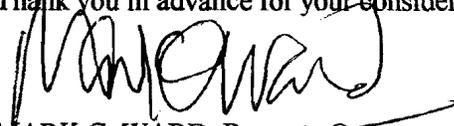
Time crept along as certain criminal gangs found a comfort zone in Old Town Victorville. As months turned into years, this cancer has spread into 2nd and 3rd generations and an unwelcome element was rooted deeply, terrorizing Old Town's decent people and complicating day to day operations of our fine Victorville Police Department. With the Victorville City Council's new, creative, and brave full frontal assault on this Old Town policing problem via Court Injunctions, the tone is set. Finally, a line has been drawn in the sand.

Old Town Victorville Property Owners knows if we do not immediately halt the incessant and unfair forces attempting to hijack Old Town and turn it into a dumping ground and clearing house magnet for the Victor Valley and beyond for drug addicts, alcoholics, homeless, criminals, parolees, sex predators, history will repeat itself and a future City Council will form yet another task force to try to take back our neighborhood. We can control our destiny now. Enough is enough.

The debate about homelessness, drug and alcohol addiction, society's less-advantaged and the very profitable business of countless funded nonprofits who are tripping over themselves to serve them is not the topic of this CUP. The issue here is very clear: the wrong business in the wrong zoning. Further, it's our Old Town struggling to rehab our neighborhood's housing and business elements in the midst of an ever-growing swamp of obstacles. It's NYC's ex-Major Rudy Giuliani's "broken window" theory that took back Times Square from the dopers, pimps, thieves, and prostitutes, but with attractive nuisance services congregating countless "broken people" into Old Town from all corners of the Victor Valley and points beyond. We want our neighborhood back!

In conclusion, Old Town Victorville has sufficient existing services for not only our neighborhood, but our city. Zoning issues must be adhered to for Old Town's revitalization to ever have a chance of succeeding. Enough, really is enough. Deny CUP #06-064.

Thank you in advance for your consideration.


MARK C. WARD, Property Owner
Old Town Victorville

cc to: Hon. Victorville Mayor Mike Rothschild and City Council

28 September 2006

California Route 66 Museum
P.O. Box 2151
Route 66 Between 5th & 6th
Victorville, CA 92393-2151

Victorville Planning Commission
City of Victorville
P.O. Box 5001
Victorville, CA 92393-5001



Re: Conditional Use Permit No. 06-064, Victor Valley Rescue Mission

To The Victorville Planning Commission:

The purpose of this letter is to express our comments as property owners regarding Victor Valley Rescue Mission's C.U.P. application to continue to operate at their "C" Street location.

As you may or may not be aware, California Route 66 Museum is an all-volunteer effort that started on a shoestring budget of donations on November 11, 1995; Veteran's Day. In almost 11 years since, we have grown and obviously somehow succeeded at our Route 66 "D" Street location, but we must say one of our biggest obstacles for obtaining donations, volunteers, and even visitors is our location. While we love our location between 5th and 6th Streets sitting on the very Historic Highway 66 our Museum celebrates, the area's never ending stream of free food and clothing giveaways and public feedings, and the "client" base they continue to provide a cozy welcome for makes most decent people take one look and drive on to the next Museum.

Some potential volunteers tell us, "I am frightened by the increasing number of vagrants and homeless and panhandlers; why does your neighborhood keep providing more and more services to not only keep them there, but even bring more undesirable people in from other communities? It seems counterproductive to Old Town's fragile revitalization. My husband won't allow me to volunteer until things seem safer."

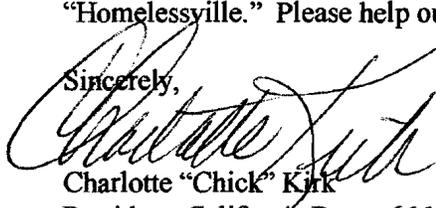
I must say, that pretty well sums up our position. Since Victor Valley Rescue Mission opened across the alley behind our Museum, word seems to have spread from Needles to Santa Monica and in the last year, we are no longer dealing with the same "locals" who throw unwanted food and clothing (which they just got for free!) around our building which we have to clean up daily, but also increasing numbers of NEW faces who do their bathroom business behind our building because they are simply too drunk, drugged, or lazy to go 25 yards to the public restrooms

Page 2

available in Forrest Park across the street. Why should any neighborhood continue to be under such attack, and where is the turning point between "providing services" for the less-fortunate in our neighborhood, and becoming a southern California magnet because Old Town Victorville seems to be heading toward a reputation as Homeless Central? We have long passed that point!

Historically, the Town of Victor, later named Victorville, grew into quite a watering hole and a popular stop along Route 66. We became so notorious we picked up the nickname "Liquorville." If we don't deny this and other such CUPs, our next nickname may very well be "Homelessville." Please help our neighborhood succeed.

Sincerely,

A handwritten signature in cursive script, appearing to read "Charlotte Kirk".

Charlotte "Chick" Kirk
President, California Route 66 Museum

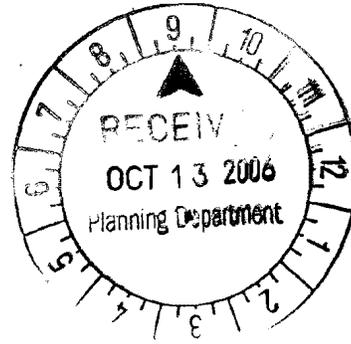


VICTOR VALLEY RESCUE MISSION

Mail: P.O 3060
Victorville, CA 92392
Location: Mission Outreach Center
16822 C Street
"Old Town" Victorville, CA 92395
Phone: (760)955-5958 * 985-1053
Director: Paul D. Vyzourek (760)684-0047

Changing Lives for Good

Date: October 11, 2006
To: City of Victorville
The Planning Department
Attn: Alex Jauregui, Asst. Planner
From: Victor Valley Rescue Mission
Board of Directors
Subject: Continuance Request for CUP-06-064

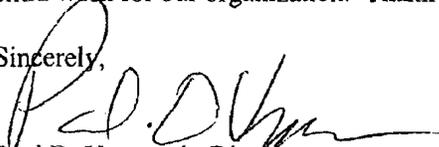


To Whom it May Concern:

This letter is to inform the Planning Commission of the City of Victorville of Victor Valley Rescue Mission's desire to accept the proposed continuance of the hearing involving our application for a Conditional Use Permit to allow for a homeless outreach center and related services.

Since the Planning Department has made this recommendation our organization has put on hold our own preparations for this hearing. Those who desire to make public comment on the desirability of our request will not be present on October 11th. It was our understanding that this continuance is a foregone conclusion. Please be advised that we would appreciate a new date as soon as possible and that it NOT be continued again as this delay has caused a lot of extra work for our organization. Thank you.

Sincerely,


Paul D. Vyzourek, Director

CUP-06-064



ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE IN BLACK INK SO IT CAN BE REPRODUCED.

Opinions and/or recommendations: We believe in what the Outreach Center is trying to do. We applaud their efforts + have contributed clothing etc in the past.

Signature: Philip & Sharon Maurice Assessor's Parcel No. _____

Address: (Please Print) 15564 5th St. Victorville, CA 92395

P.S. We have lived here since July 4th, 1990. We've seen many uses attempted in this building. Since outreach moved in there it has been peaceful and quiet there. (No more prostitutes or drug dealers at 5th + C. I can see the whole area from my kitchen window. It is extremely well run.

Thank You.
Sharon Maurice

MEMORANDUM



DATE: September 13, 2006
FROM: Bill Webb
Director of Development
TO: Chairman and Planning Commissioners

SUBJECT: CONTINUANCE OF PROPOSED CONDITIONAL USE PERMIT CUP-06-064;
TO ALLOW FOR A HOMELESS OUTREACH CENTER AND RELATED
SERVICES; VICTOR VALLEY RESCUE MISSION

AGENDA ITEM NO. 1

Staff requests a continuance of this item in order to allow for additional time to review and analyze the issues concerning this project prior to making a recommendation to the Planning Commission. Therefore, Staff requests a continuance of this item until the November 8, 2006, Commission meeting.

Therefore, this matter is presented for consideration.

Submitted by: Alejandro Jauregui, Assistant Planner

attachment

AJ

The applicant presented the following pictures to the Planning Commission at the November 8, 2006 meeting. These pictures were presented to show that the rescue mission had complied with numerous code enforcement issues.





Fire Code compliance



Ingress and Egress compliance



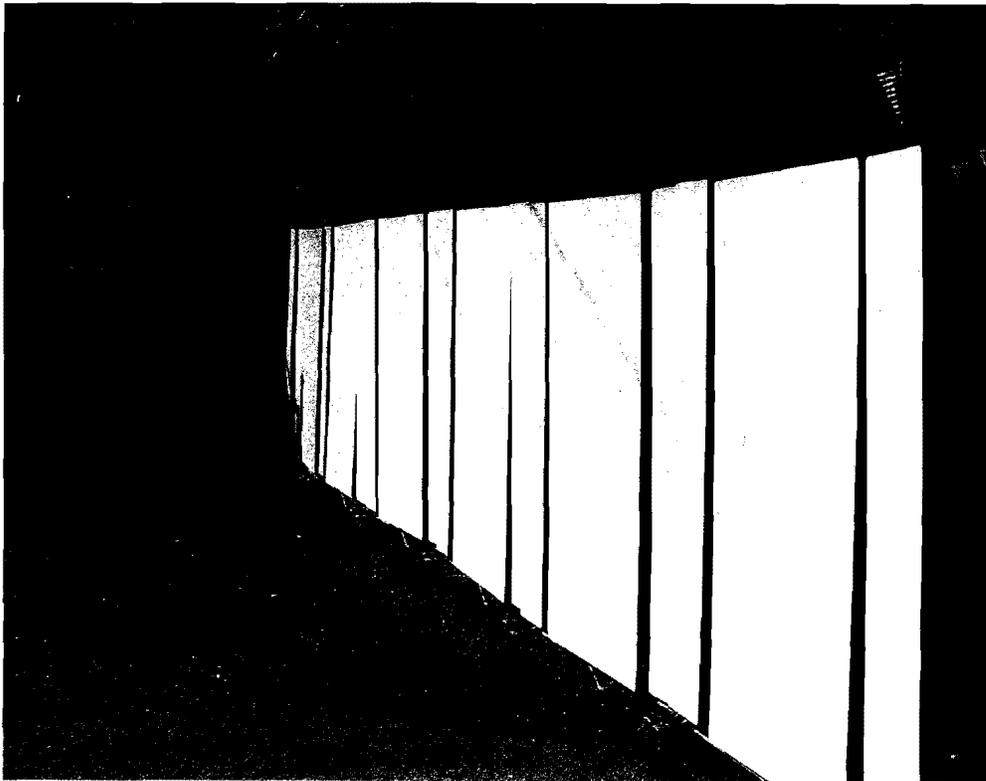
Health Dept compliance



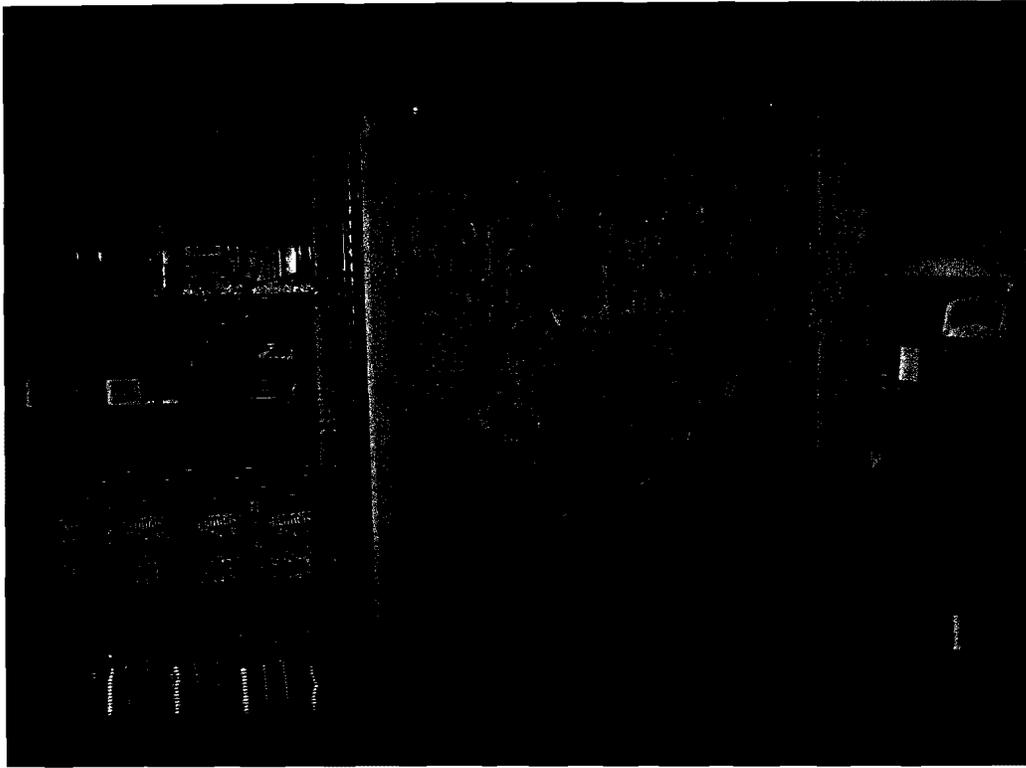
Alley on East side of Mission



Porch cover in rear of building



Opaque fencing in Back lot



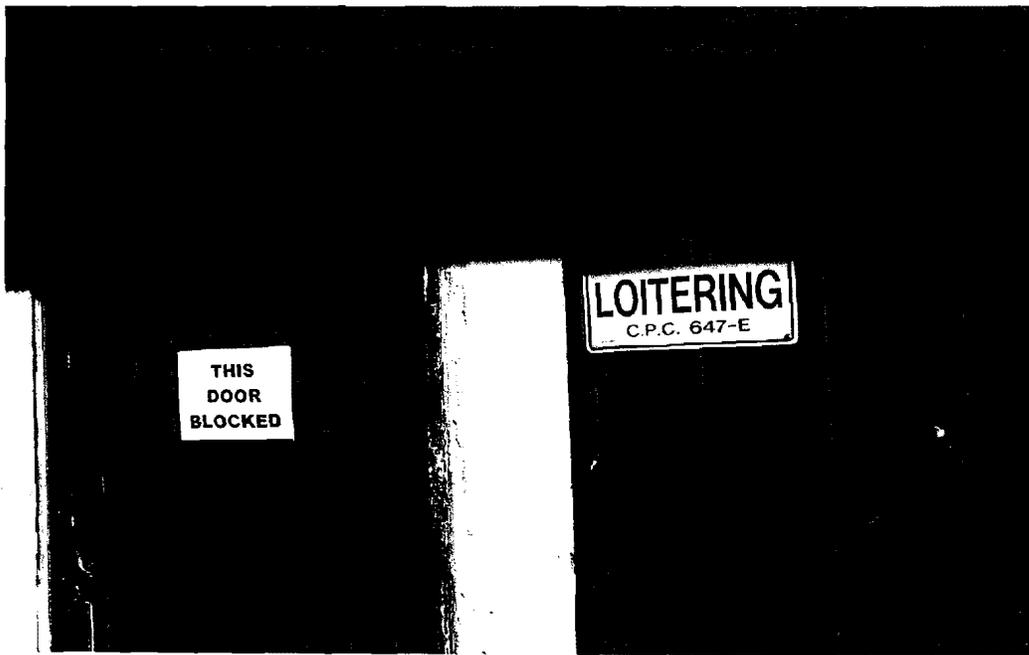
Rodent proof cover and fire code compliance



Signage to comply with city codes



More opaque fencing and additional signage



Fire Code and Signage for City codes



AGENDA ITEM

CITY COUNCIL MEETING OF: December 19, 2006

SUBMITTED BY: John A. McClade
City Engineer

DATE: 11/13/06

SUBJECT: PUBLIC HEARING - PRESENTATION OF ORDINANCE NO. 2183
ESTABLISHING SPEED ZONES ON CERTAIN STREETS

RECOMMENDATION: That City Council introduce Ordinance No. 2183 at the close of the public hearing.

FISCAL IMPACT: None

Budget Amount: _____
Budget Acct. No.: _____

---Finance Dept. Use Only --- Additional Appropriation: No _____ Yes ___/\$Amt.: _____ Finance Director Review & Approval _____
--

DISCUSSION:

At their regularly scheduled meeting of November 21, 2006, the City Council approved the recommendation of the Traffic Advisory Committee to establish speed zones on Arrowhead Drive, Burning Tree Drive, Clovis St., Hughes Road., Northstar Avenue, Petaluma Rd., Rodeo Drive, 2nd Avenue, Reno Loop (North and South), and Luna Road. Accordingly, a public hearing has been scheduled for Ordinance No. 2183 which reflects those recommendations and is hereby presented for Council's consideration and possible introduction at the close of the public hearing.

ORDINANCE NO. 2183

AN ORDINANCE OF THE CITY OF VICTORVILLE ESTABLISHING
SPEED ZONES UPON CERTAIN STREETS IN SAID CITY AND
AMENDING SECTION 12.20.020 OF THE VICTORVILLE MUNICIPAL
CODE, ENTITLED "DECREASE OF STATE LAW MAXIMUM SPEED
ON VARIOUS STREETS"

THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY ORDAIN AS
FOLLOWS:

SECTION 1. Section 12.20.020 of the Victorville Municipal Code be amended by updating the "TABLE 12.20.020 DECREASE OF STATE LAW MAXIMUM SPEED" to reflect the most current Declared Prima Facie Speed Limit on 11th Street, Hook Blvd., Jasmine Street, La Mesa Road, Luna Road, Sycamore St., El Evado Road, Mojave Drive, and Bear Valley Road.

Arrowhead Dr.- Nisqualli Rd to Green Tree Blvd.	50 mph
Green Tree Blvd to Camelback Dr.	25 mph
Burning Tree Dr. - Yates Rd to Molino Dr.	25 mph
Clovis St. - El Evado to Llanada Ave.	35 mph
Hughes Road - La Paz Dr. to Rodeo Dr.	40 mph
Rodeo Dr. to Hesperia Rd	30 mph
Northstar Ave. - San Ysidro St. to El Evado Rd	35 mph
Petaluma Rd - Bear Vly Rd (Mall Blvd) to Northstar Ave	35 mph
Rodeo Dr. - Green Tree Blvd to Seneca Rd	40 mph
Seneca Rd to Victor St.	35 mph
2 nd Avenue - Bear Valley Rd to Jasmine St.	45 mph
Reno Loop Rd -North and South to Hook Blvd.	35 mph
Luna Rd - State Highway 395 to Amargosa Rd	40 mph

MEMORANDUM



DATE: December 19, 2006
FROM: Bill Webb, AICP *BW*
Director of Development
TO: Mayor and City Council Members

SUBJECT: MUNICIPAL CODE AMENDMENTS – MAJOR REVISIONS/ADDITIONS

The *major* revisions and additions to Title 18 of the Victorville Municipal Code that affect residential and commercial development are as follows:

Single-family Residential

- Increase single-family home minimum size from 800 to 1200 square feet. (Page 4)
- Prohibit parking in front and street side yards. (Page 2 & 5)
- Increase single-family side yard setbacks to five and ten feet, with a fifteen-foot minimum between dwelling units. (Page 5)
- Require front yard landscaping for single-family homes. (Page 7)
- Require that subdivisions plant the same landscaping as model homes. (Page 24)
- Require rear and side masonry walls with the development of two or more units in a subdivision. (Page 24)

Multi-family Residential

- Establish multi-family design guidelines. (Page 4, 7 & 25)

Commercial

- Establish commercial design guidelines. (Page 8, 10, 12 & 25)
- Prohibit schools in all existing Commercial Zone Districts. (Page 18)
- Increase street landscaping from three feet to five feet. (Page 22)
- Require English alphabet translation on all signs not using the English alphabet as the primary script. (Page 22)
- Prohibit painted signs. (Page 22 & 23)

BW:aj

A-06-001 AMENDMENTS – REVISED 12/11/06

Title 17 Amendments

Chapter 17.100 **Enforcement-Penalty-Remedies**

17.100.040(f) Additional remedies – Certificate of compliance.

Change

(f) ~~The certificate of compliance proceedings shall be subject to a public hearing process pursuant to Chapter 17.108 of this code.~~

(f) A certificate of compliance shall be subject to review and approval by the City Engineer or his designee in accord with the State's Subdivision Map Act.

Title 18 Amendments

Chapter 18.04 **Definitions**

18.04.175 Building, subordinate.

Addition

"Subordinate building" means a structure that is either a maximum of four hundred (400) square feet in floor area or forty (40) percent of the square footage of the main building; whichever is greater.

18.04.310 Dwelling, multiple.

Change

"Multiple dwelling" means a building containing two or more dwelling units, or a hotel or motel in which twenty percent or more of the rental units contain a kitchen or kitchenette.

"Multiple dwelling" means a building containing two or more dwelling units, or a hotel or motel in which twenty percent or more of the rental units contain a kitchen or kitchenette. All multiple dwellings shall conform to the adopted Planning Commission Design Guidelines.

18.04.350 Garage, private.

Change

"Private garage" means an accessory building or an accessory portion of the main building designed and/or used for the shelter or storage of vehicles of the occupants of the main building.

"Private garage" means a fully enclosed accessory building or a fully enclosed accessory portion of the main building designed and/or used for the shelter or storage of vehicles of the occupants of the main building.

18.04.900 Yard.

Change

"Yard" means a space on the same lot with a building or structure which is open and unobstructed, except as otherwise provided in this title, from the ground upward. Neither landscaping nor ordinary outdoor furnishings shall be deemed to obstruct a yard, nor shall any underground structure or part of an underground structure which extends less than eighteen inches above the ground level.

"Yard" means a space on the same lot with a building or structure which is open and unobstructed, including parked vehicles, except as otherwise provided in this title, from the ground upward. Neither landscaping nor ordinary outdoor furnishings shall be deemed to obstruct a yard, nor shall any underground structure or part of an underground structure which extends less than eighteen inches above the ground level.

Chapter 18.06
Interpretation, Construction and Enforcement

18.06.080 Enforcement

Change

"The provisions of this title shall be interpreted by the city attorney.

Any building or structure erected or maintained, or any use of property, contrary to the provisions of this title is, and the same is declared to be, unlawful and a public nuisance and the city attorney shall immediately commence actions and proceedings for the abatement, removal and enjoinder thereof, in the manner provided by law; and shall take such other steps, and shall apply to any court as may have jurisdiction to grant such reliefs as will abate or remove such building, structure or use and restrain and enjoin any person, firm or corporation from erecting or maintaining such building or structure, or using any property contrary to the provisions of this title."

"The provisions of this title shall be interpreted by the City.

Any building or structure erected or maintained, or any use of property, contrary to the provisions of this title is, and the same is declared to be, unlawful and a public nuisance and the City shall immediately commence actions and proceedings for the abatement, removal and enjoinder thereof, in the manner provided by law; and shall take such other steps, and shall apply to any court as may have jurisdiction to grant such reliefs as will abate or remove such building, structure or use and restrain and enjoin any person, firm or corporation from erecting or maintaining such building or structure, or using any property contrary to the provisions of this title."

Chapter 18.13
Residential Districts

18.13.020 Minimum dwelling unit areas.

Change

Every dwelling unit constructed in a residential district shall contain the following minimum square footage of living area:

Bachelor apartments	500 square feet
One and two bedroom apartments in complex	600 square feet
Single-family dwelling	800 square feet

Every dwelling unit constructed in a residential district shall contain the following minimum square footage of living area:

<i>Studio apartments</i>	<i>500 square feet</i>
<i>One bedroom apartments</i>	<i>600 square feet</i>
<i>Two bedroom apartments</i>	<i>800 square feet</i>
<i>Single-family dwelling</i>	<i>1200 square feet</i>

18.13.050 Design Guidelines.

Addition

All development shall conform to the adopted Planning Commission Design Guidelines where applicable.

Chapter 18.16
R-1 Single-Family Residential District

18.16.020 Permitted uses.

Change

"The following principal uses are permitted in the R-1 district:

- (1) One single-family dwelling on a lot;
- ~~(2) One single manufactured home on a lot installed pursuant to the provisions contained in Section 18.58.120 of this title;~~
- (3) Garden, orchard and field crop. "

"The following principal uses are permitted in the R-1 district:

- (1) One single-family dwelling on a lot;*
- (2) Garden, orchard and field crop.*

18.16.040 Accessory Uses.

Addition

(2) Recreational vehicles can be stored on any lot provided: (a) the required off-street parking areas are not utilized and access thereto is not obstructed; and (b) said recreational vehicles must be under the same ownership as either the owner of the residential lot or the tenant. These regulations shall not restrict the storage of a recreational vehicle on a residential lot in compliance with previous regulations. Recreational vehicles under ownership by an individual or individuals other than the residents of the subject property may be stored on any lot in compliance with subsection (2)(a) so long as a permit is obtained from the Victorville planning department and a fee of five dollars is paid to cover administrative costs. Said recreational vehicle shall not be stored more than twenty-one consecutive days per quarter annually. No quarterly twenty-one-day periods, or portions thereof, shall run consecutively;

(2) Recreational vehicles can be stored on any lot provided: (a) the required off-street parking areas are not utilized and access thereto is not obstructed; (b) said recreational vehicles must be under the same ownership as either the owner of the residential lot or the tenant; and (c) no parking occurs within the area located between the front and/or side property line and the primary plane of the building abutting any street; unless in a designated driveway that does not exceed the width of the garage. These regulations shall not restrict the storage of a recreational vehicle on a residential lot in compliance with previous regulations. Recreational vehicles under ownership by an individual or individuals other than the residents of the subject property may be stored on any lot in compliance with subsection (2)(a) so long as a permit is obtained from the Victorville planning department and a fee of five dollars is paid to cover administrative costs. Said recreational vehicle shall not be stored more than twenty-one consecutive days per quarter annually. No quarterly twenty-one-day periods, or portions thereof, shall run consecutively;

18.16.060 Yards.

Change

"The minimum required yards in an R-1 district shall be as follows:

- (1) Depth of front yard, subject to the exceptions set forth in Section 18.64.040, twenty feet;
- (2) Depth of rear yard, twenty feet;
- ~~(3) Width of side yard along the street lot line of a corner lot, subject to the exceptions set forth in Section 18.64.040, ten feet;~~
- ~~(4) Width of side yard along the interior side lot line, five feet."~~

"The minimum required yards in an R-1 district shall be as follows:

- (1) Depth of front yard, subject to the exceptions set forth in Section 18.64.040, twenty feet;*
- (2) Depth of rear yard, twenty feet;*
- (3) Width of side yards shall be five and ten feet, with a minimum of fifteen feet between dwelling units;*
- (4) Width of side yard along the street lot line of a corner lot, subject to the exceptions set forth in Section 18.64.040, ten feet.*

18.16.100 Off-street parking.

Change

Off-street parking spaces shall be provided pursuant to Chapter 18.60. Two spaces are required for each dwelling unit and shall be within a fully enclosed garage or carport. ~~When carports are constructed in lieu of garages, a minimum of one hundred fifty cubic feet of storage space shall be provided therein.~~ The minimum dimensions for a garage or carport shall be eighteen feet by twenty feet. Each required garage or carport shall be served by a driveway from the property line which abuts a road or access way to the structures. Where the required off-street parking spaces are provided within an accessory building, a driveway to serve the off-street parking shall be a minimum of twenty feet in length from the garage structure to the property line. The minimum driveway width to a two-car garage or carport shall be sixteen feet. However, when determined by the director of planning, a nine-foot driveway may be permitted (excepting within twenty feet of the garage or carport) and/or no improved driveway shall be required if it is deemed by the director of planning impractical and unreasonable because of special circumstances applicable to the subject property. The special circumstances shall include, but not be limited to, the size and shape of the subject property. All parking spaces and areas, access driveways and maneuvering areas required and as shown on any approved plans shall be graded for adequate drainage and surfaced with portland cement with a minimum of four inches thickness or asphalt concrete over an approved base, as approved by the city engineer.

Off-street parking spaces shall be provided pursuant to Chapter 18.60. Two spaces are required for each dwelling unit and shall be within a fully enclosed garage. The minimum interior dimensions for a garage shall be eighteen feet by twenty feet. Each required garage shall be served by a driveway from the property line which abuts a road or access way to the structures. Where the required off-street parking spaces are provided within an accessory building, a driveway to serve the off-street parking shall be a minimum of twenty feet in length from the garage structure to the property line. The minimum driveway width to a two-car garage shall be sixteen feet. However, when determined by the Director of Development, a nine-foot driveway may be permitted (excepting within twenty feet of the garage or carport) and/or no improved driveway shall be required if it is deemed by the director of planning impractical and unreasonable because of special circumstances applicable to the subject property. The special circumstances shall include, but not be limited to, the size and shape of the subject property. Parking of any vehicle shall be prohibited the area located between the front and/or side property line and the primary plane of the building abutting any street; unless in a designated driveway that does not exceed the width of the garage. All parking spaces and areas, access driveways and maneuvering areas required and as shown on any approved plans shall be graded for adequate drainage and surfaced with portland cement with a minimum of four inches thickness or asphalt concrete over an approved base, as approved by the city engineer.

18.16.120 Landscaping.

Addition

All landscaping shall be in accord with Section 13.60.060 of this Code. All required front yard areas shall have a minimum of fifty (50) percent landscaping free of paved parking and driveway areas. Any areas used for pedestrian access or other landscape features utilizing paved areas shall be permitted at the discretion of the Director of Development or his designee.

Chapter 18.18
R-2 Medium-Density Residential District

18.18.072 Design Guidelines.

Addition

All development shall conform to the adopted Planning Commission Design Guidelines.

Chapter 18.20
R-3 High-Density Residential District

18.20.072 Design Guidelines.

Addition

All development shall conform to the adopted Planning Commission Design Guidelines.

Chapter 18.22
R-4 Very-High-Density Multiple Residential District

18.22.072 Design Guidelines.

Addition

All development shall conform to the adopted Planning Commission Design Guidelines.

Chapter 18.28
C-1 Neighborhood Retail District

18.28.062 Design Guidelines.

Addition

All development shall conform to the adopted Planning Commission Design Guidelines.

18.28.065 Roofing Materials.

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.30
C-2 General Commercial District

18.30.010 Intent.

Change

The primary purpose of this district is to provide suitable locations and lands for various commercial activities, primarily of a ~~non-retail store~~ nature, and for various types of service, ~~storage~~ and ~~heavy~~ commercial activities. The general commercial district is consistent with the commercial land use designation of the general plan. This district accommodates most commercial activities that are neighborhood, community, and regional in scale.

The primary purpose of this district is to provide suitable locations and lands for various commercial activities, primarily of a retail nature, and for various types of service, office, and commercial activities. The general commercial district is consistent with the commercial land use designation of the general plan. This district accommodates most commercial activities that are neighborhood, community, and regional in scale.

18.30.030 Conditional Uses.

Change

(9) Automobile service stations, and similar fuel dispensing facilities, provided that any repairing ~~or washing~~ of the vehicle is conducted wholly within an enclosed building. Service stations shall be entitled to the following for outdoor display: four portable tire display racks. They are to be no larger than seven feet six inches high by five feet wide by six feet long. They are to be black in color and constructed of metal. They shall be displayed during business hours only. Also to be allowed are a combination of wiper cabinet and oil rack, no more than one per island, per station. If any other outdoor display of merchandise is to take place, it shall be limited to only mechanical parts and supplies related to the operation of a vehicle and shall be approved by the ~~planning department~~ for periods not to exceed thirty days;

(9) Automobile service stations, and similar fuel dispensing facilities, provided that any repairing of the vehicle is conducted wholly within an enclosed building. An accessory car wash is permitted in conjunction with a fuel dispensing facility, provided the process is fully automated with all washing and drying conducted fully within an enclosed building and any vacuums are located outside of all required setbacks and are oriented so as not to be visible from any public right-of-way. Service stations shall be entitled to the following for outdoor display: four portable tire display racks. They are to be no larger than seven feet six inches high by five feet wide by six feet long. They are to be black in color and constructed of metal. They shall be displayed during business hours only. Also to be allowed are a combination of wiper cabinet and oil rack, no more than one per island, per station. If any other outdoor display of merchandise is to take place, it shall be limited to only mechanical parts and supplies related to the operation of a vehicle and shall be approved by the Development Department for periods not to exceed thirty days;

(20) Full-service car wash;

Addition

*Existing Conditional Uses 20-36 shall be renumbered to 21-37 to reflect this addition.

18.30.040 Special Regulations.

Addition

(6) Accessory uses shall not exceed a total of ten (10) percent of the total floor area of the principal use occupying the building. All accessory uses shall be permitted per Sections 18.30.020 and 18.30.030 of this Code.

18.30.090 Building height.

Addition

No building in a C-2 district shall have a height in excess of forty-five feet, unless otherwise approved by the Planning Commission.

18.30.092 Design Guidelines.

Addition

All development shall conform to the adopted Planning Commission Design Guidelines.

18.30.095 Roofing Materials.

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.34

C-4 Highway and Service Commercial District

18.34.030 Conditional Uses.

Change

(6) Car wash;

(6) Full-service car wash;

18.34.062 Design Guidelines.

Addition

All development shall conform to the adopted Planning Commission Design Guidelines.

18.34.065 Roofing Materials.

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.36
C-A Administrative Professional Offices District

18.36.020 Permitted uses.

Change

The following principal uses are permitted in the C-A district:

- (1) Any and all uses in this zone district providing drive-thru service shall be approved by the director of planning, excepting those adjacent to residential zones;
- (2) Audio and/or video recording and production studio;
- (3) Office or office building for the conduct of business, professional or administrative services;
- (4) Bank, loan agency;
- (5) Blueprinting and/or photostating;
- ~~(6) Library, exhibit hall, art gallery;~~
- ~~(7) Locksmith;~~
- ~~(8) Clinic;~~
- ~~(9) Medical or dental laboratory;~~
- ~~(10) Medical equipment, wedding, and/or other small item rental and/or supply business;~~
- ~~(11) Packaging, facsimile and/or mail service;~~
- ~~(12) Pharmacy, limited to the sale of drugs and medical supplies;~~
- ~~(13) Photography studio;~~
- ~~(14) Shoe repair;~~
- ~~(15) Tailor and/or seamstress;~~
- ~~(16) Telephone answering service;~~
- ~~(17) Travel agency;~~
- ~~(18) Other uses similar to the above, if approved by the planning commission.~~

The following principal uses are permitted in the C-A district:

- (1) Any and all uses in this zone district providing drive-thru service shall be approved by the director of planning, excepting those adjacent to residential zones;*
- (2) Audio and/or video recording and production studio;*
- (3) Office or office building for the conduct of business, professional or administrative services;*
- (4) Bank, loan agency;*
- (5) Blueprinting and/or photostating;*
- (6) Library, exhibit hall, art gallery;*
- (7) Hospital, including accessory uses such as nursing homes;*
- ~~(8) Locksmith;~~*
- ~~(9) Clinic;~~*
- ~~(10) Medical or dental laboratory;~~*
- ~~(11) Medical equipment, wedding, and/or other small item rental and/or supply business;~~*
- ~~(12) Packaging, facsimile and/or mail service;~~*
- ~~(13) Pharmacy, limited to the sale of drugs and medical supplies;~~*

- (14) Photography studio;
- (15) Shoe repair;
- (16) Tailor and/or seamstress;
- (17) Telephone answering service;
- (18) Travel agency;
- (19) Other uses similar to the above, if approved by the planning commission.

18.36.060 Building height.

Change

~~"No building in a C-A district shall have a height in excess of sixty-five feet, nor be in excess of six stories nor in excess of thirty-five feet within fifty feet of an R-1, R-2 or R-3 district."~~

No building in a C-A district shall have a height in excess of *forty-five feet*, unless otherwise approved by the Planning Commission.

18.36.062 Design Guidelines.

Addition

All development shall conform to the adopted Planning Commission Design Guidelines.

18.36.065 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.39
C-M Commercial Manufacturing District

18.39.082 Design Guidelines.

Addition

All development shall conform to the adopted Planning Commission Design Guidelines.

18.39.085 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.41
I.P.D. Industrial Park District

18.41.020 Permitted Uses

Change

(1)(B) Manufacturing, compounding, assembly, packaging or treatment of articles or merchandise from the following previously prepared materials:

(1)(B) Manufacturing, compounding, assembly, packaging and treatment of merchandise and materials including:

Addition

(2) Other Services:

(A) Parcel delivery terminal;

(B) Research office and laboratory; and

(C) Warehousing, storage and/or wholesaling (retailing to the general public not to exceed twenty percent of gross yearly sales.).

(2) Other Services:

(A) Glass sales, installation and repair;

(B) Parcel delivery terminal;

(C) Research office and laboratory; and

(D) Warehousing, storage and/or wholesaling (retailing to the general public not to exceed twenty percent of gross yearly sales.).

18.41.030 Conditional Uses

Change

(6) Retail uses as follows:

(A) Blueprinting and photocopying,

(C) ~~Dance school/studio;~~

(D) ~~Glass sales, installation and repair, including glass tinting,~~

(6) Retail uses as follows:

*(A) Blueprinting, *Existing Conditional Uses D –H shall also be updated to read as D – F*

18.41.075 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.42
M-1 Light Industrial District

18.42.075 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.44
M-2 Heavy Industrial District

18.44.075 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.48
P-C Public and Civic District

18.48.065 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.52
P.P. Precise Plan District

18.52 Precise Plan District – *Eliminate entire Chapter.*

Change

Chapter 18.58
General Regulations

18.58.030 Building height limitations-Exceptions.

Change

The height limitations of this title shall not apply to such features as antennas, chimneys or church spires. All antennas which project in excess of ten feet above any building height shall be subject to a conditional use permit pursuant to Chapter 18.74, with the exception of FM, UHF and VHF antennas which receive commercial radio or television broadcasts. Flag poles are permitted in any zone district as an accessory use. Said poles shall not exceed a height of twenty feet in residential zone districts, and fifty feet in all other zone districts. Further, only one flag pole shall be allowed on any property zoned for single-family residential use. No flag on said flag pole shall exceed the following size limitations:

Pole Height	Maximum Flag Size
Up to 22 ft.	3 ft. x 5 ft.
Over 22 ft. to 26 ft.	4 ft. x 6 ft.
Over 26 ft. to 50 ft.	6 ft. x 10 ft.

The height limitations of this title shall not apply to such features as chimneys or church spires. The height of attached church spires and other architectural features shall not exceed the height of the building plus an additional fifty (50) percent of the height of the building.

Antennas may project up to ten (10) feet above any building on-site. Antennas in excess of ten (10) feet above any building height shall be subject to a conditional use permit pursuant to Chapter 18.74.

Flag poles are permitted in any zone district as an accessory use. Flag poles on any property zoned for single-family use shall be limited to one (1) in number and shall be limited to a height of twenty (20) feet. The maximum flag size in any single-family residential district shall be 3 ft. x 5 ft. Flag poles within any zone other than single-family residential zones shall be limited to a height of fifty (50) feet and flags on said poles shall not exceed the following size limitations:

Pole Height	Maximum Flag Size
Up to 22 ft.	3 ft. x 5 ft.
Over 22 ft. to 26 ft.	4 ft. x 6 ft.
Over 26 ft. to 50 ft.	6 ft. x 10 ft.

18.58.070 Minor deviations-Actions by planning director.

Change

The ~~planning director~~ may approve minor deviations to the regulations as contained in this title and specified below. ~~There shall be a one hundred ten dollar filling fee for minor deviation applications.~~ The ~~planning director~~ shall find that the deviation requested results from a unique situation and will not be injurious or detrimental to the health, safety and welfare of the public. After notifying the applicant and owners of adjacent property of the final date that written protests or comments may be filed with the department of planning, the director shall consider and take action on such applications. The decision of the ~~planning director~~ shall be subject to appeal to the planning commission pursuant to Section 18.72.050. This procedure shall apply exclusively to cases where the deviation sought is limited to:

18.58.070 Minor deviations-Actions by Director of Development.

The Director of Development may approve minor deviations to the regulations as contained in this title and specified below. A one hundred ten dollar filling fee and submittal of certified public notice documents including two sets of mailing labels and a radius map shall be required for minor deviation applications. The Director of Development shall find that the deviation requested results from a unique situation and will not be injurious or detrimental to the health, safety and welfare of the public. After notifying the applicant and owners of adjacent property of the final date that written protests or comments may be filed with the department of planning, the director shall consider and take action on such applications. The decision of the Director of Development shall be subject to appeal to the planning commission pursuant to Section 18.72.050. This procedure shall apply exclusively to cases where the deviation sought is limited to:

18.58.130 Trash/recycling material enclosures.

(2) General Requirements.

(A) Every new development project shall provide trash/recycling material enclosures in conformance with ~~Exhibit B~~ necessary to serve the development project. All trash and/or recycling material receptacles shall be continuously contained within enclosures.

(B) Any existing development project not currently containing trash/recyclable material enclosures for which either: (i) an application for a building permit is submitted for a single alteration; (ii) an application for a building permit is submitted for multiple alterations; or (iii) multiple applications for building permits are submitted for multiple alterations, and require prior review and approval by the planning commission pursuant to Chapters 18.71 or 18.74, entitled "Site Plan" and "Conditional Uses," respectively, may be required to provide adequate, accessible, and convenient area(s) for collecting and loading trash/recyclable materials in conformance with ~~Exhibit B~~ necessary to serve the development project. However, in no event shall alteration(s) that add thirty percent or more to the existing floor area in a twelve-month period be allowed without providing enclosure(s).

(2) *General Requirements.*

(A) Every new development project shall provide trash/recycling material enclosures in conformance with Exhibit A, B, C, or D necessary to serve the development project. All trash and/or recycling material receptacles shall be continuously contained within enclosures.

(B) Any existing development project not currently containing trash/recyclable material enclosures for which either: (i) an application for a building permit is submitted for a single alteration; (ii) an application for a building permit is submitted for multiple alterations; or (iii) multiple applications for building permits are submitted for multiple alterations, and require prior review and approval by the planning commission pursuant to Chapters 18.71 or 18.74, entitled "Site Plan" and "Conditional Uses," respectively, may be required to provide adequate, accessible, and convenient area(s) for collecting and loading trash/recyclable materials in conformance with Exhibit A, B, C, or D necessary to serve the development project. However, in no event shall alteration(s) that add thirty percent or more to the existing floor area in a twelve-month period be allowed without providing enclosure(s).

18.58.170 Schools.

Change

Parochial, private, public or charter schools, the attendance at which satisfies the requirements of the compulsory education laws of the state, shall be subject to the following regulations:

(1) The initial establishment of ~~a) a parochial, private or public school in any "AE-Exclusive agricultural district," "A-Agricultural-residential district," "SR-Suburban residential district," "R-1-Single-family residential district," "R-2-Medium-density residential district," "R-3-High-density residential district," "R-4-Very-high-density residential district," and "P-C-Public and civic district" zone districts; or b) a charter school in any "C-2-General commercial district" and "C-A-Administrative professional offices district"~~ shall be allowed if approved by the planning commission pursuant to Chapter 18.74, entitled "Conditional Uses."

~~(2) Any physical expansion of, or modification to any existing parochial, private or public school which results in noncompliance with any standards of this title or standards approved by the planning commission under the initial conditional use permit shall be allowed if approved by the planning commission pursuant to Chapter 18.74, entitled "Conditional Uses." Any physical expansion of, or modification to an existing parochial, private or public school which complies with development standards of this title shall not require conditional use permit approval. Said expansion or modification shall be reviewed to insure compliance with this title.~~

~~(3) Any physical expansion of, or modification to an existing charter school shall be allowed if approved by the planning commission pursuant to Chapter 18.74, entitled "Conditional Uses."~~

Parochial, private, public or charter schools, the attendance at which satisfies the requirements of the compulsory education laws of the state, shall be subject to the following regulations:

(1) The initial establishment of any school in any "AE-Exclusive agricultural district," "A-Agricultural-residential district," "SR-Suburban residential district," "R-1-Single-family residential district," "R-2-Medium-density residential district," "R-3-High-density residential district," "R-4-Very-high-density residential district," and "P-C-Public and civic district" zone districts shall be allowed if approved by the planning commission pursuant to Chapter 18.74, entitled "Conditional Uses."

(2) Any physical expansion of, or modification to an existing school shall be allowed if approved by the planning commission pursuant to Chapter 18.74, entitled "Conditional Uses."

Chapter 18.60 Off-Street Parking

18.60.090 Parking space requirement-Residential.

Change

The number of off-street parking spaces required shall not be less than that set forth in this section.

(1) Single-Family Residential Dwellings.

~~(a) There shall not be less than two covered parking spaces provided either as a garage or carport for every dwelling unit. When carports are constructed in lieu of required garages, a minimum of one hundred fifty cubic feet of storage space shall be provided therein.~~

(b) In every residential mobile home planned development district, two off-street parking spaces which may be in tandem shall be provided for each dwelling unit, shall be within a garage, carport or covered by an awning.

(2) Multiple-Family Residential Dwellings.

(a) There shall be a minimum parking space ratio of two spaces per dwelling unit, one-half of which shall be in a garage or carport. All off-street parking should be developed in close proximity to the units which parking is to serve, so as to reduce the need to park on public rights-of-way. Where carports are constructed in lieu of required garages, a minimum of one hundred fifty cubic feet of storage space shall be provided therein or other areas as approved by the director of planning.

(b) Individually owned dwelling units, such as within condominiums, cooperatives or town house multiple-family residential projects, shall have a minimum of one covered parking space for one bedroom dwelling units and two covered parking spaces for two or more bedroom dwelling units. In addition, all such residential projects shall provide one uncovered parking space for each two dwelling units.

(c) Each mobile home space in a mobile home park shall have two adjoining parking spaces which may be in tandem, and additional guest parking shall be provided on the basis of one space for each five dwelling units.

~~(d) A maximum of twenty-five percent of the total number of required off-street parking spaces other than covered residential spaces may be provided at compact car stall standards of minimum dimensions as set forth in subsection (a)(3) of Section 18.60.120.~~

(e) A parking facility may provide for motorcycle parking provided the proposed use meets the motorcycle standards as set forth in subsection (a)(3) of Section 18.60.120.

The number of off-street parking spaces required shall not be less than that set forth in this section.

(1) Single-Family Residential Dwellings.

(a) A minimum of a two-car private garage shall be provided for every dwelling unit.

(b) In every residential mobile home planned development district, two off-street parking spaces which may be in tandem shall be provided for each dwelling unit, shall be within a garage, carport or covered by an awning.

(2) Multiple-Family Residential Dwellings.

(a) There shall be a minimum parking space ratio of two spaces per dwelling unit, one-half of which shall be in a garage or carport. All off-street parking should be

developed in close proximity to the units which parking is to serve, so as to reduce the need to park on public rights-of-way. Where carports are constructed in lieu of required garages, a minimum of one hundred fifty cubic feet of storage space shall be provided therein or other areas as approved by the director of planning.

(b) Individually owned dwelling units, such as within condominiums, cooperatives or town house multiple-family residential projects, shall have a minimum of one covered parking space for one bedroom dwelling units and two covered parking spaces for two or more bedroom dwelling units. In addition, all such residential projects shall provide one uncovered parking space for each two dwelling units.

(c) Each mobile home space in a mobile home park shall have two adjoining parking spaces which may be in tandem, and additional guest parking shall be provided on the basis of one space for each five dwelling units.

(d) Compact car parking spaces shall not be included when calculating required off-street parking. Compact car parking spaces are permitted only in excess of required off-street parking. Compact car parking shall be located at the periphery of the site and shall meet the compact car standards set forth in subsection (a)(3) of Section 18.60.020.

(e) A parking facility may provide for motorcycle parking provided the proposed use meets the motorcycle standards as set forth in subsection (a)(3) of Section 18.60.120.

18.60.090 Parking space requirement – Commercial Uses

Change

Retail establishments, markets, and businesses not otherwise enumerated in this section, such as drug stores, department stores, animal hospitals, and dance studios: One space for each two hundred square feet of floor area, ~~up to six thousand square feet for each individual user, plus one space for each additional three hundred square feet of floor area beyond six thousand square feet for each individual user,~~ exclusive of area used for air conditioning and other utility equipment.

Retail establishments, markets, and businesses not otherwise enumerated in this section, such as drug stores, department stores, animal hospitals, and dance studios: One space for each two hundred square feet of floor area, exclusive of area used for air conditioning and other utility equipment.

Addition

Multi-tenant commercial centers over 5 acres in gross area: four (4) spaces per 1,000 square feet of total floor area. Other uses within these developments may require additional spaces at the discretion of the Planning Commission. Freestanding restaurants, including fast food, within said centers shall comply with restaurant parking requirements.

18.60.120 Parking facility development standards.

Change

(a) Size of parking facilities shall be as follows:

(3) The size of parking spaces and aisle width for all nonresidential uses shall conform to the minimum dimension and access requirements as outlined in Figures 18.60.120(1), (2) and (3). For driveways and/or drive aisles not directly within parking areas as shown in Figures 18.60.120(1), (2) and (3), two-way drive aisles shall be a minimum of twenty-five feet in width and one-way drive aisles shall be a minimum of twelve feet in width. ~~A maximum of ten percent of the total number of off-street parking spaces required may be provided at compact car standards as shown in Figure 18.60.120(2).~~ Aisle width for compact cars shall be the standard aisle widths as outlined in Figure 18.60.120(1). In those instances where a compact car stall is immediately adjacent to a standard car stall, the compact car stall shall be nine feet in width. All compact car spaces shall be designed, located and clearly labeled on the required parking spaces plan. Each compact car stall shall have a stencil reading "COMPACT CAR ONLY," with a required height of eight inches, placed at its entrance. Every compact car stall shall be clearly pinstriped to conform with the requirements of Figure 18.60.120(2).

(a) Size of parking facilities shall be as follows:

(3) The size of parking spaces and aisle width for all nonresidential uses shall conform to the minimum dimension and access requirements as outlined in Figures 18.60.120(1), (2) and (3). For driveways and/or drive aisles not directly within parking areas as shown in Figures 18.60.120(1), (2) and (3), two-way drive aisles shall be a minimum of twenty-five feet in width and one-way drive aisles shall be a minimum of twelve feet in width. Compact car parking spaces shall not be included when calculating required off-street parking. Compact car parking spaces are permitted only in excess of required off-street parking. Compact car parking shall be located at the peripheral of the site and shall meet the compact car standards set forth in subsection (a)(3) of Section 18.60.020. Aisle width for compact cars shall be the standard aisle widths as outlined in Figure 18.60.120(1). In those instances where a compact car stall is immediately adjacent to a standard car stall, the compact car stall shall be nine feet in width. All compact car spaces shall be designed, located and clearly labeled on the required parking spaces plan. Each compact car stall shall have a stencil reading "COMPACT CAR ONLY," with a required height of eight inches, placed at its entrance. Every compact car stall shall be clearly pinstriped to conform with the requirements of Figure 18.60.120(2).

(b) Location of parking facilities shall be as follows:

Addition

(4) No off-street parking stall shall be located within twenty (20) feet of the intersection of a public right-of-way and a drive approach when said drive approach is used as direct access to said off-street parking stall, as measured from the property line.
(5) All required parking shall be located in close proximity to the buildings main entrance.

18.60.140 Landscaping requirements.

Change

(c) Landscaping requirements for parking areas are as follows:

(1) All nonresidential lots which abut a dedicated street shall have a planter strip along the entire property abutting the dedicated street, excluding all driveway approaches. The planter strip shall be a minimum of three feet in width.

(c) Landscaping requirements for parking areas are as follows:

(1) All nonresidential lots which abut a dedicated street shall have a planter strip along the entire property abutting the dedicated street, excluding all driveway approaches. The planter strip shall have a minimum interior width of five feet.

Chapter 18.62
Signs

18.62.010 Definitions.

Change

(18) "Painted Sign" means a permanent sign which is painted on any office, wall, window, fence or structure of any kind, for which a building permit is not required.

(18) "Painted Sign" means a permanent sign which is painted on any exterior surface or structure of any kind.

18.62.030 General standards and requirements.

Change

~~Except as otherwise provided in this chapter, it is unlawful for any person to erect, alter the structure of or relocate any sign as defined in Section 18.62.010 without first obtaining a sign permit or building permit if required. Repainting of a sign or the changing of advertising copy thereon shall not be considered as alteration which requires a permit unless a structural change is made and/or square footage is increase.~~

(1) Except as otherwise provided in this chapter, it is unlawful for any person to erect, alter, or relocate any sign as defined in Section 18.62.010 without first obtaining a sign permit or building permit if required.

(2) Any sign that does not use the English alphabet as the primary script shall include an English alphabet translation on the sign of equal size.

18.62.070 Permanent signs.

Change

(f) Billboards or Outdoor Advertising. Displays or structures shall be governed by the following general regulations:

- (1) The construction of new, the relocation or expansion of existing billboards or outdoor advertising structures is prohibited citywide.
- (2) Each existing outdoor advertising structure or billboard shall bear an identification tag or stamp which clearly indicates ownership of such structure.
- (3) Structural development shall be prohibited on parcels in which a billboard or outdoor advertising structure exists.
- ~~(4) No subdivision of land can occur to a parcel on which a billboard or outdoor advertising structure exists.~~

(f) Billboards or Outdoor Advertising. Displays or structures shall be governed by the following general regulations:

- (1) The construction of new, the relocation or expansion of existing billboards or outdoor advertising structures is prohibited citywide.*
- (2) Each existing outdoor advertising structure or billboard shall bear an identification tag or stamp which clearly indicates ownership of such structure.*
- (3) Structural development shall be prohibited on parcels in which a billboard or outdoor advertising structure exists.*

18.62.110 Prohibited Signs.

Addition

(5) Painted Signs. Existing painted signs shall not be altered, repainted or otherwise modified.

Chapter 18.64
Yards, Fences, Walls and Hedges

18.64.080 Fences, walls and hedges-Measurement of height.

Change

The height of a fence, wall or hedge shall be measured from the lowest finished level of the ground abutting it. ~~Where a fence, wall or hedge lies directly above a retaining wall or above, parallel with and within four feet of such a wall, the permitted height of a fence shall not exceed the maximum height limitations of this title, but in no case shall it be less than three and one half feet. The height of such fence, wall or hedge shall be measured from that portion of the retaining wall which is retaining fill as shown in Exhibit B, immediately following this Section 18.64.080.~~

The height of a fence, wall or hedge shall be measured from the lowest finished level of the ground abutting it. No walls or combination of walls, fences, and/or hedges shall exceed a height of eight (8) feet without utilizing a step design per Exhibit B directly following this section.

18.64.090 Fences, walls and hedges – Subdivisions.

Addition

Rear and side masonry walls are required with the concurrent construction of two or more units by the same developer. Project perimeter walls shall be of decorative block and include architectural features to match the project.

Chapter 18.68
Accessory Uses and Buildings

18.68.020 Uses subject to planning director approval.

Change

(7) Model home complexes in any R-1, single-family residential district, the planning director shall have the ability to approve a model home complex which complies with the following standards:

~~(D) Model complexes with four or more models must provide drought tolerant landscaping on one of the models~~

(7) Model home complexes in any R-1, single-family residential district, the Director of Development shall have the ability to approve a model home complex which complies with the following standards:

(D) All model home complexes shall provide landscaping in accord with Section 13.60.060 of this Code;

Addition

(F) All new homes shall provide the same landscape palette as that approved for the model home complex. The landscaping shall include identical hardscape as well as plant types, count and size as used on the model home yard.

Current item F shall become item G with the above noted change.

Chapter 18.71
Site Plan

18.71.050 Site plan review criteria.

Addition

(7) That any proposed development is in accord with the adopted Planning Commission Design Guidelines where applicable.

Current items 7 & 8 shall be renumbered to read as 8 & 9.

Chapter 18.74
Conditional Uses

18.74.040 Conditional use permit review criteria.

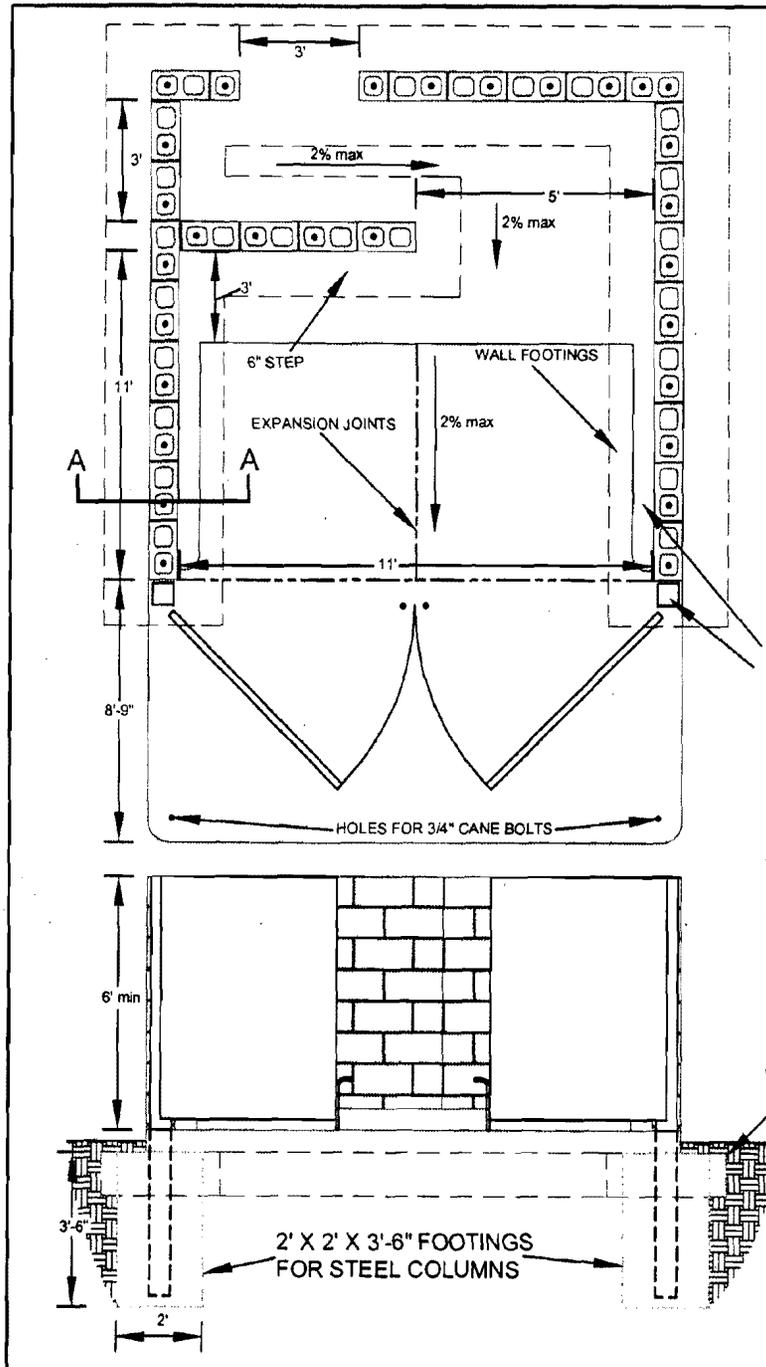
Addition

(12) That any proposed development is in accord with the adopted Planning Commission Design Guidelines where applicable.

Current items 12 - 14 shall be renumbered to read as 13 – 15.

Trash Enclosure
Exhibit A



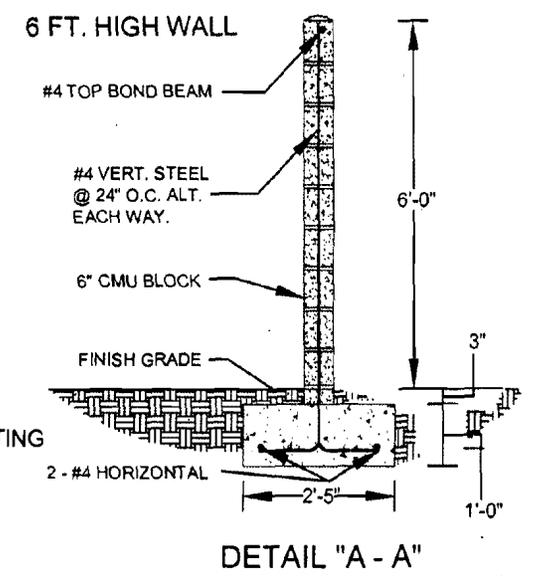


6" X 6" CURB AROUND INTERIOR OF TRASH ENCLOSURE
 1/4 6X6" STEEL POST/COLUMN

- WALL NOTES:**
- 1) 6" MIN. CMU BLOCK
 - 2) ALL REBAR TO BE #4 MIN.
 - 3) LAP ALL REBAR MIN. 20"
 - 4) MIN. 3" FROM REBAR TO EARTH
 - 5) GROUT ALL CELLS CONTAINING REBAR
 - 6) 3" COVER OF EARTH FROM TOP OF FOOTING

WALL FOOTINGS

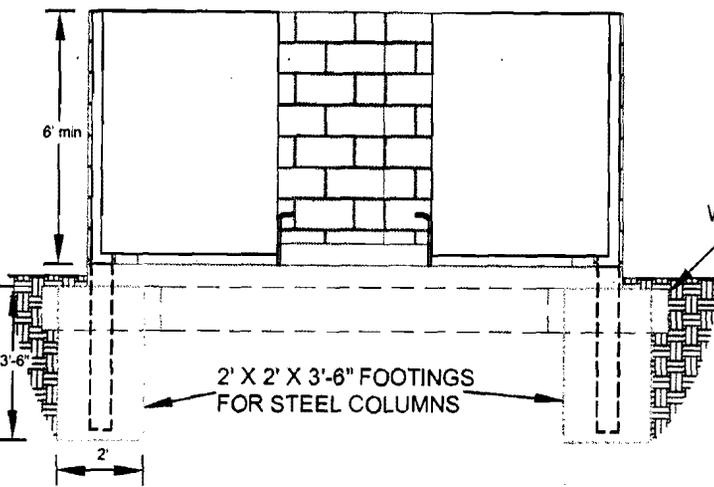
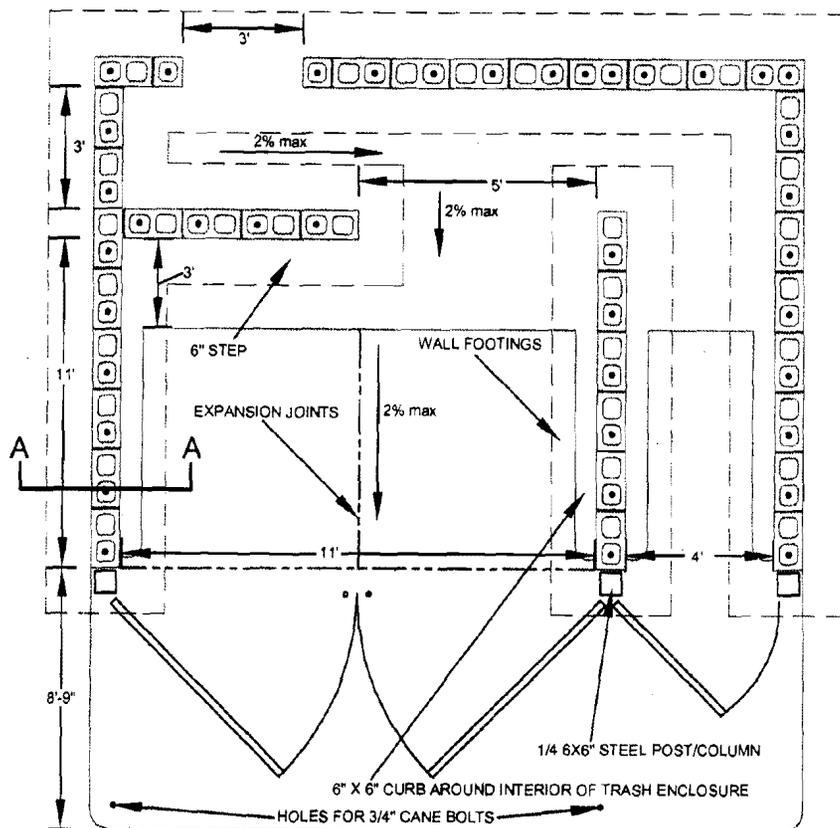
- 1) WALLS ARE TO BE OF DECORATIVE BLOCK, MASONRY, OR SIMILAR MATERIALS CONSISTANT WITH THE ARCHITECTURE, COLOR, AND ACCENT MATERIALS OF THE PRIMARY BUILDING
- 2) GATES ARE TO BE SOLID METAL CONSTRUCTION
- 3) SWIVEL POINTS ON DOORS SHALL BE LOCATED OUTSIDE OF THE OPENING AREA OF THE ENCLOSURE
- 4) SWIVEL POINTS SHALL BE ATTACHED TO CONCRETE FILLED STEEL POSTS/COLUMNS AT ENDS OF WALLS
- 5) ENCLOSURE SHALL BE ON A LEVEL PAD AT GROUND LEVEL. THE AREA BETWEEN THE PAD AND THE PICK UP AREA SHALL BE A PAVED AREA 4" DEEP FOR THE WIDTH OF THE ENCLOSURE AND SHALL NOT EXCEED A GRADE OF 2%



Development Department Building Division		
TRASH ENCLOSURE STANDARD DETAILS		
14343 Civic Drive Victorville, CA 92393	(760) 955-5100 Fax (760) 245-0073	10/31/06

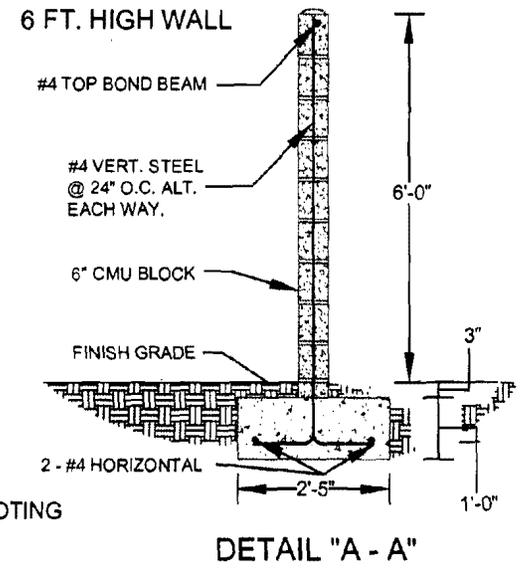
**Trash Enclosure
Exhibit B**





- WALL NOTES:**
- 1) 6" MIN. CMU BLOCK
 - 2) ALL REBAR TO BE #4 MIN.
 - 3) LAP ALL REBAR MIN. 20"
 - 4) MIN. 3" FROM REBAR TO EARTH
 - 5) GROUT ALL CELLS CONTAINING REBAR
 - 6) 3" COVER OF EARTH FROM TOP OF FOOTING

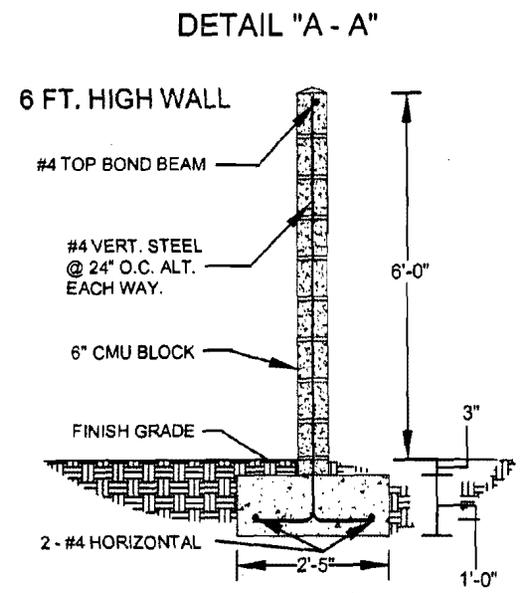
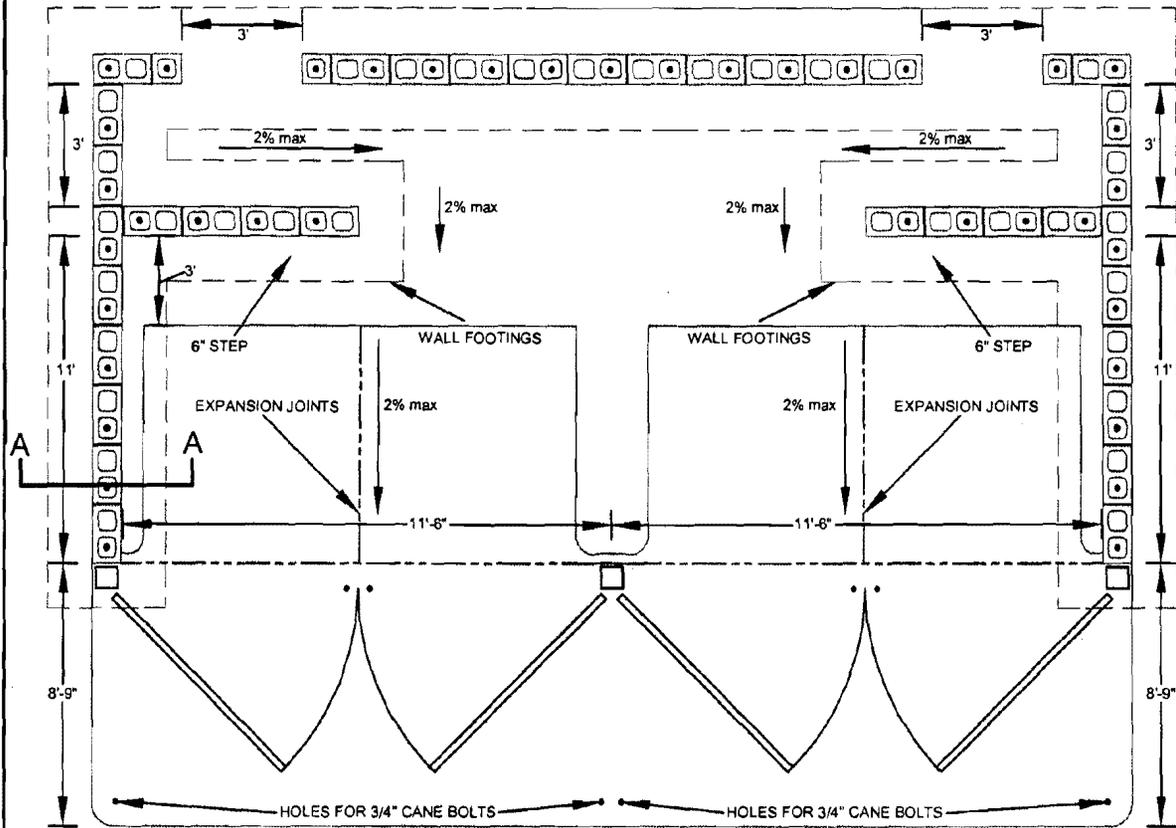
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Development Department Building Division		
TRASH ENCLOSURE WITH GREASE BARREL STANDARD DETAILS		
14343 Civic Drive Victorville, CA 92393	(760) 955-5100 Fax (760) 245-0073	10/31/06

Trash Enclosure
Exhibit C





- WALL NOTES:**
- 1) 6" MIN. CMU BLOCK
 - 2) ALL REBAR TO BE #4 MIN.
 - 3) LAP ALL REBAR MIN. 20"
 - 4) MIN. 3" FROM REBAR TO EARTH
 - 5) GROUT ALL CELLS CONTAINING REBAR
 - 6) 3" COVER OF EARTH FROM TOP OF FOOTING

- 1) WALLS ARE TO BE OF DECORATIVE BLOCK, MASONRY, OR SIMILAR MATERIALS CONSISTANT WITH THE ARCHITECTURE, COLOR, AND ACCENT MATERIALS OF THE PRIMARY BUILDING
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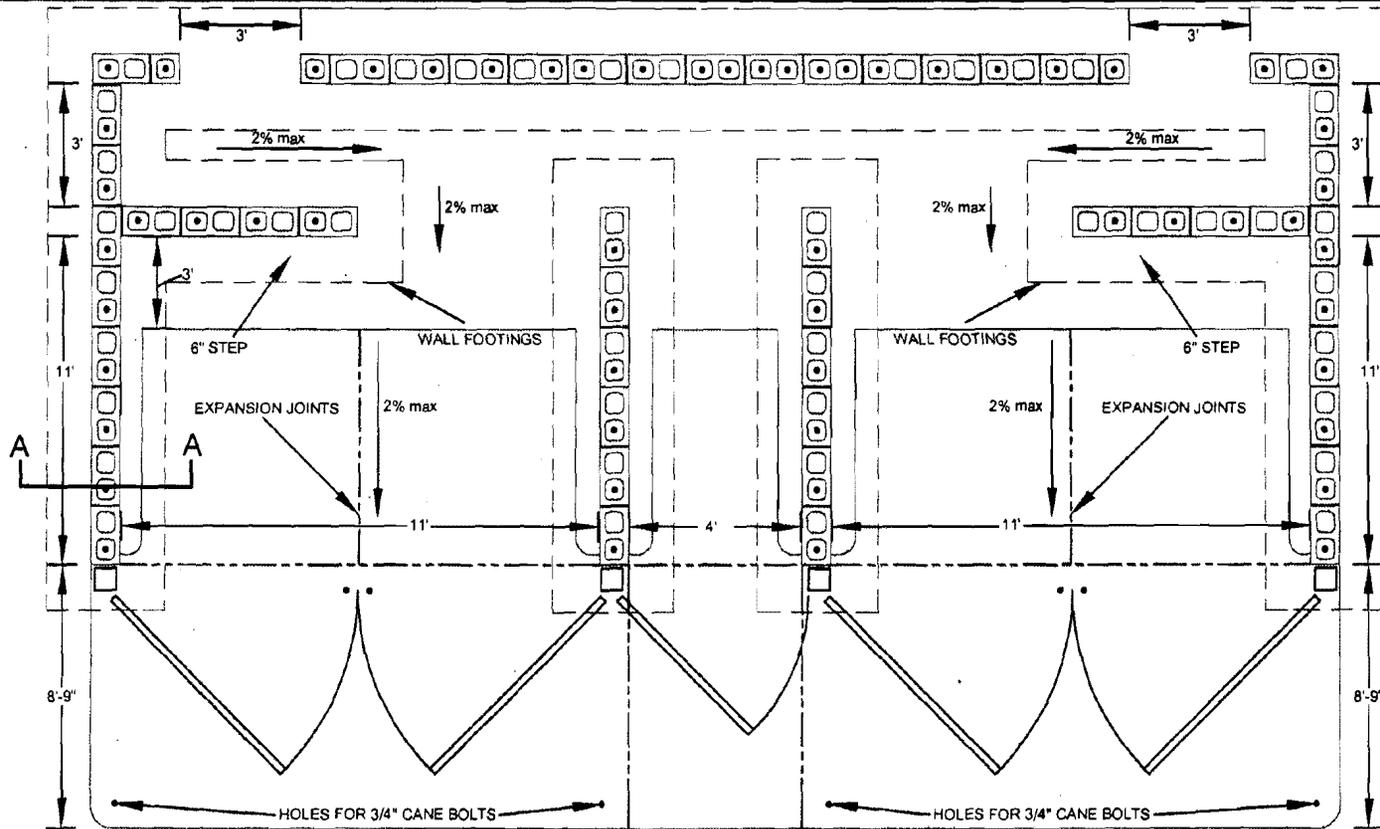


Development Department
 Building Division
TRASH ENCLOSURE
STANDARD DETAILS

14343 Civic Drive Victorville, CA 92393	(760) 955-5100 Fax (760) 245-0073	10/31/06
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**Trash Enclosure
Exhibit D**

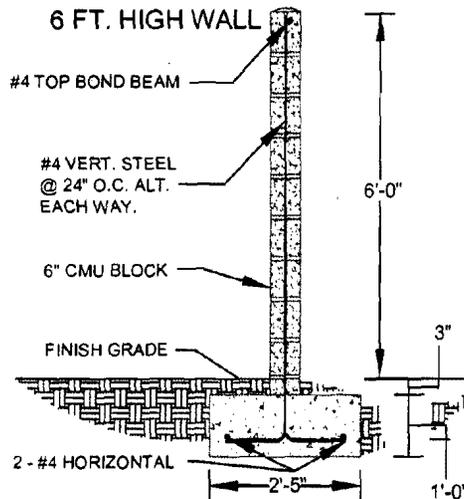




DETAIL "A - A"

WALL NOTES:

- 1) 6" MIN. CMU BLOCK
- 2) ALL REBAR TO BE #4 MIN.
- 3) LAP ALL REBAR MIN. 20"
- 4) MIN. 3" FROM REBAR TO EARTH
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- 6) 3" COVER OF EARTH FROM TOP OF FOOTING



- 1) WALLS ARE TO BE OF DECORATIVE BLOCK, MASONRY, OR SIMILAR MATERIALS CONSISTANT WITH THE ARCHITECTURE, COLOR, AND ACCENT MATERIALS OF THE PRIMARY BUILDING
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Development Department
Building Division

**TRASH ENCLOSURE
WITH GREASE BARREL
STANDARD DETAILS**

14343 Civic Drive
Victorville, CA 92393

(760) 955-5100
Fax (760) 245-0073

10/31/06

**Wall Height
Exhibit B**

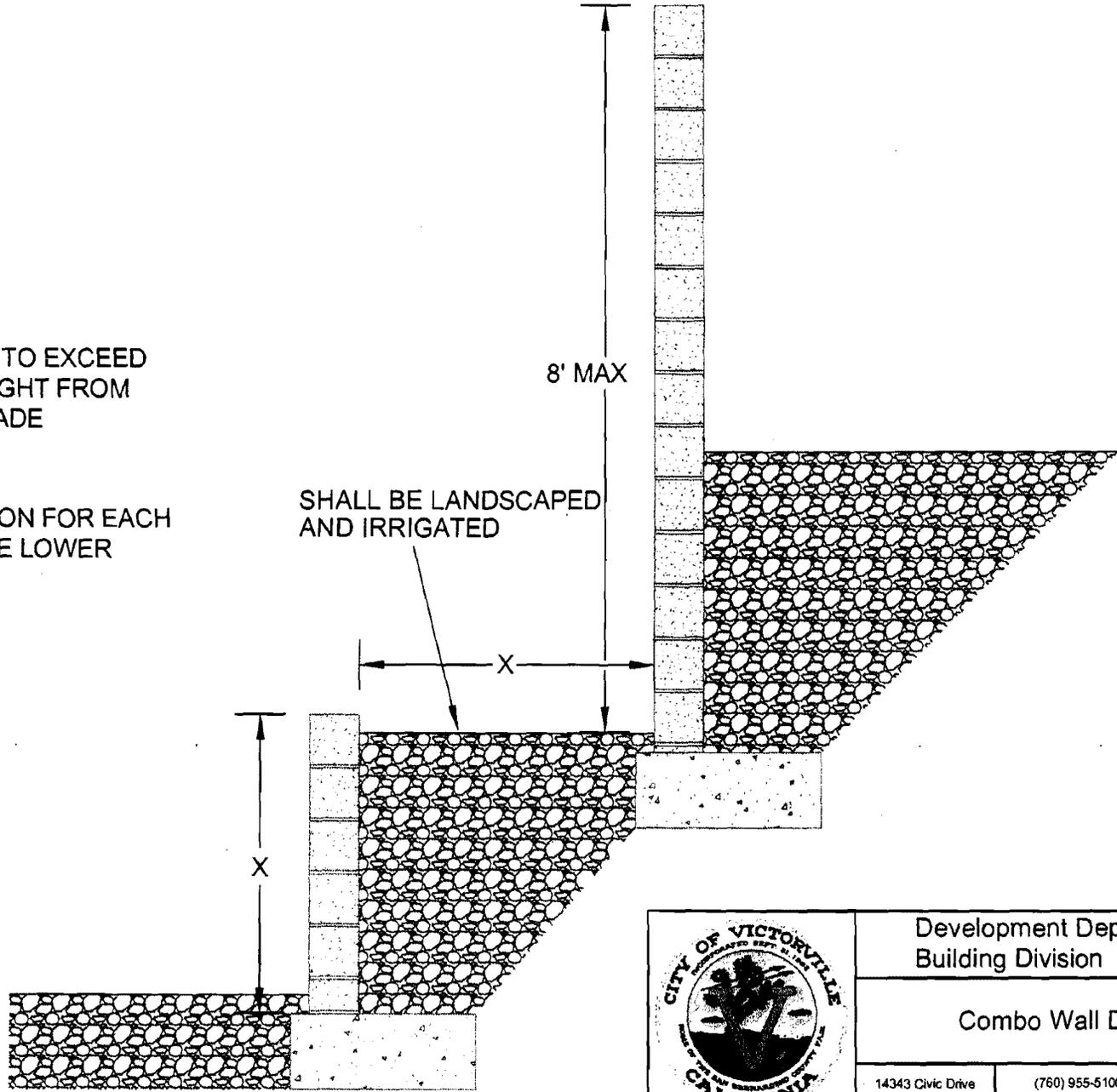


*COMBO WALL NOT TO EXCEED
8' IN COMBINED HEIGHT FROM
LOWEST FINISH GRADE

X = 1' OF SEPARATION FOR EACH
1' IN HEIGHT ON THE LOWER
RETAINING WALL

SHALL BE LANDSCAPED
AND IRRIGATED

8' MAX



Development Department
Building Division

Combo Wall Detail

14343 Civic Drive
Victorville, CA 92393

(760) 955-5100
Fax (760) 245-0073

09/06/08

EXECUTIVE SUMMARY

Amendment A-06-001

PROJECT DESCRIPTION: Various amendments of the Victorville Municipal Code to Title 17, Subdivision; and Title 18, Zoning.

APPLICANT:	City of Victorville
PLANNING COMMISSION PUBLIC HEARING DATES:	November 8, 2006
NUMBER OF PEOPLE SPEAKING IN FAVOR:	0
NUMBER OF PEOPLE SPEAKING OPPOSED:	0
NUMBER OF WRITTEN COMMENTS IN FAVOR:	0
NUMBER OF WRITTEN COMMENTS OPPOSED:	0
STAFF RECOMMENDATION:	Approval
PLANNING COMMISSION ACTION:	Recommend approval
PLANNING COMMISSION VOTE:	five ayes

/pi

MEMORANDUM



DATE: December 19, 2006
FROM: Bill Webb
Director of Planning
TO: Mayor and City Council

SUBJECT: PUBLIC HEARING - AMENDMENT A-06-001 - CITY OF VICTORVILLE -
ORDINANCE NO. 2184

At the regular meeting held November 8, 2006, the Planning Commission conducted a public hearing to hear arguments for or against Amendment A-06-001 to allow for various amendments of the Victorville Municipal Code to Title 17 and Title 18. An excerpt of the minutes is as follows:

"Mr. Webb outlined the staff report and noted there were numerous additions, corrections and changes to the code as was discussed with the Commission at a public workshop held November 2, 2006. At that workshop, the Commission made additional recommendations that Staff incorporated into the amendment.

Chairman McEachron opened the public hearing at 8:18 p.m. There being no testimony, Chairman McEachron closed the public hearing at 8:18 p.m.

A motion was made by Commissioner Metzler and seconded by Commissioner Kurth to approve Resolutions P-06-256 and P-06-281. The motion carried by unanimous vote of the Commission. The Resolutions were entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VICTORVILLE RECOMMENDING TO THE CITY COUNCIL THE ADOPTION AMENDMENT A-06-001, VARIOUS AMENDMENTS OF THE VICTORVILLE MUNICIPAL CODE TO TITLE 17, SUBDIVISIONS; AND TITLE 18 ZONING

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VICTORVILLE ADOPTING PLANNING COMMISSION POLICY PCP-06-001 ESTABLISHING MULTI-FAMILY RESIDENTIAL DESIGN GUIDELINES FOR DEVELOPMENT WITHIN MULTI-FAMILY RESIDENTIAL DISTRICTS"

Attached for Council's information is a copy of the Planning Staff Report together with other pertinent data. This matter is presented to the City Council for consideration at the close of the public hearing.

BW:pi

Attachments

ORDINANCE NO. 2184

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE APPROVING AMENDMENT A-06-001, VARIOUS AMENDMENTS OF THE VICTORVILLE MUNICIPAL CODE TO TITLE 17, SUBDIVISIONS; AND TITLE 18, ZONING – CITY OF VICTORVILLE

Pursuant to Title 7, Chapter 4, article 2 of the Government Code of the State of California, the Victorville Planning Commission held a public hearing on the 8th of November 2006, to hear arguments for and against the issue and, after hearing all testimony offered, they adopted Resolution No. P-06-256, which recommended to the City Council the adoption of Amendment A-06-001, and

This project has been determined to be categorically exempt from the California Environmental Quality Act (CEQA) based upon CEQA Guidelines Section 15061(b) (3).

The City Council finds the following amendments appropriate:

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY ORDAIN AS FOLLOWS:

SECTION 1. Amend the following sections of Title 17 & 18, to read:

Chapter 17.100
Enforcement-Penalty-Remedies

17.100.040(f) Additional remedies – Certificate of compliance. *Change*

~~(f) The certificate of compliance proceedings shall be subject to a public hearing process pursuant to Chapter 17.108 of this code.~~

(f) A certificate of compliance shall be subject to review and approval by the City Engineer or his designee in accord with the State's Subdivision Map Act.

Chapter 18.04
Definitions

18.04.175 Building, subordinate. *Addition*

"Subordinate building" means a structure that is either a maximum of four hundred (400) square feet in floor area or forty (40) percent of the square footage of the main building; whichever is greater.

18.04.310 Dwelling, multiple. *Change*

"Multiple dwelling" means a building containing two or more dwelling units, or a hotel or motel in which twenty percent or more of the rental units contain a kitchen or kitchenette.

"Multiple dwelling" means a building containing two or more dwelling units, or a hotel or motel in which twenty percent or more of the rental units contain a kitchen or kitchenette. All multiple dwellings shall conform to the adopted Planning Commission Design Guidelines.

18.04.350 Garage, private.***Change***

"Private garage" means an accessory building or an accessory portion of the main building designed and/or used for the shelter or storage of vehicles of the occupants of the main building.

"Private garage" means a fully enclosed accessory building or a fully enclosed accessory portion of the main building designed and/or used for the shelter or storage of vehicles of the occupants of the main building.

18.04.900 Yard.***Change***

"Yard" means a space on the same lot with a building or structure which is open and unobstructed, except as otherwise provided in this title, from the ground upward. Neither landscaping nor ordinary outdoor furnishings shall be deemed to obstruct a yard, nor shall any underground structure or part of an underground structure which extends less than eighteen inches above the ground level.

"Yard" means a space on the same lot with a building or structure which is open and unobstructed, including parked vehicles, except as otherwise provided in this title, from the ground upward. Neither landscaping nor ordinary outdoor furnishings shall be deemed to obstruct a yard, nor shall any underground structure or part of an underground structure which extends less than eighteen inches above the ground level.

Chapter 18.06
Interpretation, Construction and Enforcement

18.06.080 Enforcement***Change***

"The provisions of this title shall be interpreted by the city attorney.

Any building or structure erected or maintained, or any use of property, contrary to the provisions of this title is, and the same is declared to be, unlawful and a public nuisance and the city attorney shall immediately commence actions and proceedings for the abatement, removal and enjoinder thereof, in the manner provided by law; and shall take such other steps, and shall apply to any court as may have jurisdiction to grant such reliefs as will abate or remove such building, structure or use and restrain and enjoin any person, firm or corporation from erecting or maintaining such building or structure, or using any property contrary to the provisions of this title."

"The provisions of this title shall be interpreted by the City.

Any building or structure erected or maintained, or any use of property, contrary to the provisions of this title is, and the same is declared to be, unlawful and a public nuisance and the City shall immediately commence actions and proceedings for the abatement, removal and enjoinder thereof, in the manner provided by law; and shall take such other steps, and shall apply to any court as may have jurisdiction to grant such reliefs as will abate or remove such building, structure or use and restrain and enjoin any person, firm or corporation from erecting or maintaining such building or structure, or using any property contrary to the provisions of this title."

Chapter 18.13
Residential Districts

18.13.020 Minimum dwelling unit areas.

Change

Every dwelling unit constructed in a residential district shall contain the following minimum square footage of living area:

Bachelor apartments	500 square feet
One and two bedroom apartments in complex	600 square feet
Single-family dwelling	800 square feet

Every dwelling unit constructed in a residential district shall contain the following minimum square footage of living area:

<i>Studio apartments</i>	<i>500 square feet</i>
<i>One bedroom apartments</i>	<i>600 square feet</i>
<i>Two bedroom apartments</i>	<i>800 square feet</i>
<i>Single-family dwelling</i>	<i>1200 square feet</i>

18.13.050 Design Guidelines.

Addition

All development shall conform to the adopted Planning Commission Design Guidelines where applicable.

Chapter 18.16
R-1 Single-Family Residential District

18.16.020 Permitted uses.

Change

"The following principal uses are permitted in the R-1 district:

- (1) One single-family dwelling on a lot;
- (2) ~~One single manufactured home on a lot installed pursuant to the provisions contained in Section 18.58.120 of this title;~~
- (3) Garden, orchard and field crop. "

"The following principal uses are permitted in the R-1 district:

- (1) One single-family dwelling on a lot;*
- (2) Garden, orchard and field crop.*

18.16.040 Accessory Uses.

Addition

(2) Recreational vehicles can be stored on any lot provided: (a) the required off-street parking areas are not utilized and access thereto is not obstructed; and (b) said recreational vehicles must be under the same ownership as either the owner of the residential lot or the tenant. These regulations shall not restrict the storage of a recreational vehicle on a residential lot in compliance with previous regulations. Recreational vehicles under ownership by an individual or individuals other than the residents of the subject property may be stored on any lot in compliance with subsection (2)(a) so long as a permit is obtained from the Victorville planning department and a fee of five dollars is paid to cover administrative costs. Said recreational vehicle shall not be stored more than twenty-one consecutive days per quarter annually. No quarterly twenty-one-day periods, or portions thereof, shall run consecutively;

(2) Recreational vehicles can be stored on any lot provided: (a) the required off-street parking areas are not utilized and access thereto is not obstructed; (b) said recreational vehicles must be under the same ownership as either the owner of the residential lot or the tenant; and (c) no parking occurs within the area located between the front and/or side property line and the primary plane of the building abutting any street, unless in a designated driveway that does not exceed the width of the garage. These regulations shall not restrict the storage of a recreational vehicle on a residential lot in compliance with previous regulations. Recreational vehicles under ownership by an individual or individuals other than the residents of the subject property may be stored on any lot in compliance with subsection (2)(a) so long as a permit is obtained from the Victorville planning department and a fee of five dollars is paid to cover administrative costs. Said recreational vehicle shall not be stored more than twenty-one consecutive days per quarter annually. No quarterly twenty-one-day periods, or portions thereof, shall run consecutively;

18.16.060 Yards.

Change

"The minimum required yards in an R-1 district shall be as follows:

- (1) Depth of front yard, subject to the exceptions set forth in Section 18.64.040, twenty feet;
- (2) Depth of rear yard, twenty feet;
- ~~(3) Width of side yard along the street lot line of a corner lot, subject to the exceptions set forth in Section 18.64.040, ten feet;~~
- ~~(4) Width of side yard along the interior side lot line, five feet."~~

"The minimum required yards in an R-1 district shall be as follows:

- (1) Depth of front yard, subject to the exceptions set forth in Section 18.64.040, twenty feet;*
- (2) Depth of rear yard, twenty feet;*
- (3) Width of side yards shall be five and ten feet, with a minimum of fifteen feet between dwelling units;*
- (4) Width of side yard along the street lot line of a corner lot, subject to the exceptions set forth in Section 18.64.040, ten feet.*

18.16.100 Off-street parking.

Change

Off-street parking spaces shall be provided pursuant to Chapter 18.60. Two spaces are required for each dwelling unit and shall be within a fully enclosed garage ~~or carport.~~ ~~When carports are constructed in lieu of garages, a minimum of one hundred fifty cubic feet of storage space shall be provided therein.~~ The minimum dimensions for a garage ~~or carport~~ shall be eighteen feet by twenty feet. Each required garage ~~or carport~~ shall be served by a driveway from the property line which abuts a road or access way to the structures. Where the required off-street parking spaces are provided within an accessory building, a driveway to serve the off-street parking shall be a minimum of twenty feet in length from the garage structure to the property line. The minimum driveway width to a two-car garage ~~or carport~~ shall be sixteen feet. However, when determined by the director of ~~planning~~, a nine-foot driveway may be permitted (excepting within twenty feet of

the garage or carport) and/or no improved driveway shall be required if it is deemed by the director of planning impractical and unreasonable because of special circumstances applicable to the subject property. The special circumstances shall include, but not be limited to, the size and shape of the subject property. All parking spaces and areas, access driveways and maneuvering areas required and as shown on any approved plans shall be graded for adequate drainage and surfaced with portland cement with a minimum of four inches thickness or asphalt concrete over an approved base, as approved by the city engineer.

Off-street parking spaces shall be provided pursuant to Chapter 18.60. Two spaces are required for each dwelling unit and shall be within a fully enclosed garage. The minimum interior dimensions for a garage shall be eighteen feet by twenty feet. Each required garage shall be served by a driveway from the property line which abuts a road or access way to the structures. Where the required off-street parking spaces are provided within an accessory building, a driveway to serve the off-street parking shall be a minimum of twenty feet in length from the garage structure to the property line. The minimum driveway width to a two-car garage shall be sixteen feet. However, when determined by the Director of Development, a nine-foot driveway may be permitted (excepting within twenty feet of the garage or carport) and/or no improved driveway shall be required if it is deemed by the director of planning impractical and unreasonable because of special circumstances applicable to the subject property. The special circumstances shall include, but not be limited to, the size and shape of the subject property. Parking of any vehicle shall be prohibited the area located between the front and/or side property line and the primary plane of the building abutting any street; unless in a designated driveway that does not exceed the width of the garage. All parking spaces and areas, access driveways and maneuvering areas required and as shown on any approved plans shall be graded for adequate drainage and surfaced with portland cement with a minimum of four inches thickness or asphalt concrete over an approved base, as approved by the city engineer.

18.16.120 Landscaping.

Addition

All landscaping shall be in accord with Section 13.60.060 of this Code. All required front yard areas shall have a minimum of fifty (50) percent landscaping free of paved parking and driveway areas. Any areas used for pedestrian access or other landscape features utilizing paved areas shall be permitted at the discretion of the Director of Development or his designee.

Chapter 18.18
R-2 Medium-Density Residential District

18.18.072 Design Guidelines.

Addition

All development shall conform to the adopted Planning Commission Design Guidelines.

Chapter 18.20
R-3 High-Density Residential District

18.20.072 Design Guidelines.

Addition

All development shall conform to the adopted Planning Commission Design Guidelines.

Chapter 18.22
R-4 Very-High-Density Multiple Residential District

18.22.072 Design Guidelines.***Addition***

All development shall conform to the adopted Planning Commission Design Guidelines.

Chapter 18.28
C-1 Neighborhood Retail District

18.28.062 Design Guidelines.***Addition***

All development shall conform to the adopted Planning Commission Design Guidelines.

18.28.065 Roofing Materials.***Addition***

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.30
C-2 General Commercial District

18.30.010 Intent.***Change***

The primary purpose of this district is to provide suitable locations and lands for various commercial activities, primarily of a ~~non-retail-store~~ nature, and for various types of service, storage and heavy commercial activities. The general commercial district is consistent with the commercial land use designation of the general plan. This district accommodates most commercial activities that are neighborhood, community, and regional in scale.

The primary purpose of this district is to provide suitable locations and lands for various commercial activities, primarily of a retail nature, and for various types of service, office, and commercial activities. The general commercial district is consistent with the commercial land use designation of the general plan. This district accommodates most commercial activities that are neighborhood, community, and regional in scale.

18.30.030 Conditional Uses.***Change***

(9) Automobile service stations, and similar fuel dispensing facilities, provided that any repairing or washing of the vehicle is conducted wholly within an enclosed building. Service stations shall be entitled to the following for outdoor display: four portable tire display racks. They are to be no larger than seven feet six inches high by five feet wide by six feet long. They are to be black in color and constructed of metal. They shall be displayed during business hours only. Also to be allowed are a combination of wiper cabinet and oil rack, no more than one per island, per station. If any other outdoor display of merchandise is to take place, it shall be limited to only mechanical parts and supplies related

to the operation of a vehicle and shall be approved by the ~~planning department~~ for periods not to exceed thirty days;

(9) *Automobile service stations, and similar fuel dispensing facilities, provided that any repairing of the vehicle is conducted wholly within an enclosed building. An accessory car wash is permitted in conjunction with a fuel dispensing facility, provided the process is fully automated with all washing and drying conducted fully within an enclosed building and any vacuums are located outside of all required setbacks and are oriented so as not to be visible from any public right-of-way. Service stations shall be entitled to the following for outdoor display: four portable tire display racks. They are to be no larger than seven feet six inches high by five feet wide by six feet long. They are to be black in color and constructed of metal. They shall be displayed during business hours only. Also to be allowed are a combination of wiper cabinet and oil rack, no more than one per island, per station. If any other outdoor display of merchandise is to take place, it shall be limited to only mechanical parts and supplies related to the operation of a vehicle and shall be approved by the Development Department for periods not to exceed thirty days;*

(20) *Full-service car wash;* ***Addition***
*Existing Conditional Uses 20-36 shall be renumbered to 21-37 to reflect this addition.

18.30.040 Special Regulations. ***Addition***

(6) *Accessory uses shall not exceed a total of ten (10) percent of the total floor area of the principal use occupying the building. All accessory uses shall be permitted per Sections 18.30.020 and 18.30.030 of this Code.*

18.30.090 Building height. ***Addition***

No building in a C-2 district shall have a height in excess of forty-five feet, unless otherwise approved by the Planning Commission.

18.30.092 Design Guidelines. ***Addition***

All development shall conform to the adopted Planning Commission Design Guidelines.

18.30.095 Roofing Materials. ***Addition***

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.34
C-4 Highway and Service Commercial District

18.34.030 Conditional Uses. ***Change***

(6) Car wash;

(6) Full-service car wash;

18.34.062 Design Guidelines. ***Addition***

All development shall conform to the adopted Planning Commission Design Guidelines.

18.34.065 Roofing Materials.***Addition***

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.36
C-A Administrative Professional Offices District

18.36.020 Permitted uses.***Change***

The following principal uses are permitted in the C-A district:

- (1) Any and all uses in this zone district providing drive-thru service shall be approved by the director of planning, excepting those adjacent to residential zones;
- (2) Audio and/or video recording and production studio;
- (3) Office or office building for the conduct of business, professional or administrative services;
- (4) Bank, loan agency;
- (5) Blueprinting and/or photostating;
- (6) Library, exhibit hall, art gallery;
- (7) Locksmith;
- (8) Clinic;
- (9) Medical or dental laboratory;
- (10) Medical equipment, wedding, and/or other small item rental and/or supply business;
- (11) Packaging, facsimile and/or mail service;
- (12) Pharmacy, limited to the sale of drugs and medical supplies;
- (13) Photography studio;
- (14) Shoe repair;
- (15) Tailor and/or seamstress;
- (16) Telephone answering service;
- (17) Travel agency;
- (18) Other uses similar to the above, if approved by the planning commission.

The following principal uses are permitted in the C-A district:

- (1) Any and all uses in this zone district providing drive-thru service shall be approved by the director of planning, excepting those adjacent to residential zones;
 - (2) Audio and/or video recording and production studio;
 - (3) Office or office building for the conduct of business, professional or administrative services;
 - (4) Bank, loan agency;
 - (5) Blueprinting and/or photostating;
 - (6) Library, exhibit hall, art gallery;
 - (7) Hospital, including accessory uses such as nursing homes;
 - (8) Locksmith;
 - (9) Clinic;
 - (10) Medical or dental laboratory;
 - (11) Medical equipment, wedding, and/or other small item rental and/or supply business;
 - (12) Packaging, facsimile and/or mail service;
 - (13) Pharmacy, limited to the sale of drugs and medical supplies;
 - (14) Photography studio;
 - (15) Shoe repair;
 - (16) Tailor and/or seamstress;
 - (17) Telephone answering service;
 - (18) Travel agency;
-

(19) *Other uses similar to the above, if approved by the planning commission.*

18.36.060 Building height.

Change

~~“No building in a C-A district shall have a height in excess of sixty-five feet, nor be in excess of six stories nor in excess of thirty-five feet within fifty feet of an R-1, R-2 or R-3 district.”~~

No building in a C-A district shall have a height in excess of forty-five feet, unless otherwise approved by the Planning Commission.

18.36.062 Design Guidelines.

Addition

All development shall conform to the adopted Planning Commission Design Guidelines.

18.36.065 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.39

C-M Commercial Manufacturing District

18.39.082 Design Guidelines.

Addition

All development shall conform to the adopted Planning Commission Design Guidelines.

18.39.085 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.41

I.P.D. Industrial Park District

18.41.020 Permitted Uses

Change

(1)(B) Manufacturing, compounding, assembly, packaging ~~or treatment of articles or merchandise~~ from the following previously prepared materials:

(1)(B) Manufacturing, compounding, assembly, packaging and treatment of merchandise and materials including:

Addition

(2) Other Services:

~~(A) Parcel delivery terminal;~~

~~(B) Research office and laboratory; and~~

~~(C) Warehousing, storage and/or wholesaling (retailing to the general public not to exceed twenty percent of gross yearly sales.).~~

(2) *Other Services:*

(A) Glass sales, installation and repair;

(B) Parcel delivery terminal;

(C) Research office and laboratory; and

(D) Warehousing, storage and/or wholesaling (retailing to the general public not to exceed twenty percent of gross yearly sales.)

18.41.030 Conditional Uses

Change

(6) Retail uses as follows:

- (A) Blueprinting and photocopying,
- (C) Dance school/studio;
- (D) Glass sales, installation and repair, including glass tinting,

(6) Retail uses as follows:

(A) Blueprinting, *Existing Conditional Uses D –H shall also be updated to read as D – F

18.41.075 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.42
M-1 Light Industrial District

18.42.075 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.44
M-2 Heavy Industrial District

18.44.075 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.48
P-C Public and Civic District

18.48.065 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.52
P.P. Precise Plan District

18.52 Precise Plan District – Eliminate entire Chapter.

Change

Chapter 18.58
General Regulations

18.58.030 Building height limitations-Exceptions.

Change

The height limitations of this title shall not apply to such features as antennas, chimneys or church spires. All antennas which project in excess of ten feet above any building height shall be subject to a conditional use permit pursuant to Chapter 18.74, with the exception of FM, UHF and VHF antennas which receive commercial radio or television broadcasts. Flag poles are permitted in any zone district as an accessory use. Said poles shall not exceed a height of twenty feet in residential zone districts, and fifty feet in all other zone districts. Further, only one flag pole shall be allowed on any property zoned for single family residential use. No flag on said flag pole shall exceed the following size limitations:

Pole Height	Maximum Flag Size
Up to 22 ft.	3 ft. x 5 ft.
Over 22 ft. to 26 ft.	4 ft. x 6 ft.
Over 26 ft. to 50 ft.	6 ft. x 10 ft.

The height limitations of this title shall not apply to such features as chimneys or church spires. The height of attached church spires and other architectural features shall not exceed the height of the building plus an additional fifty (50) percent of the height of the building.

Antennas may project up to ten (10) feet above any building on-site. Antennas in excess of ten (10) feet above any building height shall be subject to a conditional use permit pursuant to Chapter 18.74.

Flag poles are permitted in any zone district as an accessory use. Flag poles on any property zoned for single-family use shall be limited to one (1) in number and shall be limited to a height of twenty (20) feet. The maximum flag size in any single-family residential district shall be 3 ft. x 5 ft. Flag poles within any zone other than single-family residential zones shall be limited to a height of fifty (50) feet and flags on said poles shall not exceed the following size limitations:

Pole Height	Maximum Flag Size
Up to 22 ft.	3 ft. x 5 ft.
Over 22 ft. to 26 ft.	4 ft. x 6 ft.
Over 26 ft. to 50 ft.	6 ft. x 10 ft.

18.58.070 Minor deviations-Actions by planning director.

Change

The planning director may approve minor deviations to the regulations as contained in this title and specified below. There shall be a one hundred ten dollar filing fee for minor deviation applications. The planning director shall find that the deviation requested results from a unique situation and will not be injurious or detrimental to the health, safety and welfare of the public. After notifying the applicant and owners of adjacent property of the final date that written protests or comments may be filed with the department of planning, the director shall consider and take action on such applications. The decision of the planning director shall be subject to appeal to the planning commission pursuant to Section 18.72.050. This procedure shall apply exclusively to cases where the deviation sought is limited to:

18.58.070 Minor deviations-Actions by Director of Development.

The Director of Development may approve minor deviations to the regulations as contained in this title and specified below. A one hundred ten dollar filling fee and submittal of certified public notice documents including two sets of mailing labels and a radius map shall be required for minor deviation applications. The Director of Development shall find that the deviation requested results from a unique situation and will not be injurious or detrimental to the health, safety and welfare of the public. After notifying the applicant and owners of adjacent property of the final date that written protests or comments may be filed with the department of planning, the director shall consider and take action on such applications. The decision of the Director of Development shall be subject to appeal to the planning commission pursuant to Section 18.72.050. This procedure shall apply exclusively to cases where the deviation sought is limited to:

18.58.130 Trash/recycling material enclosures.**(2) General Requirements.**

(A) Every new development project shall provide trash/recycling material enclosures in conformance with ~~Exhibit B~~ necessary to serve the development project. All trash and/or recycling material receptacles shall be continuously contained within enclosures.

(B) Any existing development project not currently containing trash/recyclable material enclosures for which either: (i) an application for a building permit is submitted for a single alteration; (ii) an application for a building permit is submitted for multiple alterations; or (iii) multiple applications for building permits are submitted for multiple alterations, and require prior review and approval by the planning commission pursuant to Chapters 18.71 or 18.74, entitled "Site Plan" and "Conditional Uses," respectively, may be required to provide adequate, accessible, and convenient area(s) for collecting and loading trash/recyclable materials in conformance with ~~Exhibit B~~ necessary to serve the development project. However, in no event shall alteration(s) that add thirty percent or more to the existing floor area in a twelve-month period be allowed without providing enclosure(s).

(2) General Requirements.

(A) Every new development project shall provide trash/recycling material enclosures in conformance with Exhibit A, B, C, or D necessary to serve the development project. All trash and/or recycling material receptacles shall be continuously contained within enclosures.

(B) Any existing development project not currently containing trash/recyclable material enclosures for which either: (i) an application for a building permit is submitted for a single alteration; (ii) an application for a building permit is submitted for multiple alterations; or (iii) multiple applications for building permits are submitted for multiple alterations, and require prior review and approval by the planning commission pursuant to Chapters 18.71 or 18.74, entitled "Site Plan" and "Conditional Uses," respectively, may be required to provide adequate, accessible, and convenient area(s) for collecting and loading trash/recyclable materials in conformance with Exhibit A, B, C, or D necessary to serve the development project. However, in no event shall alteration(s) that add thirty percent or more to the existing floor area in a twelve-month period be allowed without providing enclosure(s).

18.58.170 Schools.***Change***

Parochial, private, public or charter schools, the attendance at which satisfies the requirements of the compulsory education laws of the state, shall be subject to the following regulations:

(1) The initial establishment of ~~a) a parochial, private or public school in any "AE-Exclusive agricultural district," "A-Agricultural-residential district," "SR-Suburban residential district," "R-1-Single-family residential district," "R-2-Medium-density residential district," "R-3-High-density residential district," "R-4-Very-high-density residential district," and "P-C-Public and civic district" zone districts; or b) a charter school in any "C-2-General commercial district" and "C-A-Administrative professional offices district"~~ shall be allowed if approved by the planning commission pursuant to Chapter 18.74, entitled "Conditional Uses."

~~(2) Any physical expansion of, or modification to any existing parochial, private or public school which results in noncompliance with any standards of this title or standards approved by the planning commission under the initial conditional use permit shall be allowed if approved by the planning commission pursuant to Chapter 18.74, entitled "Conditional Uses." Any physical expansion of, or modification to an existing parochial, private or public school which complies with development standards of this title shall not require conditional use permit approval. Said expansion or modification shall be reviewed to insure compliance with this title.~~

(3) Any physical expansion of, or modification to an existing charter school shall be allowed if approved by the planning commission pursuant to Chapter 18.74, entitled "Conditional Uses."

Parochial, private, public or charter schools, the attendance at which satisfies the requirements of the compulsory education laws of the state, shall be subject to the following regulations:

(1) The initial establishment of any school in any "AE-Exclusive agricultural district," "A-Agricultural-residential district," "SR-Suburban residential district," "R-1-Single-family residential district," "R-2-Medium-density residential district," "R-3-High-density residential district," "R-4-Very-high-density residential district," and "P-C-Public and civic district" zone districts shall be allowed if approved by the planning commission pursuant to Chapter 18.74, entitled "Conditional Uses."

(2) Any physical expansion of, or modification to an existing school shall be allowed if approved by the planning commission pursuant to Chapter 18.74, entitled "Conditional Uses."

Chapter 18.60 Off-Street Parking

18.60.090 Parking space requirement-Residential.***Change***

The number of off-street parking spaces required shall not be less than that set forth in this section.

(1) Single-Family Residential Dwellings.

~~(a) There shall not be less than two covered parking spaces provided either as a garage or carport for every dwelling unit. When carports are constructed in lieu of required garages, a minimum of one hundred fifty cubic feet of storage space shall be provided therein.~~

(b) In every residential mobile home planned development district, two off-street parking spaces which may be in tandem shall be provided or each dwelling unit, shall be within a garage, carport or covered by an awning.

(2) Multiple-Family Residential Dwellings.

(a) There shall be a minimum parking space ratio of two spaces per dwelling unit, one-half of which shall be in a garage or carport. All off-street parking should be developed in close proximity to the units which parking is to serve, so as to reduce the need to park on public rights-of-way. Where carports are constructed in lieu of required garages, a minimum of one hundred fifty cubic feet of storage space shall be provided therein or other areas as approved by the director of planning.

(b) Individually owned dwelling units, such as within condominiums, cooperatives or town house multiple-family residential projects, shall have a minimum of one covered parking space for one bedroom dwelling units and two covered parking spaces for two or more bedroom dwelling units. In addition, all such residential projects shall provide one uncovered parking space for each two dwelling units.

(c) Each mobile home space in a mobile home park shall have two adjoining parking spaces which may be in tandem, and additional guest parking shall be provided on the basis of one space for each five dwelling units.

~~(d) A maximum of twenty-five percent of the total number of required off-street parking spaces other than covered residential spaces may be provided at compact car stall standards of minimum dimensions as set forth in subsection (a)(3) of Section 18.60.120.~~

(e) A parking facility may provide for motorcycle parking provided the proposed use meets the motorcycle standards as set forth in subsection (a)(3) of Section 18.60.120.

The number of off-street parking spaces required shall not be less than that set forth in this section.

(1) Single-Family Residential Dwellings.

(a) A minimum of a two-car private garage shall be provided for every dwelling unit.

(b) In every residential mobile home planned development district, two off-street parking spaces which may be in tandem shall be provided or each dwelling unit, shall be within a garage, carport or covered by an awning.

(2) Multiple-Family Residential Dwellings.

(a) There shall be a minimum parking space ratio of two spaces per dwelling unit, one-half of which shall be in a garage or carport. All off-street parking should be developed in close proximity to the units which parking is to serve, so as to reduce the need to park on public rights-of-way. Where carports are constructed in lieu of required garages, a minimum of one hundred fifty cubic feet of storage space shall be provided therein or other areas as approved by the director of planning.

(b) Individually owned dwelling units, such as within condominiums, cooperatives or town house multiple-family residential projects, shall have a minimum of one covered parking space for one bedroom dwelling units and two covered parking spaces for two or more bedroom dwelling units. In addition, all such residential projects shall provide one uncovered parking space for each two dwelling units.

(c) Each mobile home space in a mobile home park shall have two adjoining parking spaces which may be in tandem, and additional guest parking shall be provided on the basis of one space for each five dwelling units.

(d) Compact car parking spaces shall not be included when calculating required off-street parking. Compact car parking spaces are permitted only in excess of required off-street parking. Compact car parking shall be located at the periphery of the site and shall meet the compact car standards set forth in subsection (a)(3) of Section 18.60.020.

(e) A parking facility may provide for motorcycle parking provided the proposed use meets the motorcycle standards as set forth in subsection (a)(3) of Section 18.60.120.

18.60.090 Parking space requirement – Commercial Uses

Change

Retail establishments, markets, and businesses not otherwise enumerated in this section, such as drug stores, department stores, animal hospitals, and dance studios: One space for each two hundred square feet of floor area, ~~up to six thousand square feet for each individual user, plus one space for~~

~~each additional three hundred square feet of floor area beyond six thousand square feet for each individual user, exclusive of area used for air conditioning and other utility equipment.~~

Retail establishments, markets, and businesses not otherwise enumerated in this section, such as drug stores, department stores, animal hospitals, and dance studios: One space for each two hundred square feet of floor area, exclusive of area used for air conditioning and other utility equipment.

Addition

Multi-tenant commercial centers over 5 acres in gross area: four (4) spaces per 1,000 square feet of total floor area. Other uses within these developments may require additional spaces at the discretion of the Planning Commission. Freestanding restaurants, including fast food, within said centers shall comply with restaurant parking requirements.

18.60.120 Parking facility development standards.

Change

(a) Size of parking facilities shall be as follows:

(3) The size of parking spaces and aisle width for all nonresidential uses shall conform to the minimum dimension and access requirements as outlined in Figures 18.60.120(1), (2) and (3). For driveways and/or drive aisles not directly within parking areas as shown in Figures 18.60.120(1), (2) and (3), two-way drive aisles shall be a minimum of twenty-five feet in width and one-way drive aisles shall be a minimum of twelve feet in width. ~~A maximum of ten percent of the total number of off-street parking spaces required may be provided at compact car standards as shown in Figure 18.60.120(2).~~ Aisle width for compact cars shall be the standard aisle widths as outlined in Figure 18.60.120(1). In those instances where a compact car stall is immediately adjacent to a standard car stall, the compact car stall shall be nine feet in width. All compact car spaces shall be designed, located and clearly labeled on the required parking spaces plan. Each compact car stall shall have a stencil reading "COMPACT CAR ONLY," with a required height of eight inches, placed at its entrance. Every compact car stall shall be clearly pinstriped to conform with the requirements of Figure 18.60.120(2).

(a) Size of parking facilities shall be as follows:

(3) The size of parking spaces and aisle width for all nonresidential uses shall conform to the minimum dimension and access requirements as outlined in Figures 18.60.120(1), (2) and (3). For driveways and/or drive aisles not directly within parking areas as shown in Figures 18.60.120(1), (2) and (3), two-way drive aisles shall be a minimum of twenty-five feet in width and one-way drive aisles shall be a minimum of twelve feet in width. Compact car parking spaces shall not be included when calculating required off-street parking. Compact car parking spaces are permitted only in excess of required off-street parking. Compact car parking shall be located at the peripheral of the site and shall meet the compact car standards set forth in subsection (a)(3) of Section 18.60.020. Aisle width for compact cars shall be the standard aisle widths as outlined in Figure 18.60.120(1). In those instances where a compact car stall is immediately adjacent to a standard car stall, the compact car stall shall be nine feet in width. All compact car spaces shall be designed, located and clearly labeled on the required parking spaces plan. Each compact car stall shall have a stencil reading "COMPACT CAR ONLY," with a required height of eight inches, placed at its entrance. Every compact car stall shall be clearly pinstriped to conform with the requirements of Figure 18.60.120(2).

(b) Location of parking facilities shall be as follows:

Addition

(4) No off-street parking stall shall be located within twenty (20) feet of the intersection of a public right-of-way and a drive approach when said drive approach is used as direct access to said off-street parking stall, as measured from the property line.

(5) All required parking shall be located in close proximity to the buildings main entrance.

18.60.140 Landscaping requirements.***Change***

(c) Landscaping requirements for parking areas are as follows:

(1) All nonresidential lots which abut a dedicated street shall have a planter strip along the entire property abutting the dedicated street, excluding all driveway approaches. The planter strip shall be a minimum of three feet in width.

(c) Landscaping requirements for parking areas are as follows:

(1) All nonresidential lots which abut a dedicated street shall have a planter strip along the entire property abutting the dedicated street, excluding all driveway approaches. The planter strip shall have a minimum interior width of five feet.

Chapter 18.62**Signs****18.62.010 Definitions.*****Change***

(18) "Painted Sign" means a permanent sign which is painted on any office, wall, window, fence or structure of any kind, ~~for which a building permit is not required.~~

(18) "*Painted Sign*" means a permanent sign which is painted on any exterior surface or structure of any kind.

18.62.030 General standards and requirements.***Change***

~~Except as otherwise provided in this chapter, it is unlawful for any person to erect, alter the structure of or relocate any sign as defined in Section 18.62.010 without first obtaining a sign permit or building permit if required. Repainting of a sign or the changing of advertising copy thereon shall not be considered as alteration which requires a permit unless a structural change is made and/or square footage is increase.~~

(1) Except as otherwise provided in this chapter, it is unlawful for any person to erect, alter, or relocate any sign as defined in Section 18.62.010 without first obtaining a sign permit or building permit if required.

(2) Any sign that does not use the English alphabet as the primary script shall include an English alphabet translation on the sign of equal size.

18.62.070 Permanent signs.***Change***

(f) Billboards or Outdoor Advertising. Displays or structures shall be governed by the following general regulations:

(1) The construction of new, the relocation or expansion of existing billboards or outdoor advertising structures is prohibited citywide.

(2) Each existing outdoor advertising structure or billboard shall bear an identification tag or stamp which clearly indicates ownership of such structure.

(3) Structural development shall be prohibited on parcels in which a billboard or outdoor advertising structure exists.

~~(4) No subdivision of land can occur to a parcel on which a billboard or outdoor advertising structure exists.~~

(f) Billboards or Outdoor Advertising. Displays or structures shall be governed by the following general regulations:

- (1) The construction of new, the relocation or expansion of existing billboards or outdoor advertising structures is prohibited citywide.*
- (2) Each existing outdoor advertising structure or billboard shall bear an identification tag or stamp which clearly indicates ownership of such structure.*
- (3) Structural development shall be prohibited on parcels in which a billboard or outdoor advertising structure exists.*

18.62.110 Prohibited Signs.

Addition

(5) Painted Signs. Existing painted signs shall not be altered, repainted or otherwise modified.

Chapter 18.64
Yards, Fences, Walls and Hedges

18.64.080 Fences, walls and hedges-Measurement of height.

Change

The height of a fence, wall or hedge shall be measured from the lowest finished level of the ground abutting it. ~~Where a fence, wall or hedge lies directly above a retaining wall or above, parallel with and within four feet of such a wall, the permitted height of a fence shall not exceed the maximum height limitations of this title, but in no case shall it be less than three and one-half feet. The height of such fence, wall or hedge shall be measured from that portion of the retaining wall which is retaining fill as shown in Exhibit B, immediately following this Section 18.64.080.~~

The height of a fence, wall or hedge shall be measured from the lowest finished level of the ground abutting it. No walls or combination of walls, fences, and/or hedges shall exceed a height of eight (8) feet without utilizing a step design per Exhibit B directly following this section.

18.64.090 Fences, walls and hedges – Subdivisions.

Addition

Rear and side masonry walls are required with the concurrent construction of two or more units by the same developer. Project perimeter walls shall be of decorative block and include architectural features to match the project.

Chapter 18.68
Accessory Uses and Buildings

18.68.020 Uses subject to planning director approval.

Change

(7) Model home complexes in any R-1, single-family residential district, the ~~planning director~~ shall have the ability to approve a model home complex which complies with the following standards:

~~(D) Model complexes with four or more models must provide drought tolerant landscaping on one of the models~~

(7) Model home complexes in any R-1, single-family residential district, the Director of Development shall have the ability to approve a model home complex which complies with the following standards:

(D) All model home complexes shall provide landscaping in accord with Section 13.60.060 of this Code;

Addition

(F) All new homes shall provide the same landscape palette as that approved for the model home complex. The landscaping shall include identical hardscape as well as plant types, count and size as used on the model home yard.

Current item F shall become item G with the above noted change.

Chapter 18.71
Site Plan

18.71.050 Site plan review criteria.

Addition

(7) That any proposed development is in accord with the adopted Planning Commission Design Guidelines where applicable.

Current items 7 & 8 shall be renumbered to read as 8 & 9.

Chapter 18.74
Conditional Uses

18.74.040 Conditional use permit review criteria.

Addition

(12) That any proposed development is in accord with the adopted Planning Commission Design Guidelines where applicable.

Current items 12 - 14 shall be renumbered to read as 13 – 15.



PLANNING COMMISSION STAFF REPORT

DATE: November 8, 2006 **AGENDA NO. 1A & B**

CASES: A-06-001 & PCP-06-001

SUBJECT: **A. Amendment** – To allow for various amendments of the Victorville Municipal Code to Title 17 and Title 18; and
B. Planning Commission Policy – To establish multi-family residential design guidelines for development with multi-family districts.

APPLICANT: City of Victorville

LOCATION: N/A

I. STAFF RECOMMENDATION:

That the Planning Commission take the following action:

1. **Amendment** - Adopt Resolution No. P-06-256, recommending City Council approval of Case No. A-06-001;
2. **Planning Commission Policy** – Adopt Resolution No. P-06-281, adopting Planning Commission Policy Case No. PCP-06-001; and
3. **Environmental Assessment** - Find the project exempt pursuant to Section 15061(b) of the California Environmental Quality Act.

II. SUMMARY:

To allow for various amendments of the Victorville Municipal Code to Title 17 and Title 18, including the following:

- altering certificate of compliance approval from a public hearing to administrative review;
- adding and clarifying definitions of subordinate buildings and uses as well as yards;
- various amendments to alter numerous sections referencing the Director of Planning and the City Attorney to the Director of Development, including interpretation and enforcement duties;
- various alterations and additions to residential districts including permitted uses, yards, parking, landscaping and minimum dwelling size;
- various alterations and additions to commercial districts including intent, permitted and conditional uses, building height and special regulations;
- various alterations to industrial districts including permitted and conditional uses;
- elimination of the Precise Plan District;
- various alterations to the General Regulations section of Title 18 including building height exceptions, minor deviations and school development;

- various alterations and additions to the Off-Street Parking section of Title 18 including carports, compact parking, commercial parking requirements, parking facility development standards and landscaping;
- various alterations to the Signs section of Title 18 including definitions, general standards and requirements, permanent signs and prohibited signs;
- various alterations and additions to the Yards, Fences, Walls and Hedges section of Title 18 including measurement of height and subdivision requirements;
- various alterations to the Accessory Uses and Buildings section of Title 18 including model home complex requirements;
- various alterations and additions to the Nonconforming Uses and Buildings section of Title 18 including nonconforming building sites.

III. STAFF ANALYSIS:

1. Amendment.

- **Chapter 17.100 Enforcement-Penalty-Remedies**
To relieve the Planning Commission of certificate of compliance proceedings and yield the duties the City Engineer in accord with the State's Subdivision Map Act.
- **Chapter 18.04 Definitions.**
To add a definition of "subordinate building" in order to clarify other sections of code that use "subordinate" as a means of description. Also, to clarify existing definitions of "private garage" to include "fully enclosed" in the meaning and "yard" to include references to parked vehicles as obstructions of yard areas. And to codify provisions for multi-family design guidelines as approved by the Planning Commission.
- **Chapter 18.06 Interpretation, Construction and Enforcement.**
To grant interpretation duties of Title 18 of the Victorville Municipal Code to the Director of Development.
- **Chapter 18.13 Residential Districts.**
To increase the minimum square footage area for single-family dwelling units in accord with minimum unit sizes used by the development community.

To codify provisions for multi-family design guidelines as approved by the Planning Commission.
- **Chapter 18.16 R-1 Single-Family Residential District.**
To remove "One single manufactured home on a lot..." from permitted uses as manufactured homes are currently permitted in any area that allows for single-family dwellings per State Code.

To update the accessory uses section to prohibit recreational vehicle parking in street side and front yard areas in order to increase emergency access and visibility.

To increase interior yard areas in conjunction with minimum distance requirements between residential dwelling units in order to increase emergency access and as a means to control separation of dwelling units and overall subdivision aesthetics.

To prohibit carports as required off-street parking as well as to prohibit parking in front yard areas not part of the designated driveway in order to increase emergency access and visibility.

To add required landscaping in accord with Section 13.60.060 of the Victorville Municipal Code (Water Conservation Ordinance 2114) as well as to require a minimum of fifty percent landscaped areas within front yard areas in accord with said section of Victorville Municipal Code.

- **Chapter 18.18 R-2 Medium Density Residential District.**
- **Chapter 18.20 R-3 High Density Residential District.**
- **Chapter 18.22 R-4 Very High Density Multiple Residential District.**
To codify provisions for multi-family design guidelines as approved by the Planning Commission.
- **Chapter 18.28 C-1 Neighborhood Retail District.**
To prohibit the use of asphalt roof shingles on all new development. This would codify current Staff recommendations to the development community and help prevent the rapid deterioration caused by the harsh desert climate.
- **Chapter 18.30 C-2 General Commercial District.**
To clarify the intent of the C-2 Zone District as a retail, service and office district.

To add regulations on car washes in conjunction with fuel dispensing facilities including fully enclosed structures, full automation of the process and orientation of structures so as not to be a safety or aesthetic concern.

To add full-service car washes as conditional uses within the zone district, which would codify past decisions of the Commission declaring a full-service carwash as a conditional use in the C-2 Zone District.

To limit accessory uses within a principal use occupying a building to a maximum of ten percent of the building floor area. This will help prevent parking deficiencies on sites where a principal uses requires less off-street parking than its accessory uses.

To update the building height regulation in order to allow the Commission to permit heights in accord with the General Plan if not otherwise approved by the Zone District.

To prohibit the use of asphalt roof shingles on all new development. This would codify current Staff recommendations to the development community and help prevent the rapid deterioration caused by the harsh desert climate.

- **Chapter 18.34 C-4 Highway and Service Commercial District.**
To clarify the existing conditional use of "Car wash " to read as "Full-service car wash" as a stand alone full service car wash would be better suited in this zone district than an unattended mechanical car wash. Car washes accessory to fuel dispensing facilities will remain as a conditional use either as a full service or automated facility.

To prohibit the use of asphalt roof shingles on all new development. This would codify current Staff recommendations to the development community and help prevent the rapid deterioration caused by the harsh desert climate.

- **Chapter 18.36 C-A Administrative Professional Offices District.**

To add "hospitals and accessory uses such as nursing homes" as a permitted use within the zone district. This would make some hospital locations within the City become legal permitted uses while allowing for certain improvements to be permitted at said locations by right and remove the need for approval of a Conditional Use Permit.

To update the building height regulation in order to allow the Commission to permit heights in accord with the General Plan if not otherwise approved by the Zone District.

To prohibit the use of asphalt roof shingles on all new development. This would codify current Staff recommendations to the development community and help prevent the rapid deterioration caused by the harsh desert climate.

- **Chapter 18.39 C-M Commercial Manufacturing District.**

To prohibit the use of asphalt roof shingles on all new development. This would codify current Staff recommendations to the development community and help prevent the rapid deterioration caused by the harsh desert climate.

- **Chapter 18.41 I.P.D. Industrial Park District.**

To add, "glass sales, installation and repair" as a permitted use within the zone district. Also to clarify wording of confusing and dated portions of the permitted uses section.

In conjunction with the above noted addition to the permitted uses section, similar use "Glass sales, installation and repair, including glass tinting" will be removed from the conditional uses section as well as photocopying and a dance school/studio, which are permitted and better, suited in other commercial zone districts.

To prohibit the use of asphalt roof shingles on all new development. This would codify current Staff recommendations to the development community and help prevent the rapid deterioration caused by the harsh desert climate.

- **Chapter 18.42 M-1 Light Industrial District.**
Chapter 18.44 M-2 Heavy Industrial District.
Chapter 18.48 P-C Public and Civic District.

To prohibit the use of asphalt roof shingles on all new development. This would codify current Staff recommendations to the development community and help prevent the rapid deterioration caused by the harsh desert climate.

- **Chapter 18.52 P.P. Precise Plan District.**

To eliminate the entire Precise Plan District chapter as it has not been used by Staff in any department for years. One reference to a Precise Plan District has been located within a recorded subdivision map, however any and all regulations pertaining to this chapter in Development Department archives as well as historical copies of the Municipal Code have not been located by Staff.

- **Chapter 18.58 General Regulations.**

To clarify the entire section pertaining to "Building height limitations-Exception" due to confusing and unclear wording. No changes to permitted height exception are included.

To increase the requirements for a Minor Deviation to include the submittal of certified public notice documents as well as to replace references to the "Planning Director" to read as "Development Director". This would codify requirements that are already imposed by the Planning Division at the direction of the Director of Development.

To remove all schools from the C-2 (General Commercial) and the C-A (Administrative professional offices) Zone Districts as conditional uses. Also, clarifies wording that requires a Conditional Use Permit Modification for any physical expansion or modification to an existing school and removes provisions for expansions and modifications without a Conditional Use Permit Modification. This is in an attempt to permit schools on in areas where they will be utilized by adjacent property owners and neighbors.

- **Chapter 18.60 Off-Street Parking.**

To remove all references to carports within single-family residential zones, this amendment is in coordination with code amendments to the R-1 (Single-family residential) Zone District and Definitions chapter as noted earlier in this report. Also, to allow for compact parking only in excess or required off-street parking provided in full-size stalls within residential developments. This amendment is in order to accommodate for larger vehicles frequently found in the high desert that cannot typically fit into compact stalls.

To remove bonuses given for required parking when a single retail user utilizes over six thousand square feet in floor area. This comes as a result of Staff noting parking deficiencies at peak and off-peak operation hours when this bonus is used in practical applications. Also, enforcement of required parking is difficult when sites utilizing this bonus change users and cease to be a single use.

To add required parking provisions for multi-tenant commercial center over 5 gross acres in area at four spaces per one thousand square feet of floor area. All restaurant uses are exempt from these provisions and certain uses could require additional parking if the Commission finds the need. This stems from a survey of other cities parking regulations as well as the fact that multi-tenant centers (excepting for restaurant uses) typically have excess parking during all hours either peak or off-peak.

To allow for compact parking only in excess or required off-street parking provided in full-size stalls within commercial developments. This amendment is in order to accommodate for larger vehicles frequently found in the high desert that cannot typically fit into compact stalls.

To require off-street stalls to be located a minimum of twenty feet from any drive entrance in order to allow for a backing area that would not utilize public right-of-way. This is codification of a policy that Staff has been conditioning for several months. Also to require required (full-size) parking to be located within close proximity to the primary

buildings main entrance. This will ensure that excess compact parking is not the primary parking utilized by patrons.

Landscaping requirements for parking areas will be increased along areas abutting any right-of-way. Planter strips will increase in size from two feet to five feet of interior landscaping area in order to allow for a broader range of planting material.

- **Chapter 18.62 Signs**

To clarify the definition of a painted sign to include any exterior surface.

To reword and clarify the general standards and requirements section in order to remove provisions for repainting signs and changing sign faces. Also adds provisions for the addition of English alphabet translations for any sign that does not use the English alphabet as its primary script.

To remove language that prohibits subdivision of land on a parcel that contains a billboard or other outdoor advertising device.

To prohibit painted signs and the repainting or alteration of any existing sign.

2. Multi-Family Residential Design Guidelines (Planning Commission Policy, PCP-06-001).

The design guidelines for multi-family residential developments are intended to create livable neighborhoods and residential areas as well as safe and attractive streets by encouraging high-quality site planning and architecture. The design guidelines are general and may be interpreted with some flexibility in their application to specific projects. Compliance with this Planning Commission Policy will be determined during the City's Site Plan review process.

3. Environmental Assessment.

- Exempt pursuant to Section 15061(b) of the California Environmental Quality Act – There is no possibility that the amendments could have a significant effect on the environment.

NUMBER OF RADIUS LETTERS MAILED: N/A

AJ

THE STAFF RECOMMENDATION MAY BE ACCEPTED OR REJECTED BY THE PLANNING COMMISSION AND THE CITY COUNCIL AFTER ITS OWN ANALYSIS AND CONSIDERATION OF PUBLIC TESTIMONY PRESENTED AT THE HEARING. THE PLANNING COMMISSION ACTION IS A RECOMMENDATION TO THE CITY COUNCIL ONLY.

006

RESOLUTION NO. P-06-281

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VICTORVILLE ADOPTING PLANNING COMMISSION POLICY PCP-06-001 ESTABLISHING MULTI-FAMILY RESIDENTIAL DESIGN GUIDELINES FOR DEVELOPMENT WITHIN MULTI-FAMILY RESIDENTIAL DISTRICTS

WHEREAS, it is a goal of the City's General Plan to achieve aesthetically pleasing communities with development standards which reflect the communities needs; and

WHEREAS, the Planning Commission finds that a policy establishes requirements for multi-family residential development to provide safe and livable neighborhoods by encouraging high-quality architecture, landscaping, design and open space; and

WHEREAS, a public hearing was held on the 8th day of November, 2006, pursuant to Title 7, Division 2, Chapter 3, of the Government Code of the State of California, to hear arguments for and against the issue; and

WHEREAS, the Planning Commission finds that specified standards are necessary to ensure implementation of the design guidelines.

NOW, THEREFORE, BE IT RESOLVED that Planning Commission Policy PCP-06-001 be adopted as follows:

PLANNING COMMISSION POLICY PCP-06-001

MULTI-FAMILY RESIDENTIAL DESIGN GUIDELINES

Sections:

- 1. Design goals.**
- 2. Design objectives.**
- 3. Site design guidelines.**
- 4. Architectural design guidelines.**

Section 1. Design goals.

Multi-family residential development appears in a variety of forms throughout the City of Victorville. Multi-family developments, if not properly designed, can dominate their surrounding, increase neighborhood parking and circulation problems, and decrease common and private open space. These guidelines present common goals that encourage the highest level of design quality while allowing

maximum flexibility in the design of multi-family residential development that will:

- A. Create livable neighborhoods and residential areas as well as safe and attractive streets by encouraging high-quality architecture, landscape, design and open space; and
- B. Emphasize design compatibility within existing neighborhoods, both in site planning and architectural design.

Section 2. Design objectives.

The design of multi-family residential development projects in Victorville shall:

- A. Respect the scale, proportion and character of the surrounding area;
- B. Provide pedestrian-friendly design solutions to adverse traffic patterns;
- C. Establish attractive, inviting, imaginative and functional site design;
- D. Provide adequate open space, parking and privacy;
- E. Create visual interest and variety;
- F. Maintain a sense of harmony and proportion along street frontages and other portions of the project exposed to public view;
- G. Preserve and incorporate natural amenities unique to the site such as hillside views, topography, and mature trees; and
- H. Preserve and incorporate historically, culturally, or architecturally significant buildings into the project development proposal.

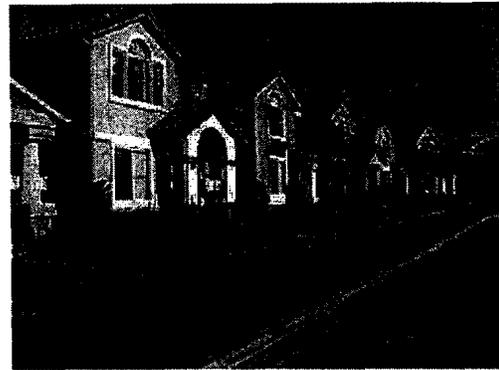
Section 3. Site design guidelines.

- A. Grading. Grading should be minimized where possible to preserve the natural character of the land. When grading is unavoidable, incorporate the following guidelines:
 1. Follow the natural contours as much as possible.
 2. Slopes should be rounded and contoured to blend with the existing terrain.
 3. Emphasize and accentuate scenic vistas.
 4. Avoid large manufactured slopes in favor of several smaller slopes.
 5. Retain and incorporate significant natural vegetation into the project.
 6. When grading is unavoidable, minimize raising the grade significantly above the grade of adjacent properties, especially near interior property lines. When such grading is unavoidable, compensate by planning for reduced building heights within the raised grades.
 7. Implement slope-stabilizing landscaping and irrigation on manufactured slopes.
- B. Compatibility. New units should be built in scale with the existing neighborhood. Therefore, in addition to the minimum code requirements for yards, height, lot coverage and floor area; the predominant setback, yards, size and height of the existing neighborhood should be considered in determining the overall size and situation of the buildings.
 1. The arrangement of structures, circulation and open spaces should recognize the particular characteristics of the site.
 2. Project design should relate to the surrounding built environment in pattern, function, scale, character and materials.
 3. Infill structures and new projects should meet or exceed the standards of quality, which have been set by surrounding development.
 4. Structures that are distinctive due to their age, cultural significance, or unique architectural style should be preserved and incorporated in the project proposal.
 5. Residential units should be buffered from incompatible development through increased setbacks, intensified landscaping, and appropriate building orientation.
- C. Building Siting
 1. Building Orientation – Primary building entries should be designed to front onto either a street, interior pedestrian paths or common open space. Up to 25% of all units in multi-family complexes may have building entries that do not front onto streets or common open space. All entries and common open spaces should have a direct connection to a street via

a connecting walkway. Street frontages consisting of garages, carports and parking lots are to be minimized.

2. **Garage Placement** – Developments should be designed to minimize the visual impact of garages along streets. Garages should not comprise more than 33% of a building's street frontage. The following options should be used:

- a. Place garages behind buildings (with access from driveways or alleys);
- b. Recess garages that face the street behind the primary façade of buildings with a setback of at least one foot (1') from the primary façade for every two feet (2') of garage width; or
- c. Use a side-facing garage door (with no additional setback required).



Appropriate Orientation

D. Driveways and Guest Parking Areas

1. Main driveways should incorporate no more than one lane in each direction, separated by a four-foot-wide net, curbed, planted divider within the required street setback area.
2. Guest parking facilities may be located directly off the main driveway, outside the required street setback area, provided they are screened from view from the street by a 42-inch high wall.
3. Main driveways should be enhanced by a pergola consistent with the architectural style of the buildings, of a depth of at least half the required street setback.
4. All driveways should incorporate an enhanced paving strip consisting of unit pavers or textured/scored concrete at the entrance and at 100 foot-intervals thereafter, of at least 10 feet in width.

E. Setback

The structures should be set back from the front property line either the distance required by the zoning code or the average of existing setbacks on the street, whichever is greater.

F. Open Space and Landscaping

1. **Common Open Space** – Common open space areas include shared gardens, plazas, water elements, courtyards, recreation facilities, or equivalent landscaped areas. The following open space guidelines should be followed:
 - a. **Connecting Walkways** – An interconnected path system should be provided and should be integrated with the public sidewalk, where available. The path system should serve the guest parking areas. Entry points to the path system shall have special paving or scored concrete.
 - b. **Location and Surrounding** – Common open space should be designed to integrate buildings and other structures. At least seventy-five percent (75%) of common open spaces shall be bounded by building walls with windows, by architectural elements such as low walls or trellises, by landscape features such as hedges or rows of trees, or by some combination of these elements. Required open space should be conveniently located near the majority of units.
 - c. **Size** - Common open space areas may be small, while providing amenity and identity through appropriate design.

- d. Landscaping and Features – Landscaping and open space must be designed as an integral part of project design and enhance the building design, enhance public views and provide buffers where needed. Every site shall contain at least one 24-inch box size tree for each dwelling unit.
- 2. Private Open Space - All private open space shall be fenced or walled for the private use of the occupants of the unit it is intended to serve. Ground-level private open space shall be located adjacent to the dwelling unit. Aboveground private open space (i.e. decks and balconies) should be set back at least 10 feet from interior property lines.
- 3. Common Recreational Facilities - The minimum number of recreational facilities for a development is based on the amount of residential units within a complex and is listed in the following table:

Number of Residential Units	4-24	25-50	51-75	76-99	100-200
Required Number of Recreational Facilities	1	2	3	4	5

* For each 100 units above the first 200 units, one additional set of recreational amenities should be provided.

Developments shall select from the following recreational facilities, subject to Planning Commission review and approval:

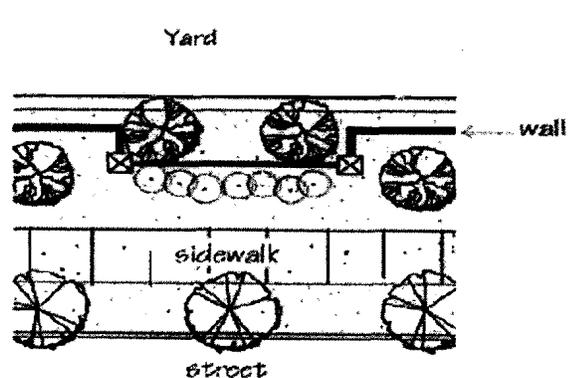
- a. Large open lawn with one of the dimensions no less than 100 feet;
- b. Pool and spa;
- c. Multiple tot lots with multiple play equipment, conveniently located throughout the site;
- d. Community multi-purpose room equipped with kitchen, with attached patio area;
- e. Court facilities (i.e. tennis, volleyball, basketball, etc.)
- f. Barbecue facility equipped with grill, picnic benches, etc.;

G. Utilities

Transformers, post-indicator valves, backflow-preventers and similar apparatus shall either be undergrounded or located in inconspicuous areas, and screened with landscaping.

I. Walls and Fences – Fences and walls should be designed as an integral part of the whole project.

- 1. Materials - Fences and walls should use materials and design elements that make it consistent with the design of the whole project. Fences and walls in public view should be built with attractive, durable materials including, but not limited to, wrought iron with pilasters, textured concrete block, or formed concrete with reveals. Chainlink fencing, corrugated metal or fiberglass fencing and "tennis windscreens" are prohibited. All fences and walls should have a distinctive cap of different width, material or texture.
- 2. Height – Fences and walls should not exceed a height of six feet (6') without being made of textured concrete block, textured interlocking blocks, formed concrete with reveals, or similar materials.



One option is to incorporate a 2' stagger to wall at appropriate intervals.

3. Special Design Considerations – Short fences, walls, hedges and gates are encouraged along sidewalks to contribute to an attractive streetscape. Decorative gates are encouraged near the sidewalk. To maintain some visual connection between entries and a street or walkway, walls, and fences should be accompanied by a gate. Gates should be accompanied by pilasters or other special architectural or landscape treatment.

4. Fence and Wall Styles – While site plans should avoid placing tall walls and fences along local streets and collectors, sometimes it is unavoidable. Treatments should be used to avoid long and monotonous street fronts. Appropriate designs include:

- a. A solid wall with pilasters;
- b. A short wall with fencing and pilasters;
- c. Fencing with pilasters, staggered walls (i.e. change-in-plane);
- d. Gated openings, and planters integrated with walls.
- e. Exterior security fencing should be considered in the initial design stage to avoid the need for future modifications to the plan.

Acceptable Walls/Fences



Fences and walls should be built with attractive, durable materials. Pilasters should include a distinctive cap.

- K. Refuse Enclosures and Equipment – Refuse Enclosures should be designed to be integrated into the whole project. Refuse containers and equipment should be easily accessed by service vehicles and located within a screened enclosure. Reflect the architectural style of adjacent buildings in the design of enclosures, and use similar, high quality materials. Landscaping or trellises are encouraged where screened enclosures are visible from a street or connecting walkway and shall be permanently maintained.

- L. Drainage - Using various control techniques to limit off-site drainage helps to create a healthier watershed. There are many ways to capture water on-site and divert water underground. Residential development should integrate water runoff best management practices into the site design.

Section 4. Architectural Design Guidelines.

- A. Architectural Style – The architectural style chosen should reflect a style that characterizes or complements the predominant neighborhood style. The architectural style should be consistent across all units, however, variation in color schemes and design details should be evident. Some commonly found styles in Victorville are described below, along with their defining elements.

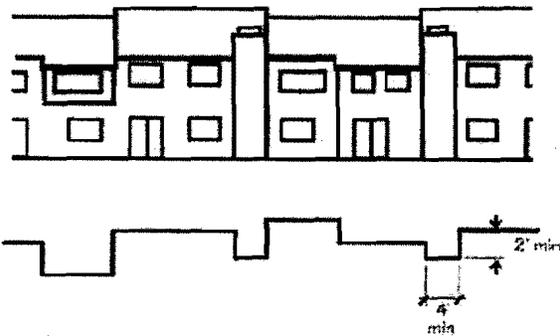
- 1. Craftsman - Heavy exposed beams and porch columns; full-width front porches; use of natural materials such as stone and brick for base treatments; low-pitched roofs with wide eave overhangs; wood or stucco siding; darker earthtone exterior colors; double- or single-

hung windows.

2. Mediterranean - Low-pitch, tile or flat roofs with parapet; arched windows and entries, sometimes recessed; trowelled stucco finish; cream or light earthtone color; front porches accented with decorative columns or pilasters; if two-story, upper windows smaller and less ornate than lower windows.
3. Spanish - Low-pitch red tile roof, usually with little or no eave overhang; typically with one or more prominent arches placed above door or principal window, or beneath porch roof; wall surface usually stucco; façade normally asymmetrical.
4. Pueblo Revival - Flat roof with parapeted wall above; wall and roof parapet with irregular, rounded edges; projection wooden roof beams extending through walls; stucco wall surface, usually earth-colored.
5. International - Multi level flat roof, windows (usually metal casements) set flush with outer wall, some floor to ceiling windows; smooth, unornamented wall surfaces with no decorative detailing at doors or windows; façade asymmetrical;
6. Ranch - Low-pitched, hipped roof with wood or wood-look shingles and wide eaves; wide windows; variety of siding with base treatment, including stucco, lap, board-and-baton, brick or stone cladding.

B. Scale and Massing - At a minimum, the following guidelines should be implemented. Exceptions to these requirements are permissible, if the architectural style dictates otherwise.

1. Attached units should incorporate plan elements, which provide distinction to individual units or small groups of units, such as wall breaks, projections, individual roof treatments, porches and decks.
2. The front wall mass of each unit should be broken up into two or three planes, with a break depth of at least two (2) feet. No required plane should be less than 25 percent of the length of the front wall.
3. Units adjacent to property lines should incorporate a third floor setback of at least 10 feet from lower-story walls facing the property line. Units adjacent to pedestrian paths and common open spaces should incorporate a third floor setback of at least 5 feet from the wall facing the path or common open space.
4. All front, rear and interior facing wall planes should be proportionately fenestrated, including garage, sidewalls and dormers.
5. Use variation in the building footprints, facades, and roof forms.
6. Use a variety of shapes and forms including architectural projections such as roof overhangs bay window, entry elements such as porches, stoops, balconies, trellises, and cantilevers that create shadows on the building.
7. Use contrasting vertical and horizontal elements that help break the visual mass of facades into small areas.

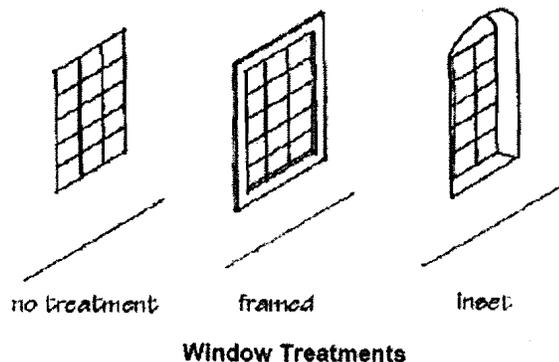


Recommended architectural projections



Appropriate Massing for Multi-family Units

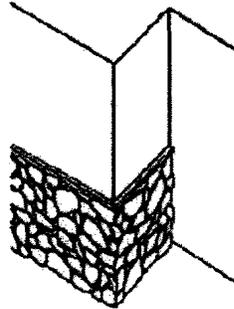
8. When appropriate to the architectural style of the building, a minimum of a 12-inch roof overhang should be provided.
 9. For multi-family buildings, higher tower elements or similar features are encouraged at focal points, such as plazas, major entrances, street intersections, or where walkways meet streets.
 10. Buildings constructed on corner lots should incorporate a well-defined architectural focal element addressing the corner. The corner element should complement existing corner elements on other buildings adjacent to the intersection, in size, scale and composition, and should be proportionate in size to the street intersection it addresses.
- C. Garage Design - Garage and carport structures should exhibit designs, which are compatible, supportive, and fully integrated into the overall architectural theme. Garage design should be implemented through the following provisions:
1. Fenestrated indoor living space or balcony space should be built over the garage;
 2. Strong shadow lines should be created around the garage face by recessing the door one foot behind the adjacent wall plane;
 3. For multiple car garages, no garage door should exceed nine feet (9') in width and intervening posts should be at least one foot in width;
 4. Long structures present difficulties in keeping proportions appropriate with the design intent with the main structures, and therefore, the garage/carport should be limited to 8-12 cars;
 5. Integrate substantial design elements (i.e. columns, beams, roof design) into carport structures to convey a more permanent concept. Prefabricated metal carports are prohibited.
- D. Entries and Windows
1. Entries - Main entries should be given prominent treatment, by incorporating the following elements:
 - a. Front entries should be clearly identified using porches, stoops or canopied outdoor areas;
 - b. Front door surround treatment, including a cover for weather protection, utilizing decorative trim appropriate to the style, a recess, or sidelights;
 - c. A decoratively-paved walkway leading to the sidewalk;
 - d. A decorative, shaded porch light appropriate to the architectural style.
 2. Windows -The following window guidelines should be followed:
 - a. Windows should either be inset or framed to create a more substantial appearance. All windows should have trim or other treatments consistent with the style or architecture of the building.
 - b. Windows should be arranged to avoid direct views into the windows of neighboring units.
 - c. Windows should be designed to open vertically or swinging. Horizontal sliding windows should be avoided.
 - d. Windows should not be placed in the path of vehicle headlights.
 - e. Interior window coverings shall be



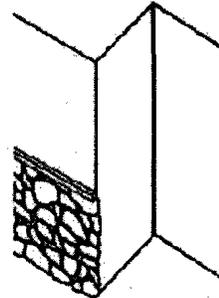
included on all bedroom and bathroom windows, as well as those windows, which are within the view of a public right-of-way. Acceptable types of window coverings include drapes, blinds, and shades. Window coverings shall match throughout the development.

E. Architectural Trim and Finish Materials - The following elements are common to all multi-family development and should be incorporated into the design of the house/unit, unless the style dictates otherwise:

1. A base treatment (wainscot) shall be in proportion to the scale of the building, at least four feet in height and incorporate at least a one-inch projection from the wall surface above. The base treatment should be of a darker color and/or material than the wall surface above, as appropriate to the style, and should incorporate a cap course or capping element.
2. Gable/attic/chimney vents should incorporate an integrated, decorative design appropriate to the style.
3. Chimneys should be sided with natural stone, masonry or stucco, as is visually appropriate to their function.
4. Pitched roofs should be tiled as appropriate to the architectural style of the house.
5. Rain gutters and downspouts should be inconspicuously located (not visible from the public right-of-way), and painted to match the building color.
6. Architectural details and trim, including siding, should be carried onto all sides of the dwelling. Rear units should not be afforded significantly less architectural detail than front units.
7. The wall and trim colors should be appropriate to the architectural style of the units, as described above.
8. All finish materials should be of high quality. Faux materials are not encouraged, but are permissible if a high quality imitation is selected, especially if using faux stone or brick.
9. In all cases, outside corner material changes are not permitted. Additionally, foam may not be used for trim or details except on upper stories.



Preferred



Discouraged

Material Changes

F. Additions and Accessory Buildings - Additions should be constructed as an integral part of the structure to which they are attached. Detached garages and/or carports for all multi-family development should reflect the architectural style of the primary building to which they relate by incorporating the following guidelines:

1. The existing siding should be carried onto the addition or building.
2. The windows should be of the same style as the main house, including opening mechanisms and trim.
3. The existing roofline should be carried onto the addition. Shed-roof additions are not permitted, unless integral to the style of the house. For detached structures, the roof style should be the same as that of the main building.
4. Overall proportion should be maintained.
5. Integrate substantial design elements (i.e. columns, beams, roof design) into carport structures to convey a more permanent concept.
6. Prefabricated metal carports are not permitted.

- G. Exterior Lighting - Lighting should be provided by a combination of porch lights, bollards and/or a ground-level decorative landscape and path lighting system. Proportionately sized light standards are acceptable for large area lighting in larger projects. Where flood lighting is deemed essential, lighting should be provided by shaded fixtures, which are complementary to the architectural style of the units (typical shoebox light fixtures are prohibited). "Wal-pac" style, high intensity security lights produce unnecessary light pollution in the form of glare and are not acceptable.

A-06-001 AMENDMENTS – REVISED 11/8/06

Title 17 Amendments

Chapter 17.100 **Enforcement-Penalty-Remedies**

17.100.040(f) Additional remedies – Certificate of compliance. *Change*

~~(f) The certificate of compliance proceedings shall be subject to a public hearing process pursuant to Chapter 17.108 of this code.~~

(f) A certificate of compliance shall be subject to review and approval by the City Engineer or his designee in accord with the State's Subdivision Map Act.

Title 18 Amendments

Chapter 18.04 **Definitions**

18.04.175 Building, subordinate. *Addition*

"Subordinate building" means a structure that is either a maximum of four hundred (400) square feet in floor area or forty (40) percent of the square footage of the main building; whichever is greater.

18.04.310 Dwelling, multiple. *Change*

"Multiple dwelling" means a building containing two or more dwelling units, or a hotel or motel in which twenty percent or more of the rental units contain a kitchen or kitchenette.

"Multiple dwelling" means a building containing two or more dwelling units, or a hotel or motel in which twenty percent or more of the rental units contain a kitchen or kitchenette. All multiple dwellings shall conform to the adopted Planning Commission Design Guidelines.

18.04.350 Garage, private.

Change

"Private garage" means an accessory building or an accessory portion of the main building designed and/or used for the shelter or storage of vehicles of the occupants of the main building.

"Private garage" means a fully enclosed accessory building or a fully enclosed accessory portion of the main building designed and/or used for the shelter or storage of vehicles of the occupants of the main building.

18.04.900 Yard.

Change

"Yard" means a space on the same lot with a building or structure which is open and unobstructed, except as otherwise provided in this title, from the ground upward. Neither landscaping nor ordinary outdoor furnishings shall be deemed to obstruct a yard, nor shall any underground structure or part of an underground structure which extends less than eighteen inches above the ground level.

"Yard" means a space on the same lot with a building or structure which is open and unobstructed, including parked vehicles, except as otherwise provided in this title, from the ground upward. Neither landscaping nor ordinary outdoor furnishings shall be deemed to obstruct a yard, nor shall any underground structure or part of an underground structure which extends less than eighteen inches above the ground level.

Chapter 18.06
Interpretation, Construction and Enforcement

18.06.080 Enforcement

Change

"The provisions of this title shall be interpreted by the city attorney.

Any building or structure erected or maintained, or any use of property, contrary to the provisions of this title is, and the same is declared to be, unlawful and a public nuisance and the city attorney shall immediately commence actions and proceedings for the abatement, removal and enjoinder thereof, in the manner provided by law; and shall take such other steps, and shall apply to any court as may have jurisdiction to grant such reliefs as will abate or remove such building, structure or use and restrain and enjoin any person, firm or corporation from erecting or maintaining such building or structure, or using any property contrary to the provisions of this title."

"The provisions of this title shall be interpreted by the City.

Any building or structure erected or maintained, or any use of property, contrary to the provisions of this title is, and the same is declared to be, unlawful and a public nuisance and the City shall immediately commence actions and proceedings for the abatement, removal and enjoinder thereof, in the manner provided by law; and shall take such other steps, and shall apply to any court as may have jurisdiction to grant such reliefs as will abate or remove such building, structure or use and restrain and enjoin any person, firm or corporation from erecting or maintaining such building or structure, or using any property contrary to the provisions of this title."

Chapter 18.13
Residential Districts

18.13.020 Minimum dwelling unit areas.

Change

Every dwelling unit constructed in a residential district shall contain the following minimum square footage of living area:

Bachelor apartments	500 square feet
One and two bedroom apartments in complex	600 square feet
Single-family dwelling	800 square feet

Every dwelling unit constructed in a residential district shall contain the following minimum square footage of living area:

<i>Studio apartments</i>	<i>500 square feet</i>
<i>One bedroom apartments</i>	<i>600 square feet</i>
<i>Two bedroom apartments</i>	<i>800 square feet</i>
<i>Single-family dwelling</i>	<i>1200 square feet</i>

18.13.050 Design Guidelines.

Addition

All multi-family dwellings shall conform to the adopted Planning Commission Design Guidelines.

Chapter 18.16
R-1 Single-Family Residential District

18.16.020 Permitted uses.

Change

"The following principal uses are permitted in the R-1 district:

- (1) One single-family dwelling on a lot;
- (2) ~~One single-manufactured home on a lot installed pursuant to the provisions contained in Section 18.58.120 of this title;~~
- (3) Garden, orchard and field crop. "

"The following principal uses are permitted in the R-1 district:

- (1) One single-family dwelling on a lot;*
- (2) Garden, orchard and field crop.*

18.16.040 Accessory Uses.

Addition

(2) Recreational vehicles can be stored on any lot provided: (a) the required off-street parking areas are not utilized and access thereto is not obstructed; and (b) said recreational vehicles must be under the same ownership as either the owner of the residential lot or the tenant. These regulations shall not restrict the storage of a recreational vehicle on a residential lot in compliance with previous regulations. Recreational vehicles under ownership by an individual or individuals other than the residents of the subject property may be stored on any lot in compliance with subsection (2)(a) so long as a permit is obtained from the Victorville planning department and a fee of five dollars is paid to cover administrative costs. Said recreational vehicle shall not be stored more than twenty-one consecutive days per quarter annually. No quarterly twenty-one-day periods, or portions thereof, shall run consecutively;

(2) Recreational vehicles can be stored on any lot provided: (a) the required off-street parking areas are not utilized and access thereto is not obstructed; (b) said recreational vehicles must be under the same ownership as either the owner of the residential lot or the tenant; and (c) no parking occurs within the area located between the front and/or side property line and the primary plane of the building abutting any street; unless in a designated driveway that does not exceed the width of the garage. These regulations shall not restrict the storage of a recreational vehicle on a residential lot in compliance with previous regulations. Recreational vehicles under ownership by an individual or individuals other than the residents of the subject property may be stored on any lot in compliance with subsection (2)(a) so long as a permit is obtained from the Victorville planning department and a fee of five dollars is paid to cover administrative costs. Said recreational vehicle shall not be stored more than twenty-one consecutive days per quarter annually. No quarterly twenty-one-day periods, or portions thereof, shall run consecutively;

18.16.060 Yards.

Change

"The minimum required yards in an R-1 district shall be as follows:

- (1) Depth of front yard, subject to the exceptions set forth in Section 18.64.040, twenty feet;
- (2) Depth of rear yard, twenty feet;
- ~~(3) Width of side yard along the street lot line of a corner lot, subject to the exceptions set forth in Section 18.64.040, ten feet;~~
- ~~(4) Width of side yard along the interior side lot line, five feet."~~

"The minimum required yards in an R-1 district shall be as follows:

- (1) Depth of front yard, subject to the exceptions set forth in Section 18.64.040, twenty feet;*
- (2) Depth of rear yard, twenty feet;*
- (3) Width of side yards shall be five and ten feet, with a minimum of fifteen feet between dwelling units;*
- (4) Width of side yard along the street lot line of a corner lot, subject to the exceptions set forth in Section 18.64.040, ten feet.*

18.16.100 Off-street parking.

Change

Off-street parking spaces shall be provided pursuant to Chapter 18.60. Two spaces are required for each dwelling unit and shall be within a fully enclosed garage or carport. ~~When carports are constructed in lieu of garages, a minimum of one hundred fifty cubic feet of storage space shall be provided therein.~~ The minimum dimensions for a garage or carport shall be eighteen feet by twenty feet. Each required garage or carport shall be served by a driveway from the property line which abuts a road or access way to the structures. Where the required off-street parking spaces are provided within an accessory building, a driveway to serve the off-street parking shall be a minimum of twenty feet in length from the garage structure to the property line. The minimum driveway width to a two-car garage or carport shall be sixteen feet. However, when determined by the director of planning, a nine-foot driveway may be permitted (excepting within twenty feet of the garage or carport) and/or no improved driveway shall be required if it is deemed by the director of planning impractical and unreasonable because of special circumstances applicable to the subject property. The special circumstances shall include, but not be limited to, the size and shape of the subject property. All parking spaces and areas, access driveways and maneuvering areas required and as shown on any approved plans shall be graded for adequate drainage and surfaced with portland cement with a minimum of four inches thickness or asphalt concrete over an approved base, as approved by the city engineer.

Off-street parking spaces shall be provided pursuant to Chapter 18.60. Two spaces are required for each dwelling unit and shall be within a fully enclosed garage. The minimum interior dimensions for a garage shall be eighteen feet by twenty feet. Each required garage shall be served by a driveway from the property line which abuts a road or access way to the structures. Where the required off-street parking spaces are provided within an accessory building, a driveway to serve the off-street parking shall be a minimum of twenty feet in length from the garage structure to the property line. The minimum driveway width to a two-car garage shall be sixteen feet. However, when determined by the Director of Development, a nine-foot driveway may be permitted (excepting within twenty feet of the garage or carport) and/or no improved driveway shall be required if it is deemed by the director of planning impractical and unreasonable because of special circumstances applicable to the subject property. The special circumstances shall include, but not be limited to, the size and shape of the subject property. Parking of any vehicle shall be prohibited the area located between the front and/or side property line and the primary plane of the building abutting any street; unless in a designated driveway that does not exceed the width of the garage. All parking spaces and areas, access driveways and maneuvering areas required and as shown on any approved plans shall be graded for adequate drainage and surfaced with portland cement with a minimum of four inches thickness or asphalt concrete over an approved base, as approved by the city engineer.

18.16.120 Landscaping.

Addition

All landscaping shall be in accord with Section 13.60.060 of this Code. All required front yard areas shall have a minimum of fifty (50) percent landscaping free of paved parking and driveway areas. Any areas used for pedestrian access or other landscape features utilizing paved areas shall be permitted at the discretion of the Director of Development or his designee.

Chapter 18.18
R-2 Medium-Density Residential District

18.18.072 Design Guidelines.

Addition

All multi-family dwellings shall conform to the adopted Planning Commission Design Guidelines.

Chapter 18.20
R-3 High-Density Residential District

18.20.072 Design Guidelines.

Addition

All multi-family dwellings shall conform to the adopted Planning Commission Design Guidelines.

Chapter 18.22
R-4 Very-High-Density Multiple Residential District

18.22.072 Design Guidelines.

Addition

All multi-family dwellings shall conform to the adopted Planning Commission Design Guidelines.

Chapter 18.28
C-1 Neighborhood Retail District

18.28.065 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.30
C-2 General Commercial District

18.30.010 Intent.

Change

The primary purpose of this district is to provide suitable locations and lands for various commercial activities, primarily of a ~~non-retail-store~~ nature, and for various types of service, ~~storage~~ and heavy commercial activities. The general commercial district is consistent with the commercial land use designation of the general plan. This district accommodates most commercial activities that are neighborhood, community, and regional in scale.

The primary purpose of this district is to provide suitable locations and lands for various commercial activities, primarily of a retail nature, and for various types of service, office, and commercial activities. The general commercial district is consistent with the commercial land use designation of the general plan. This district accommodates most commercial activities that are neighborhood, community, and regional in scale.

18.30.030 Conditional Uses

Change

(9) Automobile service stations, and similar fuel dispensing facilities, provided that any repairing ~~or washing~~ of the vehicle is conducted wholly within an enclosed building. Service stations shall be entitled to the following for outdoor display: four portable tire display racks. They are to be no larger than seven feet six inches high by five feet wide by six feet long. They are to be black in color and constructed of metal. They shall be displayed during business hours only. Also to be allowed are a combination of wiper cabinet and oil rack, no more than one per island, per station. If any other outdoor display of merchandise is to take place, it shall be limited to only mechanical parts and supplies related to the operation of a vehicle and shall be approved by the planning department for periods not to exceed thirty days;

(9) Automobile service stations, and similar fuel dispensing facilities, provided that any repairing of the vehicle is conducted wholly within an enclosed building. An accessory car wash is permitted in conjunction with a fuel dispensing facility, provided the process is fully automated with all washing and drying conducted fully within an enclosed building and any vacuums are located outside of all required setbacks and are oriented so as not to be visible from any public right-of-way. Service stations shall be entitled to the following for outdoor display: four portable tire display racks. They are to be no larger than seven feet six inches high by five feet wide by six feet long. They are to be black in color and constructed of metal. They shall be displayed during business hours only. Also to be allowed are a combination of wiper cabinet and oil rack, no more than one per island, per station. If any other outdoor display of merchandise is to take place, it shall be limited to only mechanical parts and supplies related to the operation of a vehicle and shall be approved by the planning department for periods not to exceed thirty days;

(20) Full-service car wash;

Addition

*Existing Conditional Uses 20-36 shall be renumbered to 21-37 to reflect this addition.

18.30.040 Special Regulations.

Addition

(6) Accessory uses shall not exceed a total of ten (10) percent of the total floor area of the principal use occupying the building. All accessory uses shall be permitted per Sections 18.30.020 and 18.30.030 of this Code.

18.30.090 Building height.

Addition

No building in a C-2 district shall have a height in excess of forty-five feet, unless otherwise approved by the Planning Commission.

18.30.095 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.34
C-4 Highway and Service Commercial District

18.34.030 Conditional Uses

Change

(6) Car wash;

(6) Full-service car wash;

18.34.065

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.36
C-A Administrative Professional Offices District

18.36.020 Permitted uses.

Change

The following principal uses are permitted in the C-A district:

- (1) Any and all uses in this zone district providing drive-thru service shall be approved by the director of planning, excepting those adjacent to residential zones;
- (2) Audio and/or video recording and production studio;
- (3) Office or office building for the conduct of business, professional or administrative services;
- (4) Bank, loan agency;
- (5) Blueprinting and/or photostating;
- ~~(6) Library, exhibit hall, art gallery;~~
- ~~(7) Locksmith;~~
- ~~(8) Clinic;~~
- ~~(9) Medical or dental laboratory;~~
- ~~(10) Medical equipment, wedding, and/or other small item rental and/or supply business;~~
- ~~(11) Packaging, facsimile and/or mail service;~~
- ~~(12) Pharmacy, limited to the sale of drugs and medical supplies;~~
- ~~(13) Photography studio;~~
- ~~(14) Shoe repair;~~
- ~~(15) Tailor and/or seamstress;~~
- ~~(16) Telephone answering service;~~
- ~~(17) Travel agency;~~
- ~~(18) Other uses similar to the above, if approved by the planning commission.~~

The following principal uses are permitted in the C-A district:

- (1) Any and all uses in this zone district providing drive-thru service shall be approved by the director of planning, excepting those adjacent to residential zones;*
- (2) Audio and/or video recording and production studio;*
- (3) Office or office building for the conduct of business, professional or administrative services;*
- (4) Bank, loan agency;*
- (5) Blueprinting and/or photostating;*
- (6) Library, exhibit hall, art gallery;*
- (7) Hospital, including accessory uses such as nursing homes;*
- (8) Locksmith;*
- (9) Clinic;*
- (10) Medical or dental laboratory;*
- (11) Medical equipment, wedding, and/or other small item rental and/or supply business;*
- (12) Packaging, facsimile and/or mail service;*
- (13) Pharmacy, limited to the sale of drugs and medical supplies;*

- (14) Photography studio;*
- (15) Shoe repair;*
- (16) Tailor and/or seamstress;*
- (17) Telephone answering service;*
- (18) Travel agency;*
- (19) Other uses similar to the above, if approved by the planning commission.*

18.36.060 Building height.

Change

~~"No building in a C-A district shall have a height in excess of sixty-five feet, nor be in excess of six stories nor in excess of thirty-five feet within fifty feet of an R-1, R-2 or R-3 district."~~

No building in a C-A district shall have a height in excess of forty-five feet, unless otherwise approved by the Planning Commission.

18.36.065 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.39
C-M Commercial Manufacturing District

18.39.085 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.41
I.P.D. Industrial Park District

18.41.020 Permitted Uses

Change

(1)(B) Manufacturing, compounding, assembly, packaging or treatment of articles or merchandise from the following previously prepared materials:

(1)(B) Manufacturing, compounding, assembly, packaging and treatment of merchandise and materials including:

Addition

(2) Other Services:

~~(A) Parcel delivery terminal;~~

~~(B) Research office and laboratory; and~~

~~(C) Warehousing, storage and/or wholesaling (retailing to the general public not to exceed twenty percent of gross yearly sales.).~~

(2) Other Services:

(A) Glass sales, installation and repair;

(B) Parcel delivery terminal;

(C) Research office and laboratory; and

(D) Warehousing, storage and/or wholesaling (retailing to the general public not to exceed twenty percent of gross yearly sales.).

18.41.030 Conditional Uses

Change

(6) Retail uses as follows:

~~(A) Blueprinting and photocopying,~~

~~(C) Dance school/studio;~~

~~(D) Glass sales, installation and repair, including glass tinting,~~

(6) Retail uses as follows:

*(A) Blueprinting, *Existing Conditional Uses D –H shall also be updated to read as D – F*

18.41.075 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.42
M-1 Light Industrial District

18.42.075 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.44
M-2 Heavy Industrial District

18.44.075 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.48
P-C Public and Civic District

18.48.065 Roofing Materials

Addition

Asphalt roof shingles are prohibited on all new construction.

Chapter 18.52
P.P. Precise Plan District

18.52 Precise Plan District – Eliminate entire Chapter.

Change

Chapter 18.58
General Regulations

18.58.030 Building height limitations-Exceptions.

Change

The height limitations of this title shall not apply to such features as antennas, chimneys or church spires. All antennas which project in excess of ten feet above any building height shall be subject to a conditional use permit pursuant to Chapter 18.74, with the exception of FM, UHF and VHF antennas which receive commercial radio or television broadcasts. Flag poles are permitted in any zone district as an accessory use. Said poles shall not exceed a height of twenty feet in residential zone districts, and fifty feet in all other zone districts. Further, only one flag pole shall be allowed on any property zoned for single-family residential use. No flag on said flag pole shall exceed the following size limitations:

Pole Height	Maximum Flag Size
Up to 22 ft.	3 ft. x 5 ft.
Over 22 ft. to 26 ft.	4 ft. x 6 ft.
Over 26 ft. to 50 ft.	6 ft. x 10 ft.

The height limitations of this title shall not apply to such features as chimneys or church spires. The height of attached church spires and other architectural features shall not exceed the height of the building plus an additional fifty (50) percent of the height of the building.

Antennas may project up to ten (10) feet above any building on-site. Antennas in excess of ten (10) feet above any building height shall be subject to a conditional use permit pursuant to Chapter 18.74.

Flag poles are permitted in any zone district as an accessory use. Flag poles on any property zoned for single-family use shall be limited to one (1) in number and shall be limited to a height of twenty (20) feet. The maximum flag size in any single-family residential district shall be 3 ft. x 5 ft. Flag poles within any zone other than single-family residential zones shall be limited to a height of fifty (50) feet and flags on said poles shall not exceed the following size limitations:

Pole Height	Maximum Flag Size
Up to 22 ft.	3 ft. x 5 ft.
Over 22 ft. to 26 ft.	4 ft. x 6 ft.
Over 26 ft. to 50 ft.	6 ft. x 10 ft.

18.58.070 Minor deviations-Actions by planning director.

Change

The ~~planning director~~ may approve minor deviations to the regulations as contained in this title and specified below. ~~There shall be a one hundred ten dollar filling fee for minor deviation applications.~~ The ~~planning director~~ shall find that the deviation requested results from a unique situation and will not be injurious or detrimental to the health, safety and welfare of the public. After notifying the applicant and owners of adjacent property of the final date that written protests or comments may be filed with the department of planning, the director shall consider and take action on such applications. The decision of the ~~planning director~~ shall be subject to appeal to the planning commission pursuant to Section 18.72.050. This procedure shall apply exclusively to cases where the deviation sought is limited to:

18.58.070 Minor deviations-Actions by Director of Development.

The Director of Development may approve minor deviations to the regulations as contained in this title and specified below. A one hundred ten dollar filling fee and submittal of certified public notice documents including two sets of mailing labels and a radius map shall be required for minor deviation applications. The Director of Development shall find that the deviation requested results from a unique situation and will not be injurious or detrimental to the health, safety and welfare of the public. After notifying the applicant and owners of adjacent property of the final date that written protests or comments may be filed with the department of planning, the director shall consider and take action on such applications. The decision of the Director of Development shall be subject to appeal to the planning commission pursuant to Section 18.72.050. This procedure shall apply exclusively to cases where the deviation sought is limited to:

18.58.130 Trash/recycling material enclosures.

(2) General Requirements.

(A) Every new development project shall provide trash/recycling material enclosures in conformance with ~~Exhibit B~~ necessary to serve the development project. All trash and/or recycling material receptacles shall be continuously contained within enclosures.

(B) Any existing development project not currently containing trash/recyclable material enclosures for which either: (i) an application for a building permit is submitted for a single alteration; (ii) an application for a building permit is submitted for multiple alterations; or (iii) multiple applications for building permits are submitted for multiple alterations, and require prior review and approval by the planning commission pursuant to Chapters 18.71 or 18.74, entitled "Site Plan" and "Conditional Uses," respectively, may be required to provide adequate, accessible, and convenient area(s) for collecting and loading trash/recyclable materials in conformance with ~~Exhibit B~~ necessary to serve the development project. However, in no event shall alteration(s) that add thirty percent or more to the existing floor area in a twelve-month period be allowed without providing enclosure(s).

(2) *General Requirements.*

(A) *Every new development project shall provide trash/recycling material enclosures in conformance with Exhibit A, B, C, or D necessary to serve the development project. All trash and/or recycling material receptacles shall be continuously contained within enclosures.*

(B) *Any existing development project not currently containing trash/recyclable material enclosures for which either: (i) an application for a building permit is submitted for a single alteration; (ii) an application for a building permit is submitted for multiple alterations; or (iii) multiple applications for building permits are submitted for multiple alterations, and require prior review and approval by the planning commission pursuant to Chapters 18.71 or 18.74, entitled "Site Plan" and "Conditional Uses," respectively, may be required to provide adequate, accessible, and convenient area(s) for collecting and loading trash/recyclable materials in conformance with Exhibit A, B, C, or D necessary to serve the development project. However, in no event shall alteration(s) that add thirty percent or more to the existing floor area in a twelve-month period be allowed without providing enclosure(s).*

18.58.170 Schools.

Change

Parochial, private, public or charter schools, the attendance at which satisfies the requirements of the compulsory education laws of the state, shall be subject to the following regulations:

(1) The initial establishment of ~~a) a parochial, private or public school in any "AE-Exclusive agricultural district," "A-Agricultural-residential district," "SR-Suburban residential district," "R-1-Single-family residential district," "R-2-Medium-density residential district," "R-3-High-density residential district," "R-4-Very-high-density residential district," and "P-C-Public and civic district" zone districts; or b) a charter school in any "C-2-General commercial district" and "C-A-Administrative professional offices district"~~ shall be allowed if approved by the planning commission pursuant to Chapter 18.74, entitled "Conditional Uses."

~~(2) Any physical expansion of, or modification to any existing parochial, private or public school which results in noncompliance with any standards of this title or standards approved by the planning commission under the initial conditional use permit shall be allowed if approved by the planning commission pursuant to Chapter 18.74, entitled "Conditional Uses." Any physical expansion of, or modification to an existing parochial, private or public school which complies with development standards of this title shall not require conditional use permit approval. Said expansion or modification shall be reviewed to insure compliance with this title.~~

~~(3) Any physical expansion of, or modification to an existing charter school shall be allowed if approved by the planning commission pursuant to Chapter 18.74, entitled "Conditional Uses."~~

Parochial, private, public or charter schools, the attendance at which satisfies the requirements of the compulsory education laws of the state, shall be subject to the following regulations:

(1) The initial establishment of any school in any "AE-Exclusive agricultural district," "A-Agricultural-residential district," "SR-Suburban residential district," "R-1-Single-family residential district," "R-2-Medium-density residential district," "R-3-High-density residential district," "R-4-Very-high-density residential district," and "P-C-Public and civic district" zone districts shall be allowed if approved by the planning commission pursuant to Chapter 18.74, entitled "Conditional Uses."

(2) Any physical expansion of, or modification to an existing school shall be allowed if approved by the planning commission pursuant to Chapter 18.74, entitled "Conditional Uses."

Chapter 18.60
Off-Street Parking

18.60.090 Parking space requirement-Residential.

Change

The number of off-street parking spaces required shall not be less than that set forth in this section.

(1) Single-Family Residential Dwellings.

~~(a) There shall not be less than two covered parking spaces provided either as a garage or carport for every dwelling unit. When carports are constructed in lieu of required garages, a minimum of one hundred fifty cubic feet of storage space shall be provided therein.~~

(b) In every residential mobile home planned development district, two off-street parking spaces which may be in tandem shall be provided for each dwelling unit, shall be within a garage, carport or covered by an awning.

(2) Multiple-Family Residential Dwellings.

(a) There shall be a minimum parking space ratio of two spaces per dwelling unit, one-half of which shall be in a garage or carport. All off-street parking should be developed in close proximity to the units which parking is to serve, so as to reduce the need to park on public rights-of-way. Where carports are constructed in lieu of required garages, a minimum of one hundred fifty cubic feet of storage space shall be provided therein or other areas as approved by the director of planning.

(b) Individually owned dwelling units, such as within condominiums, cooperatives or town house multiple-family residential projects, shall have a minimum of one covered parking space for one bedroom dwelling units and two covered parking spaces for two or more bedroom dwelling units. In addition, all such residential projects shall provide one uncovered parking space for each two dwelling units.

(c) Each mobile home space in a mobile home park shall have two adjoining parking spaces which may be in tandem, and additional guest parking shall be provided on the basis of one space for each five dwelling units.

~~(d) A maximum of twenty five percent of the total number of required off-street parking spaces other than covered residential spaces may be provided at compact car stall standards of minimum dimensions as set forth in subsection (a)(3) of Section 18.60.120.~~

(e) A parking facility may provide for motorcycle parking provided the proposed use meets the motorcycle standards as set forth in subsection (a)(3) of Section 18.60.120.

The number of off-street parking spaces required shall not be less than that set forth in this section.

(1) Single-Family Residential Dwellings.

(a) A minimum of a two-car private garage shall be provided for every dwelling unit.

(b) In every residential mobile home planned development district, two off-street parking spaces which may be in tandem shall be provided for each dwelling unit, shall be within a garage, carport or covered by an awning.

(2) Multiple-Family Residential Dwellings.

(a) There shall be a minimum parking space ratio of two spaces per dwelling unit, one-half of which shall be in a garage or carport. All off-street parking should be

developed in close proximity to the units which parking is to serve, so as to reduce the need to park on public rights-of-way. Where carports are constructed in lieu of required garages, a minimum of one hundred fifty cubic feet of storage space shall be provided therein or other areas as approved by the director of planning.

(b) Individually owned dwelling units, such as within condominiums, cooperatives or town house multiple-family residential projects, shall have a minimum of one covered parking space for one bedroom dwelling units and two covered parking spaces for two or more bedroom dwelling units. In addition, all such residential projects shall provide one uncovered parking space for each two dwelling units.

(c) Each mobile home space in a mobile home park shall have two adjoining parking spaces which may be in tandem, and additional guest parking shall be provided on the basis of one space for each five dwelling units.

(d) Compact car parking spaces shall not be included when calculating required off-street parking. Compact car parking spaces are permitted only in excess of required off-street parking. Compact car parking shall be located at the periphery of the site and shall meet the compact car standards set forth in subsection (a)(3) of Section 18.60.020.

(e) A parking facility may provide for motorcycle parking provided the proposed use meets the motorcycle standards as set forth in subsection (a)(3) of Section 18.60.120.

18.60.090 Parking space requirement – Commercial Uses

Change

Retail establishments, markets, and businesses not otherwise enumerated in this section, such as drug stores, department stores, animal hospitals, and dance studios: One space for each two hundred square feet of floor area, ~~up to six thousand square feet for each individual user, plus one space for each additional three hundred square feet of floor area beyond six thousand square feet for each individual user,~~ exclusive of area used for air conditioning and other utility equipment.

Retail establishments, markets, and businesses not otherwise enumerated in this section, such as drug stores, department stores, animal hospitals, and dance studios: One space for each two hundred square feet of floor area, exclusive of area used for air conditioning and other utility equipment.

Addition

Multi-tenant commercial centers over 5 acres in gross area: four (4) spaces per 1,000 square feet of total floor area. Other uses within these developments may require additional spaces at the discretion of the Planning Commission. Freestanding restaurants, including fast food, within said centers shall comply with restaurant parking requirements.

18.60.120 Parking facility development standards.

Change

(a) Size of parking facilities shall be as follows:

(3) The size of parking spaces and aisle width for all nonresidential uses shall conform to the minimum dimension and access requirements as outlined in Figures 18.60.120(1), (2) and (3). For driveways and/or drive aisles not directly within parking areas as shown in Figures 18.60.120(1), (2) and (3), two-way drive aisles shall be a minimum of twenty-five feet in width and one-way drive aisles shall be a minimum of twelve feet in width. ~~A maximum of ten percent of the total number of off-street parking spaces required may be provided at compact car standards as shown in Figure 18.60.120(2).~~ Aisle width for compact cars shall be the standard aisle widths as outlined in Figure 18.60.120(1). In those instances where a compact car stall is immediately adjacent to a standard car stall, the compact car stall shall be nine feet in width. All compact car spaces shall be designed, located and clearly labeled on the required parking spaces plan. Each compact car stall shall have a stencil reading "COMPACT CAR ONLY," with a required height of eight inches, placed at its entrance. Every compact car stall shall be clearly pinstriped to conform with the requirements of Figure 18.60.120(2).

(a) Size of parking facilities shall be as follows:

(3) *The size of parking spaces and aisle width for all nonresidential uses shall conform to the minimum dimension and access requirements as outlined in Figures 18.60.120(1), (2) and (3). For driveways and/or drive aisles not directly within parking areas as shown in Figures 18.60.120(1), (2) and (3), two-way drive aisles shall be a minimum of twenty-five feet in width and one-way drive aisles shall be a minimum of twelve feet in width. Compact car parking spaces shall not be included when calculating required off-street parking. Compact car parking spaces are permitted only in excess of required off-street parking. Compact car parking shall be located at the peripheral of the site and shall meet the compact car standards set forth in subsection (a)(3) of Section 18.60.020. Aisle width for compact cars shall be the standard aisle widths as outlined in Figure 18.60.120(1). In those instances where a compact car stall is immediately adjacent to a standard car stall, the compact car stall shall be nine feet in width. All compact car spaces shall be designed, located and clearly labeled on the required parking spaces plan. Each compact car stall shall have a stencil reading "COMPACT CAR ONLY," with a required height of eight inches, placed at its entrance. Every compact car stall shall be clearly pinstriped to conform with the requirements of Figure 18.60.120(2).*

(b) Location of parking facilities shall be as follows:

Addition

(4) No off-street parking stall shall be located within twenty (20) feet of the intersection of a public right-of-way and a drive approach when said drive approach is used as direct access to said off-street parking stall, as measured from the property line.
(5) All required parking shall be located in close proximity to the buildings main entrance.

18.60.140 Landscaping requirements.

Change

(c) Landscaping requirements for parking areas are as follows:

(1) All nonresidential lots which abut a dedicated street shall have a planter strip along the entire property abutting the dedicated street, excluding all driveway approaches. The planter strip shall be a minimum of three feet in width.

(c) Landscaping requirements for parking areas are as follows:

(1) All nonresidential lots which abut a dedicated street shall have a planter strip along the entire property abutting the dedicated street, excluding all driveway approaches. The planter strip shall have a minimum interior width of five feet.

Chapter 18.62
Signs

18.62.010 Definitions.

Change

(18) "Painted Sign" means a permanent sign which is painted on any office, wall, window, fence or structure of any kind, for which a building permit is not required.

(18) "Painted Sign" means a permanent sign which is painted on any exterior surface or structure of any kind.

18.62.030 General standards and requirements.

Change

~~Except as otherwise provided in this chapter, it is unlawful for any person to erect, alter the structure of or relocate any sign as defined in Section 18.62.010 without first obtaining a sign permit or building permit if required. Repainting of a sign or the changing of advertising copy thereon shall not be considered as alteration which requires a permit unless a structural change is made and/or square footage is increase.~~

(1) Except as otherwise provided in this chapter, it is unlawful for any person to erect, alter, or relocate any sign as defined in Section 18.62.010 without first obtaining a sign permit or building permit if required.

(2) Any sign that does not use the English alphabet as the primary script shall include an English alphabet translation on the sign of equal size.

18.62.070 Permanent signs.

Change

(f) Billboards or Outdoor Advertising. Displays or structures shall be governed by the following general regulations:

- (1) The construction of new, the relocation or expansion of existing billboards or outdoor advertising structures is prohibited citywide.
- (2) Each existing outdoor advertising structure or billboard shall bear an identification tag or stamp which clearly indicates ownership of such structure.
- (3) Structural development shall be prohibited on parcels in which a billboard or outdoor advertising structure exists.
- ~~(4) No subdivision of land can occur to a parcel on which a billboard or outdoor advertising structure exists.~~

(f) Billboards or Outdoor Advertising. Displays or structures shall be governed by the following general regulations:

- (1) The construction of new, the relocation or expansion of existing billboards or outdoor advertising structures is prohibited citywide.*
- (2) Each existing outdoor advertising structure or billboard shall bear an identification tag or stamp which clearly indicates ownership of such structure.*
- (3) Structural development shall be prohibited on parcels in which a billboard or outdoor advertising structure exists.*

18.62.110 Prohibited Signs.

Addition

(5) Painted Signs. Existing painted signs shall not be altered, repainted or otherwise modified.

Chapter 18.64
Yards, Fences, Walls and Hedges

18.64.080 Fences, walls and hedges-Measurement of height.

Change

~~The height of a fence, wall or hedge shall be measured from the lowest finished level of the ground abutting it. Where a fence, wall or hedge lies directly above a retaining wall or above, parallel with and within four feet of such a wall, the permitted height of a fence shall not exceed the maximum height limitations of this title, but in no case shall it be less than three and one-half feet. The height of such fence, wall or hedge shall be measured from that portion of the retaining wall which is retaining fill as shown in Exhibit B, immediately following this Section 18.64.080.~~

The height of a fence, wall or hedge shall be measured from the lowest finished level of the ground abutting it. No walls or combination of walls, fences, and/or hedges shall exceed a height of eight (8) feet without utilizing a step design per Exhibit B directly following this section.

18.64.090 Fences, walls and hedges – Subdivisions.

Addition

Rear and side masonry walls are required with the concurrent construction of two or more units by the same developer.

Chapter 18.68
Accessory Uses and Buildings

18.68.020 Uses subject to planning director approval.

Change

(7) Model home complexes in any R-1, single-family residential district, the ~~planning director~~ shall have the ability to approve a model home complex which complies with the following standards:

~~(D) Model complexes with four or more models must provide drought tolerant landscaping on one of the models~~

(7) Model home complexes in any R-1, single-family residential district, the Director of Development shall have the ability to approve a model home complex which complies with the following standards:

(D) All model home complexes shall provide landscaping in accord with Section 13.60.060 of this Code;

Addition

(F) All new homes shall provide the same landscape palette as that approved for the model home complex. The landscaping shall include identical hardscape as well as plant types, count and size as used on the model home yard.

Current item F shall become item G with the above noted change.

Chapter 18.71
Site Plan

18.71.050 Site plan review criteria.

Addition

(7) That any proposed multi-family development is in accord with the adopted Planning Commission Design Guidelines.

Current items 7 & 8 shall be renumbered to read as 8 & 9.

Chapter 18.74
Conditional Uses

18.74.040 Conditional use permit review criteria.

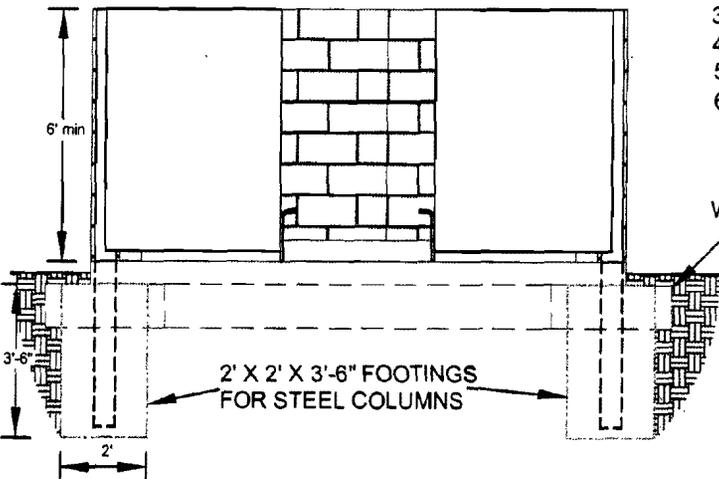
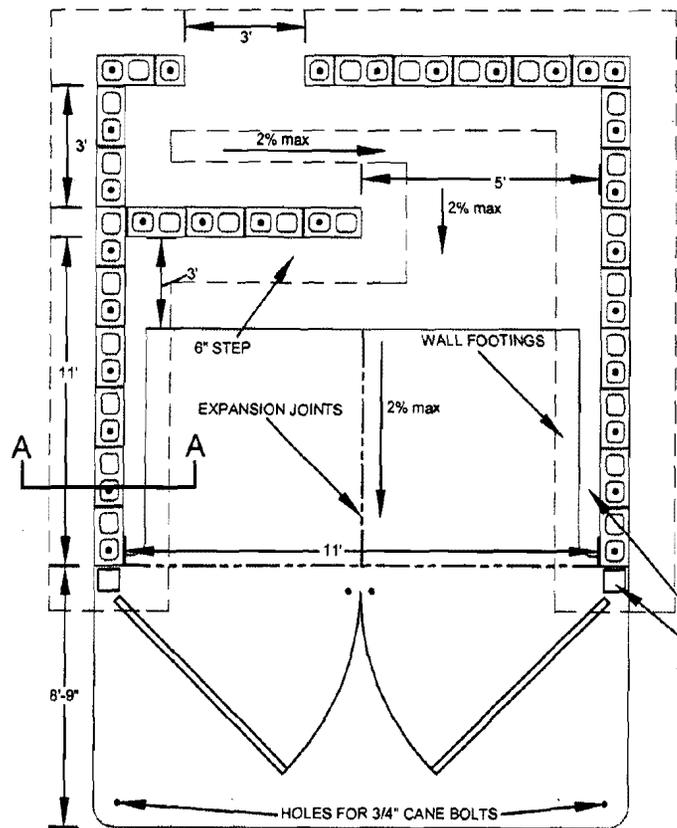
Addition

(12) That any proposed multi-family development is in accord with the adopted Planning Commission Design Guidelines.

Current items 12 - 14 shall be renumbered to read as 13 – 15.

**Trash Enclosure
Exhibit A**

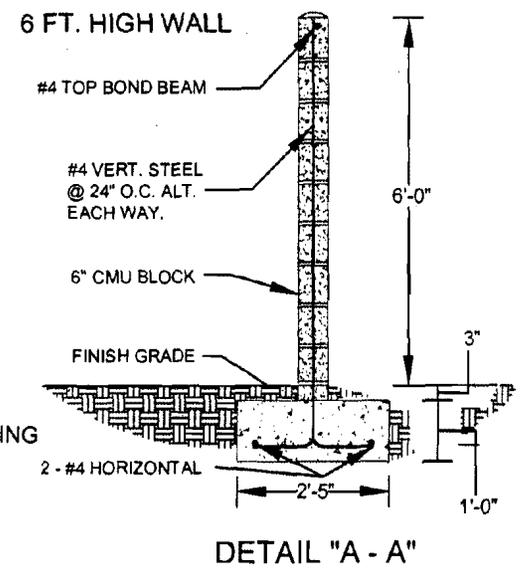




- 1) WALLS ARE TO BE OF DECORATIVE BLOCK, MASONRY, OR SIMILAR MATERIALS CONSISTANT WITH THE ARCHITECTURE, COLOR, AND ACCENT MATERIALS OF THE PRIMARY BUILDING
- 2) GATES ARE TO BE SOLID METAL CONSTRUCTION
- 3) SWIVEL POINTS ON DOORS SHALL BE LOCATED OUTSIDE OF THE OPENING AREA OF THE ENCLOSURE
- 4) SWIVEL POINTS SHALL BE ATTACHED TO CONCRETE FILLED STEEL POSTS/COLUMNS AT ENDS OF WALLS
- 5) ENCLOSURE SHALL BE ON A LEVEL PAD AT GROUND LEVEL. THE AREA BETWEEN THE PAD AND THE PICK UP AREA SHALL BE A PAVED AREA 4" DEEP FOR THE WIDTH OF THE ENCLOSURE AND SHALL NOT EXCEED A GRADE OF 2%

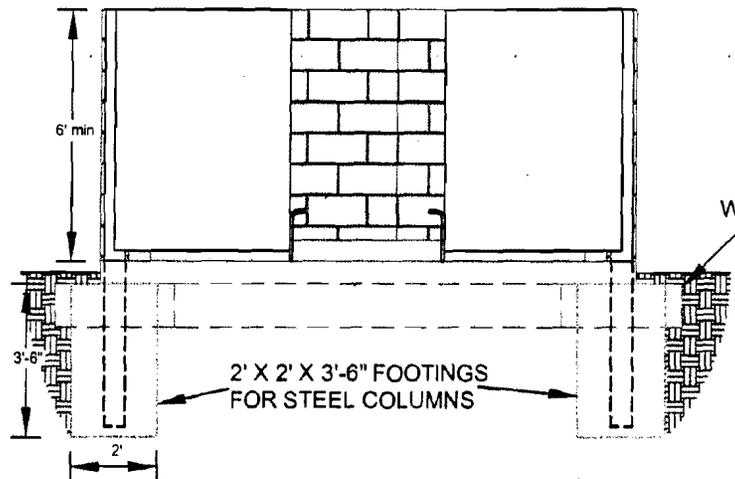
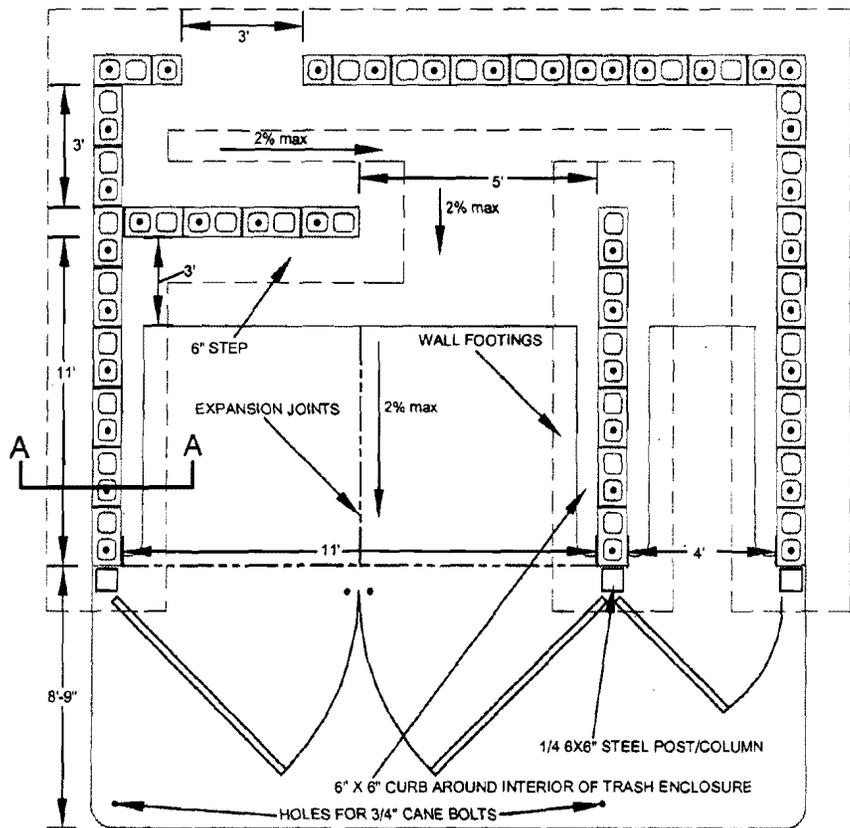
6" X 6" CURB AROUND INTERIOR OF TRASH ENCLOSURE
1/4 6X6" STEEL POST/COLUMN

- WALL NOTES:**
- 1) 6" MIN. CMU BLOCK
 - 2) ALL REBAR TO BE #4 MIN.
 - 3) LAP ALL REBAR MIN. 20"
 - 4) MIN. 3" FROM REBAR TO EARTH
 - 5) GROUT ALL CELLS CONTAINING REBAR
 - 6) 3" COVER OF EARTH FROM TOP OF FOOTING



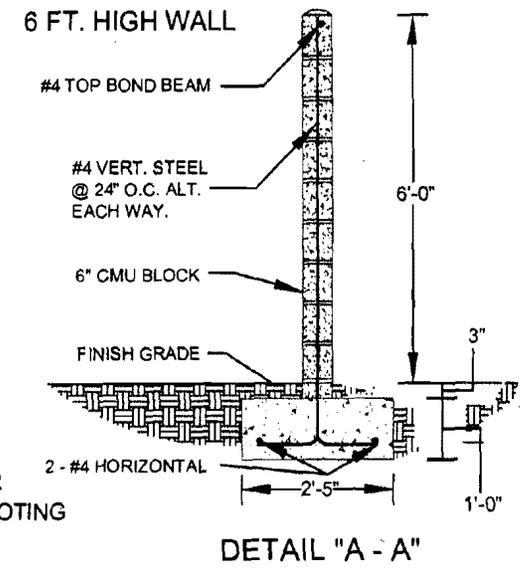
	Development Department Building Division	
	TRASH ENCLOSURE STANDARD DETAILS	
14343 Civic Drive Victorville, CA 92393	(760) 955-5100 Fax (760) 245-0073	10/31/06

**Trash Enclosure
Exhibit B**



- WALL NOTES:**
- 1) 6" MIN. CMU BLOCK
 - 2) ALL REBAR TO BE #4 MIN.
 - 3) LAP ALL REBAR MIN. 20"
 - 4) MIN. 3" FROM REBAR TO EARTH
 - 5) GROUT ALL CELLS CONTAINING REBAR
 - 6) 3" COVER OF EARTH FROM TOP OF FOOTING
- WALL FOOTINGS**

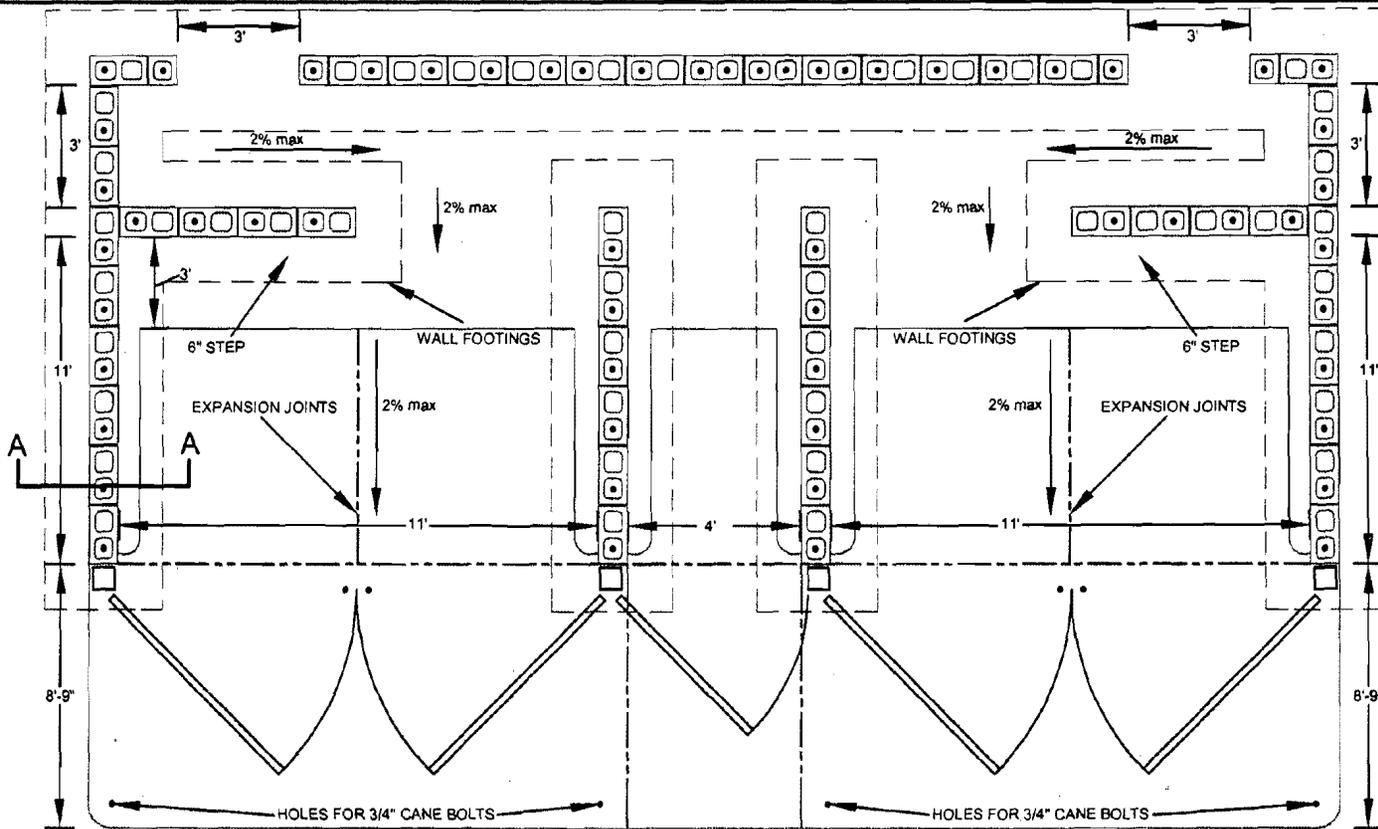
- 1) WALLS ARE TO BE OF DECORATIVE BLOCK, MASONRY, OR SIMILAR MATERIALS CONSISTANT WITH THE ARCHITECTURE, COLOR, AND ACCENT MATERIALS OF THE PRIMARY BUILDING
- 2) GATES ARE TO BE SOLID METAL CONSTRUCTION
- 3) SWIVEL POINTS ON DOORS SHALL BE LOCATED OUTSIDE OF THE OPENING AREA OF THE ENCLOSURE
- 4) SWIVEL POINTS SHALL BE ATTACHED TO CONCRETE FILLED STEEL POSTS/COLUMNS AT ENDS OF WALLS
- 5) ENCLOSURE SHALL BE ON A LEVEL PAD AT GROUND LEVEL. THE AREA BETWEEN THE PAD AND THE PICK UP AREA SHALL BE A PAVED AREA 4" DEEP FOR THE WIDTH OF THE ENCLOSURE AND SHALL NOT EXCEED A GRADE OF 2%



Development Department Building Division		
TRASH ENCLOSURE WITH GREASE BARREL STANDARD DETAILS		
14343 Civic Drive Victorville, CA 92393	(760) 955-5100 Fax (760) 245-0073	10/31/06

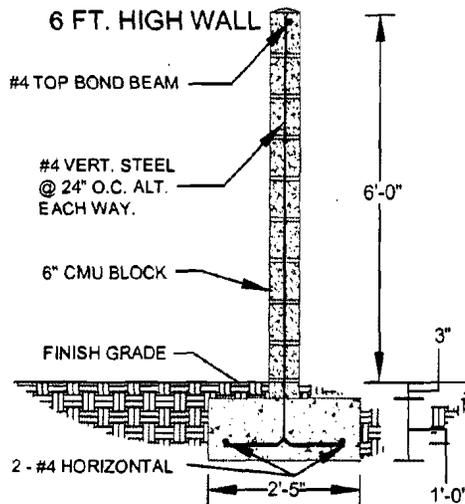
**Trash Enclosure
Exhibit C**

**Trash Enclosure
Exhibit D**



DETAIL "A - A"

- WALL NOTES:**
- 1) 6" MIN. CMU BLOCK
 - 2) ALL REBAR TO BE #4 MIN.
 - 3) LAP ALL REBAR MIN. 20"
 - 4) MIN. 3" FROM REBAR TO EARTH
 - 5) GROUT ALL CELLS CONTAINING REBAR
 - 6) 3" COVER OF EARTH FROM TOP OF FOOTING



- 1) WALLS ARE TO BE OF DECORATIVE BLOCK, MASONRY, OR SIMILAR MATERIALS CONSISTANT WITH THE ARCHITECTURE, COLOR, AND ACCENT MATERIALS OF THE PRIMARY BUILDING
- 2) GATES ARE TO BE SOLID METAL CONSTRUCTION
- 3) SWIVEL POINTS ON DOORS SHALL BE LOCATED OUTSIDE OF THE OPENING AREA OF THE ENCLOSURE
- 4) SWIVEL POINTS SHALL BE ATTACHED TO CONCRETE FILLED STEEL POSTS/COLUMNS AT ENDS OF WALLS
- 5) ENCLOSURE SHALL BE ON A LEVEL PAD AT GROUND LEVEL. THE AREA BETWEEN THE PAD AND THE PICK UP AREA SHALL BE A PAVED AREA 4" DEEP FOR THE WIDTH OF THE ENCLOSURE AND SHALL NOT EXCEED A GRADE OF 2%



Development Department
Building Division

TRASH ENCLOSURE
WITH GREASE BARREL
STANDARD DETAILS

14343 Civic Drive
Victorville, CA 92393

(760) 955-5100
Fax (760) 245-0073

10/31/06

**Wall Height
Exhibit B**

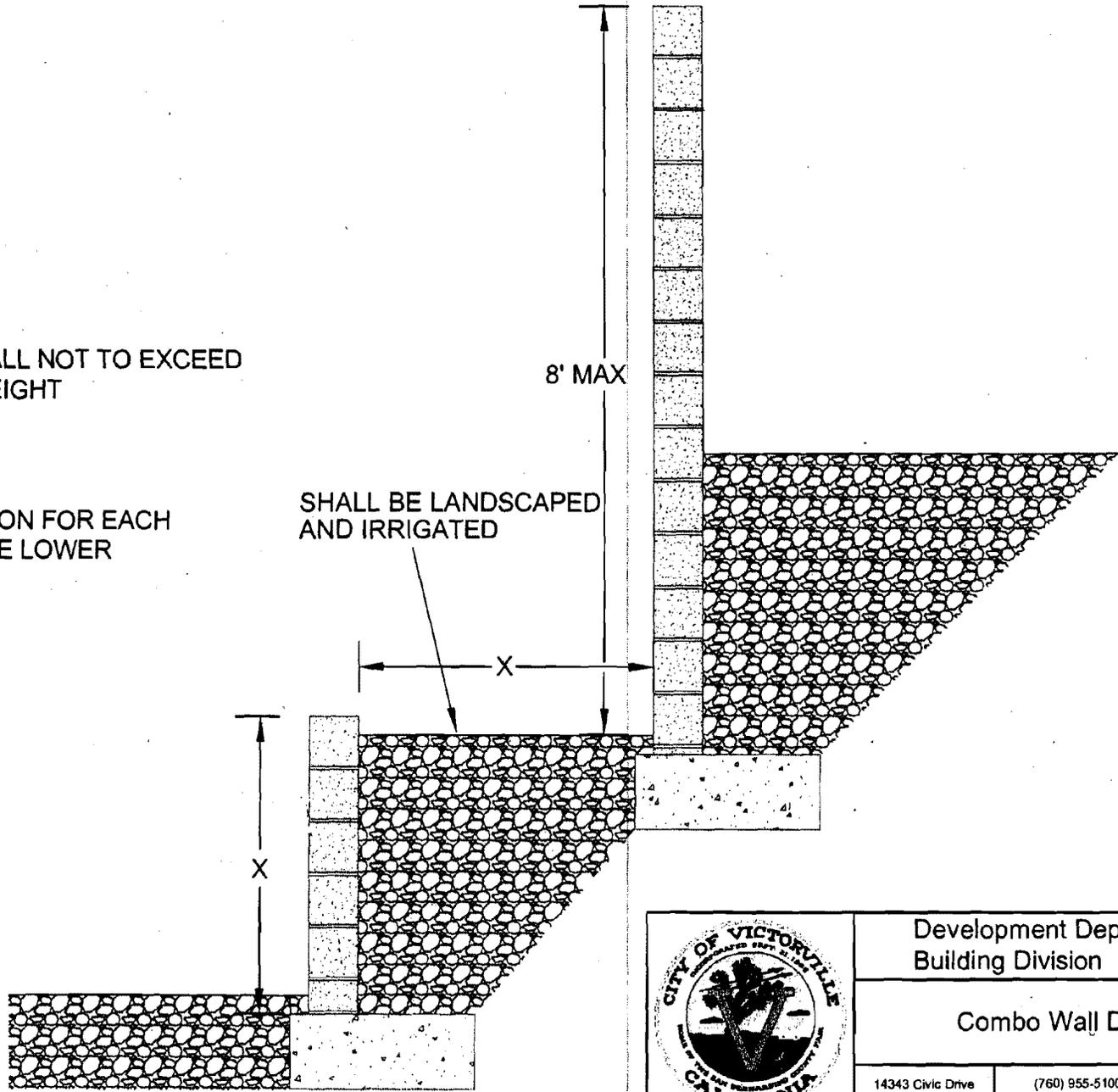


*UPPER COMBO WALL NOT TO EXCEED
10' IN COMBINED HEIGHT

X = 1' OF SEPARATION FOR EACH
1' IN HEIGHT ON THE LOWER
RETAINING WALL

SHALL BE LANDSCAPED
AND IRRIGATED

8' MAX



Development Department
Building Division

Combo Wall Detail

14343 Civic Drive
Victorville, CA 92383

(760) 955-5100
Fax (760) 245-0073

09/06/08

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AGENDA ITEM

CITY COUNCIL MEETING OF: December 19, 2006

SUBMITTED BY: Adair M. Patterson *AP* **DATE:** December 6, 2006
Director of Finance

SUBJECT: **COMMERCIAL DEMAND SCHEDULE**

RECOMMENDATION: That the Honorable City Council approve Commercial Demand Schedule No. 10 in the amount of \$14,841,794.88 covering Warrant Nos. 581059, 580713, 581048, 581350, 581399, 581555, 581686 and 581094 through 582076 inclusive.

FISCAL IMPACT: Total amount of warrants: \$14,841,794.88

Budget Amount: \$14,841,794.88
Budget Account No. Various

---Finance Dept. Use Only---
Additional Appropriation:

No

Yes/\$Amount:
Finance Director Review &
Approval *AP*

DISCUSSION: I hereby certify that the claims or demands covered by the attached list of warrants have been audited as to the accuracy and availability of funds for payment thereof and that said claims or demands are accurate and the funds are available for payment thereof.

Adair Patterson

DIRECTOR OF FINANCE

AP/ts
c:\jiles\amm\demand.com

Attachment - Commercial Demand Schedule



Report ID: VVPOS2-SUM.rpt

Commercial Demand

<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>	<u>Payment Status</u>	<u>Payment Amount</u>
581059	11/8/2006	0000003626 Hunter, Robert C.	V	-77.24
581094	11/15/2006	0000000025 AA Equipment Rental Co.	P	18,829.32
581095	11/15/2006	0000016636 Abel, Anna Theresa	P	11.69
581096	11/15/2006	0000007343 Abrego, Tamala S	P	115.00
581097	11/15/2006	0000000051 Accent Fence Co.	P	102.70
581098	11/15/2006	0000016660 Adiele, George	P	71.32
581099	11/15/2006	0000000090 Agrono-Tec Seed Co.	P	1,680.17
581100	11/15/2006	0000006716 Airgas West	P	30.10
581101	11/15/2006	0000016658 Alegria, Jesus	P	16.97
581102	11/15/2006	0000016681 Alfaro, Ruth	P	10.61
581103	11/15/2006	0000010777 All American Golf	P	147.51
581104	11/15/2006	0000015398 All Cities Fence & Construction	P	10,492.97
581105	11/15/2006	0000000121 Altec Industries, Inc.	P	389.03
581106	11/15/2006	0000016633 Ameduri, Juliette	P	283.84
581107	11/15/2006	0000016575 American Radio Relay League	P	169.49
581108	11/15/2006	0000013354 American Rotary Broom Co.	P	1,769.50
581109	11/15/2006	0000000033 A.M. Player	P	304.18
581110	11/15/2006	0000014687 Anderson, Casey	P	33.96
581111	11/15/2006	0000016705 Angulo, Luis	P	40.32
581112	11/15/2006	0000002668 Animal Hospital at the Narrows, Inc.	P	396.00
581113	11/15/2006	0000008507 Animal Medical Center	P	405.00
581114	11/15/2006	0000000191 Applied Industrial Tech	P	129.69
581115	11/15/2006	0000016433 Aqua Serve Engineers, Inc.	P	495.00
581116	11/15/2006	0000016721 Ardeaga, Joel	P	59.19
581117	11/15/2006	0000000206 Arrowhead Mountain Spring Water	P	847.78
581118	11/15/2006	0000016666 Asuzano, Ana/Alfredo	P	36.08
581119	11/15/2006	0000016359 AT Systems Security Inc.	P	1,750.75
581120	11/15/2006	0000009599 Aufbau	P	13,104.00
581121	11/15/2006	0000016634 Azanza, James	P	21.19
581122	11/15/2006	0000016682 Bannister, Ed	P	40.32
581123	11/15/2006	0000016715 Bauer, John/Marjorie	P	88.07
581124	11/15/2006	0000000287 Beaman Bros. Plumbing & Heating	P	245.00
581125	11/15/2006	0000000294 Bear Valley Rentals	P	298.50
581126	11/15/2006	0000000293 Beaumont Yamaha/Kawasaki	P	93.70
581127	11/15/2006	0000000297 Beck Oil, Inc.	P	420.89
581128	11/15/2006	0000016175 Benz Construction	P	505.43
581129	11/15/2006	0000000311 Best Access Systems/	P	694.00
581130	11/15/2006	0000005200 Bird-X, Inc.	P	99.00
581131	11/15/2006	0000016226 Bluewater Energy Solutions, Inc.	P	149,122.61
581132	11/15/2006	0000016647 Boone, Jason	P	100.24
581133	11/15/2006	0000008250 Tera Bottorff	P	115.70
581134	11/15/2006	0000016702 Brokaw, John	P	44.84
581135	11/15/2006	0000016709 Burns, Robert/Sandra	P	7.42
581136	11/15/2006	0000015834 Burton's Fire Inc.	P	297.89
581137	11/15/2006	0000000781 State of California Board of	P	337.37
581138	11/15/2006	0000000792 State of California Franchise Tax Board	P	153.00
581139	11/15/2006	0000010630 California Overnight	P	79.49
581140	11/15/2006	0000014820 Cal-State Auto Parts	P	752.68
581141	11/15/2006	0000016183 Capture Technologies	P	3,588.00
581142	11/15/2006	0000016708 Carbonelli, Nelda E.	P	43.48
581143	11/15/2006	0000016555 Caronna, Carrie	P	36.08
581144	11/15/2006	0000003007 Carpet Club	P	10,511.00
581145	11/15/2006	0000010937 Carrey, Michelle	P	53.17



<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>	<u>Payment Status</u>	<u>Payment Amount</u>
581146	11/15/2006	0000016614 Carvajal, Oscar/Gloria	P	36.08
581147	11/15/2006	0000016625 Castillo, Lilia/Maynard	P	20.14
581148	11/15/2006	0000000618 CDW Government, Inc.	P	4,351.51
581149	11/15/2006	0000000548 Charles Joseph Associates	P	4,614.73
581150	11/15/2006	0000016673 Charles, Philmar	P	30.75
581151	11/15/2006	0000012938 Cingular Wireless	P	145.43
581152	11/15/2006	0000015472 Cintas	P	144.85
581153	11/15/2006	0000013163 Citizens Business Bank	P	35,690.11
581154	11/15/2006	0000016689 Clark, Chris	P	7.42
581155	11/15/2006	0000011450 Clary Corporation	P	280.77
581156	11/15/2006	0000011870 Collarini, Charles	P	72.16
581157	11/15/2006	0000009672 Colton Truck Supply	P	33.55
581158	11/15/2006	0000000615 Commercial Landscape Supply, Inc.	P	340.13
581159	11/15/2006	0000000612 Compair Southern California	P	1,586.12
581160	11/15/2006	0000000632 Consolidated Electrical Distributors,	P	634.45
581161	11/15/2006	0000016611 Contreras, Raymond	P	7.42
581162	11/15/2006	0000015849 Cook Paging	P	42.91
581163	11/15/2006	0000016639 Corns, James/Ruth	P	12.73
581164	11/15/2006	0000000303 Costco	P	2,318.50
581165	11/15/2006	0000000662 The Counseling Team International	P	8,600.00
581166	11/15/2006	0000016717 Crawford, Robert/Betty	P	14.85
581167	11/15/2006	0000003901 Creative Benefits, Inc.	P	2,611.50
581168	11/15/2006	0000015961 Cross Match Technologies, Inc.	P	74.79
581169	11/15/2006	0000016649 Cueva, Martin	P	11.67
581170	11/15/2006	0000016649 Cueva, Martin	P	6.36
581171	11/15/2006	0000016649 Cueva, Martin	P	11.67
581172	11/15/2006	0000000712 Daily Press	P	1,248.26
581173	11/15/2006	0000010363 Dashhugger	P	29.04
581174	11/15/2006	0000000743 Dell Marketing L.P.	P	47,942.54
581175	11/15/2006	0000002765 Del Rey Chemical Co.	P	475.78
581176	11/15/2006	0000002854 Department Issue	P	815.24
581177	11/15/2006	0000012505 Desert Environmental Services, Inc.	P	418.00
581178	11/15/2006	0000000761 Desert Stationers	P	615.19
581179	11/15/2006	0000000764 Desert Truck Supply	P	174.68
581180	11/15/2006	0000008893 DGA Consultants, Inc.	P	90,322.20
581181	11/15/2006	0000002977 Theresa M. Dickover	P	197.00
581182	11/15/2006	0000013382 Direct TV	P	84.96
581183	11/15/2006	0000016679 Dith, Randy	P	88.29
581184	11/15/2006	0000016712 Donovan, Julia	P	18.70
581185	11/15/2006	0000016643 Easterday, Michael	P	93.36
581186	11/15/2006	0000007289 EDFUND	P	262.66
581187	11/15/2006	0000016627 Elfgen, Samuel/Mildred	P	45.91
581188	11/15/2006	0000000867 Emergency Medical Products, Inc.	P	2,056.35
581189	11/15/2006	0000016470 Emergency Power Control Inc.	P	2,500.00
581190	11/15/2006	0000016646 Encarnacion, Teresita	P	15.91
581191	11/15/2006	0000000875 Endura Steel, Inc.	P	155.10
581192	11/15/2006	0000016619 Erikson, Danielle	P	44.57
581193	11/15/2006	0000016540 Estrada, Edgar/Luz	P	14.85
581194	11/15/2006	0000016675 Estrada, Jose	P	7.42
581195	11/15/2006	0000016645 E-Z 8 Motel, Inc.	P	217.93
581196	11/15/2006	0000015318 Farwest Corrosion Control Co.	P	112.93
581197	11/15/2006	0000000952 Fisher Scientific	P	45,131.42
581198	11/15/2006	0000009437 Fore-Par	P	482.68
581199	11/15/2006	0000016664 Franco, Reynaldo/Maria	P	47.75



Report ID: VVPOS2-SUM.rpt

Commercial Demand

Check No.	Date	Vendor	Payment Status	Payment Amount
581200	11/15/2006	0000000975 Franklin Truck Parts, Inc.	P	1,029.96
581201	11/15/2006	0000016398 Gainer-Rustin, Gail	P	93.41
581202	11/15/2006	0000001015 Gall's Inc.	P	635.62
581203	11/15/2006	0000001740 G.A. Osborne Pipe-Supply	P	1,343.36
581204	11/15/2006	0000016686 Garcia, Ramon	P	20.17
581205	11/15/2006	0000013114 Gastelum, Jesus	P	14.85
581206	11/15/2006	0000016703 Gildner, Eldred/Bette	P	15.20
581207	11/15/2006	0000016734 Glendale Printing Center	P	53.95
581208	11/15/2006	0000001047 Global Tour Golf, Inc.	P	112.57
581209	11/15/2006	0000010738 Golf Scorecards, Inc.	P	1,105.00
581210	11/15/2006	0000011689 Golf Ventures West	P	94,430.00
581211	11/15/2006	0000016676 Gonzalez, Joaquin/Aurora	P	18.07
581212	11/15/2006	0000001943 Goodspeed Distributing, Inc.	P	31,128.52
581213	11/15/2006	0000001063 Goodyear Service Store	P	428.65
581214	11/15/2006	0000001074 Graham Equipment	P	673.44
581215	11/15/2006	0000001076 Grainger, Inc.	P	433.65
581216	11/15/2006	0000016654 Graves, Shannon	P	85.47
581217	11/15/2006	0000006956 GreenField Compression, Inc.	P	293.51
581218	11/15/2006	0000016623 Greenfield, Terri	P	26.51
581219	11/15/2006	0000002968 The Grumpy Golfer	P	531.20
581220	11/15/2006	0000016629 Guerrero, Ralph	P	12.73
581221	11/15/2006	0000001100 H & E Home Builders	P	5,044.03
581222	11/15/2006	0000001104 Haaker Equipment Co.	P	2,283.47
581223	11/15/2006	0000016665 Haider, Junaid	P	66.42
581224	11/15/2006	0000016617 Hall, Joyce	P	118.84
581225	11/15/2006	0000016683 Hamilton, Kim	P	36.08
581226	11/15/2006	0000016696 Handlon, James	P	72.16
581227	11/15/2006	0000016697 Hankerson, Ron	P	16.46
581228	11/15/2006	0000001123 Harbor Freight Tools	P	37.09
581229	11/15/2006	0000016701 Harrah, Audrey	P	33.65
581230	11/15/2006	0000016652 Hatlavongsa, Sa	P	36.08
581231	11/15/2006	0000016700 Hayes, William	P	47.46
581232	11/15/2006	0000001155 Hesperia Hose Supply	P	259.70
581233	11/15/2006	0000001184 High Desert Laser Graphics	P	686.58
581234	11/15/2006	0000001193 High Desert Lock & Safe	P	514.51
581235	11/15/2006	0000002687 High Desert Stamp & Engraving	P	14.00
581236	11/15/2006	0000001194 Hightech Signs	P	21.38
581237	11/15/2006	0000016711 Hill, Ifeona	P	20.14
581238	11/15/2006	0000001179 Hi-Tech Emergency Vehicle Serv	P	650.46
581239	11/15/2006	0000001207 Hi-Way Safety, Inc.	P	780.26
581240	11/15/2006	0000001218 Home Depot, Inc.	P	1,237.27
581241	11/15/2006	0000001229 Howards Muffler Service, Inc.	P	319.37
581242	11/15/2006	0000016615 Hughes, Yvonne	P	14.62
581243	11/15/2006	0000016688 Hunter, Robert	P	36.08
581244	11/15/2006	0000015311 Ice Energy, Inc.	P	2,465.35
581245	11/15/2006	0000008055 IKON Office Solutions, Inc.	P	1,776.80
581246	11/15/2006	0000008885 Inmark/Victor	P	300.91
581247	11/15/2006	0000009425 Instant Replay	P	705.06
581248	11/15/2006	0000016640 Jacobo, Maria	P	61.52
581249	11/15/2006	0000016699 Jang, Dong	P	5.30
581250	11/15/2006	0000001318 J & L Windshield Repair	P	167.00
581251	11/15/2006	0000001334 Jobs Available, Inc.	P	545.40
581252	11/15/2006	0000012411 Johnson Power Systems	P	96,732.57
581253	11/15/2006	0000016671 Jones, Stanley T. Trust	P	10.00



<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>	<u>Payment Status</u>	<u>Payment Amount</u>
581254	11/15/2006	0000016653 Junkin, Chad	P	36.08
581255	11/15/2006	0000001359 Kamper's Korner	P	179.66
581256	11/15/2006	0000016644 Kaskanian, Harout	P	41.38
581257	11/15/2006	0000016691 Kessell, Wendy	P	96.00
581258	11/15/2006	0000006517 Kettle Creek Corporation	P	653.02
581259	11/15/2006	0000015912 Key Turf Construction	P	224,919.00
581260	11/15/2006	0000006646 KFROG Stations	P	735.00
581261	11/15/2006	0000016662 Khoury, Joseph	P	47.75
581262	11/15/2006	0000016642 Kim, Bryan	P	36.08
581263	11/15/2006	0000016692 Knoth, Victor/Carole	P	20.43
581264	11/15/2006	0000005980 La Jolla Club Golf Company	P	166.78
581265	11/15/2006	0000001416 Lawson Products, Inc.	P	1,442.45
581266	11/15/2006	0000016720 Leiker, Randy	P	101.87
581267	11/15/2006	0000000696 L.N. Curtis & Sons	P	1,161.71
581268	11/15/2006	0000016608 Lopez, Celina	P	10.61
581269	11/15/2006	0000016706 Lopez, Tracy	P	304.47
581270	11/15/2006	0000010660 Loveland's Automotive Service	P	992.62
581271	11/15/2006	0000008208 Lowe's	P	836.39
581272	11/15/2006	0000011722 Lowe's	P	137.70
581273	11/15/2006	0000016612 Luevano, Ana	P	35.45
581274	11/15/2006	0000016655 Luntzel, James	P	14.85
581275	11/15/2006	0000001489 M&D Fire Equipment Company, Inc.	P	18.00
581276	11/15/2006	0000016677 Macias, Martha	P	55.58
581277	11/15/2006	0000016716 Magana, Juan	P	13.79
581278	11/15/2006	0000002716 MANPOWER	P	913.14
581279	11/15/2006	0000000361 Mark Brown & Associates, Inc.	P	75.00
581280	11/15/2006	0000016728 Martinez, Armando	P	25.00
581281	11/15/2006	0000005237 Matthew Bender & Co. Inc.	P	83.20
581282	11/15/2006	0000016684 McKee, Ray/Toysan	P	43.51
581283	11/15/2006	0000001548 McMaster-Carr Supply Co.	P	3,154.01
581284	11/15/2006	0000016648 Melendez, Maria	P	14.85
581285	11/15/2006	0000016218 Memtech, Inc.	P	7,300.93
581286	11/15/2006	0000016657 Mesa, Margaret	P	36.08
581287	11/15/2006	0000001562 Metrocall	P	171.38
581288	11/15/2006	0000001574 Midway TV & Appliance	P	5,688.34
581289	11/15/2006	0000016722 Miklos, Terry	P	72.16
581290	11/15/2006	0000011414 Milano Imaging Products	P	133.39
581291	11/15/2006	0000016690 Milaya, Valentina	P	23.34
581292	11/15/2006	0000001589 Mobile Storage Group-West	P	80.14
581293	11/15/2006	0000001598 Mojave Equipment Co., Inc.	P	2,365.00
581294	11/15/2006	0000001603 Mojave Water Agency	P	254,000.00
581295	11/15/2006	0000016659 Moore, Paul/Mary	P	8.56
581296	11/15/2006	0000016635 Morgan, John	P	17.16
581297	11/15/2006	0000015663 Mosesian, Andre	P	56.23
581298	11/15/2006	0000016742 Mozia, Helen	P	407.76
581299	11/15/2006	0000001628 Municipal Maintenance Equipment, Inc.	P	1,000.25
581300	11/15/2006	0000008713 MW Peltz & Associates	P	7,776.25
581301	11/15/2006	0000001637 Myers Tire Supply	P	28.33
581302	11/15/2006	0000001648 NAPA Auto Parts	P	57.22
581303	11/15/2006	0000011188 National Pen	P	106.36
581304	11/15/2006	0000009511 National Waterworks	P	428.45
581305	11/15/2006	0000016661 Navarro, Anell	P	128.01
581306	11/15/2006	0000016727 New Hill Services	P	299.00
581307	11/15/2006	0000004894 New Jersey Family Support Pmt	P	152.00



Report ID: VVPOS2-SUM.rpt

Commercial Demand

Check No.	Date	Vendor	Payment Status	Payment Amount	
581308	11/15/2006	0000008026	NFPA International	P	675.00
581309	11/15/2006	0000015380	Nguyen, John	P	20.14
581310	11/15/2006	0000016719	Niang, Babacar	P	36.08
581311	11/15/2006	0000013396	Noah's Ark Animal Hospital	P	40.00
581312	11/15/2006	0000014758	Nova Electric	P	113,996.21
581313	11/15/2006	0000001711	Office Depot	P	2,965.06
581314	11/15/2006	0000016638	Oh, Holly	P	8.49
581315	11/15/2006	0000005341	Oriental Trading Company, Inc.	P	186.60
581316	11/15/2006	0000012163	Orkin Pest Control	P	1,194.04
581317	11/15/2006	0000008878	Pacific Products & Services	P	8,727.75
581318	11/15/2006	0000016607	Patterson, Karen	P	70.16
581319	11/15/2006	0000001747	PC Mall	P	106.95
581320	11/15/2006	0000001810	Pep Boys	P	628.94
581321	11/15/2006	0000016667	Peraza, Fredy/Elizabeth	P	7.42
581322	11/15/2006	0000016687	Perez, Joanne	P	35.03
581323	11/15/2006	0000016668	Perez, Raquel	P	6.36
581324	11/15/2006	0000014248	Perkins, Daniel J.	P	33.96
581325	11/15/2006	0000002992	Public Entity Risk Management Authori	P	23,862.88
581326	11/15/2006	0000016618	Petersen, Christopher	P	92.98
581327	11/15/2006	0000016670	Petersen, Shannon	P	7.42
581328	11/15/2006	0000016718	Phillips, Stephen	P	52.82
581329	11/15/2006	0000016704	Pinnson, Fabiola	P	6.36
581330	11/15/2006	0000003033	Pitney Bowes	P	637.98
581331	11/15/2006	0000013613	Plus Vision Corp of America	P	1,883.77
581332	11/15/2006	0000016710	Pollack, Michael	P	20.14
581333	11/15/2006	0000016698	Powell, John	P	15.91
581334	11/15/2006	0000011380	Preferred Aerial & Crane Technology, I	P	1,400.00
581335	11/15/2006	0000011559	Premiumwear, Inc	P	1,820.91
581336	11/15/2006	0000013149	Project Partners	P	5,599.84
581337	11/15/2006	0000016723	Property Ventures	P	36.08
581338	11/15/2006	0000001886	Prudential Overall Supply	P	184.90
581339	11/15/2006	0000016244	PTL Electric, Inc.	P	7,535.00
581340	11/15/2006	0000016694	Puncer, David	P	36.08
581341	11/15/2006	0000014577	PureRite Drinking Water	P	7.00
581342	11/15/2006	0000004348	Quill Corporation	P	605.60
581343	11/15/2006	0000004834	Radio Shack	P	184.76
581344	11/15/2006	0000016707	Randle, Mary Ann	P	220.00
581345	11/15/2006	0000001916	R.D.O. Equipment Co.	P	567.14
581346	11/15/2006	0000016693	Ready, Mark	P	45.63
581347	11/15/2006	0000016674	Reed, Robert/Sandra	P	11.67
581348	11/15/2006	0000016630	Rendon, Shannon	P	19.07
581349	11/15/2006	0000016713	Renzo, George	P	8.90
581350	11/15/2006	0000016343	Reyez, Oscar	P	46.72
581351	11/15/2006	0000015853	Rhino Marking Systems, Inc.	P	1,019.31
581352	11/15/2006	0000016695	Rhue, James/Cherryl	P	23.34
581353	11/15/2006	0000016650	Richardson, Tory	P	22.26
581354	11/15/2006	0000016680	Rodallegs, Roman	P	88.38
581355	11/15/2006	0000016621	Rodriguez, Martin	P	119.16
581356	11/15/2006	0000016669	Rodriguez, Rosa	P	10.80
581357	11/15/2006	0000008504	Roe, James	P	29.70
581358	11/15/2006	0000001910	R & R Products	P	1,205.07
581359	11/15/2006	0000016663	Rugay, Janet	P	36.08
581360	11/15/2006	0000002019	Safelite Glass Corp.	P	1,100.37
581361	11/15/2006	0000002016	Safety-Kleen Corp.	P	163.30



<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>	<u>Payment Status</u>	<u>Payment Amount</u>
581362	11/15/2006	0000016641 Sanford, Raymond	P	9.55
581363	11/15/2006	0000016558 SBC Hydraulic	P	866.79
581364	11/15/2006	0000016616 Shaffer, Michael/Karen	P	20.00
581365	11/15/2006	0000016678 Shen, Yin	P	72.16
581366	11/15/2006	0000007829 Siemens	P	1,997.90
581367	11/15/2006	0000002155 Smart & Final	P	94.97
581368	11/15/2006	0000002188 Southern California Edison	P	81,723.70
581369	11/15/2006	0000002190 Southern California Emergency Service	P	160.00
581370	11/15/2006	0000007804 Software House International, Inc.	P	1,137.84
581371	11/15/2006	0000016613 Soleta, Expetation	P	15.91
581372	11/15/2006	0000016725 Solis, Carlos	P	209.28
581373	11/15/2006	0000008323 Spectrum Communications Cabling Ser	P	128.21
581374	11/15/2006	0000000256 Sport Supply Group, Inc.	P	309.24
581375	11/15/2006	0000016672 Stanford, Ira	P	50.93
581376	11/15/2006	0000002227 Staples Credit Plan	P	1,264.89
581377	11/15/2006	0000016245 State Disbursement Unit	P	159.50
581378	11/15/2006	0000016245 State Disbursement Unit	P	2.17
581379	11/15/2006	0000002238 Stater Bros. Markets	P	109.74
581380	11/15/2006	0000002236 State Water Resources Control Board	P	11,109.00
581381	11/15/2006	0000016622 Stephenson, Thomas	P	36.08
581382	11/15/2006	0000004812 Stericycle Inc.	P	69.62
581383	11/15/2006	0000016609 Stidham, Monica	P	21.19
581384	11/15/2006	0000016637 Stone, George/Gail	P	13.79
581385	11/15/2006	0000007039 Stoodly Industrial & Welding Supply, In	P	136.64
581386	11/15/2006	0000013169 Store Supply Warehouse, Inc.	P	27.40
581387	11/15/2006	0000009349 Student Supply	P	131.80
581388	11/15/2006	0000002269 Sunland Ford	P	296.92
581389	11/15/2006	0000016624 Sykes, Neely	P	36.08
581390	11/15/2006	0000014024 Tabor, Lee	P	44.57
581391	11/15/2006	0000002313 Target Specialty Products	P	571.80
581392	11/15/2006	0000005547 Taylorson, Carol M.	P	36.69
581393	11/15/2006	0000016656 Thavisab, Hatlavongsa	P	26.04
581394	11/15/2006	0000016732 Thomson Technology Power and Contr	P	416.00
581395	11/15/2006	0000002346 Titleist	P	2,453.18
581396	11/15/2006	0000013439 Tom Kirby Classic Enterprises	P	31.50
581397	11/15/2006	0000002357 Tops N' Barricades, Inc.	P	435.00
581398	11/15/2006	0000004246 Truesdail Laboratories, Inc.	P	40.50
581399	11/15/2006	0000016626 Trujillo, Megan	P	62.68
581400	11/15/2006	0000014613 UniFirst Corporation	P	253.33
581401	11/15/2006	0000002426 United Parcel Service	P	79.04
581402	11/15/2006	0000002430 United Way Desert Communities	P	45.00
581403	11/15/2006	0000002446 Vaisala	P	15,725.02
581404	11/15/2006	0000011197 Vasquez, Michael	P	7.42
581405	11/15/2006	0000014496 Vehicle Registration Collections	P	193.00
581406	11/15/2006	0000005697 Verizon	P	14,214.54
581407	11/15/2006	0000005739 Verizon Directories Corp.	P	174.10
581408	11/15/2006	0000015079 Verizon Wireless	P	280.75
581409	11/15/2006	0000008430 Vulcan Materials Company	P	833.39
581410	11/15/2006	0000008078 Victor Valley Animal Hospital	P	2,290.00
581411	11/15/2006	0000002502 Victorville Chamber of Commerce	P	33,332.95
581412	11/15/2006	0000013434 Victorville Glass Co., Inc.	P	91.30
581413	11/15/2006	0000016610 Victorville Nissan	P	86.62
581414	11/15/2006	0000002507 Victorville Professional Firefighters	P	2,490.28
581415	11/15/2006	0000002879 Victor Valley Transit Authority	P	2,260.00



Check No.	Date	Vendor	Payment Status	Payment Amount
581416	11/15/2006	0000012959 Victor Valley Veterinary Clinic	P	365.00
581417	11/15/2006	0000002499 Victor Valley Water District	P	8,192.53
581418	11/15/2006	0000002498 Victor Valley Wastewater Reclamation	P	4,854.16
581419	11/15/2006	0000016714 Wallace, Charles Keith	P	22.71
581420	11/15/2006	0000016628 Wallstead, Luke	P	18.02
581421	11/15/2006	0000002533 Wal-Mart Store #01-1588	P	49.96
581422	11/15/2006	0000011361 Walters Wholesale Electric Co.	P	331.19
581423	11/15/2006	0000002554 Waxie Sanitary Supply	P	728.23
581424	11/15/2006	0000016651 Weatheral, Robert/Patricia	P	40.32
581425	11/15/2006	0000002574 Western Farm Service, Inc.	P	1,458.94
581426	11/15/2006	0000002579 Western Outdoor Power Equipment Co.	P	967.92
581427	11/15/2006	0000002571 West Group Publishing Company	P	177.27
581428	11/15/2006	0000013050 Wilgarde, Wendy	P	25.25
581429	11/15/2006	0000016685 Williams, Alan J.	P	70.02
581430	11/15/2006	0000002604 Wilson Golf/Sporting Goods Co.	P	780.81
581431	11/15/2006	0000014636 Wingfoot Commercial Tire	P	63.49
581432	11/15/2006	0000002632 Xerox Corporation	P	429.17
581433	11/15/2006	0000002632 Xerox Corporation	P	1,766.15
581434	11/15/2006	0000016631 Yamat, Veronica	P	15.91
581435	11/15/2006	0000010163 Yeager Skanska Inc.	P	622,900.14
581436	11/15/2006	0000016632 Young, Jeff	P	50.93
581437	11/15/2006	0000016620 Zojaji, Ezzi	P	36.08
581438	11/15/2006	0000016740 2DAMAX Enterprises	P	50.00
581439	11/15/2006	0000016744 Active Dogs	P	705.94
581440	11/15/2006	0000016739 Amigable, Arsenio M.	P	25.00
581441	11/15/2006	0000000169 Antelope Valley Turf Supply	P	30,961.14
581442	11/15/2006	0000016743 Apple Store	P	1,406.46
581443	11/15/2006	0000012801 Arzola, Mary Ann	P	147.00
581444	11/15/2006	0000016733 Bed Bath & Beyond Store 1004	P	1,646.67
581445	11/15/2006	0000015805 Bennett-Jackson, Bonita	P	168.00
581446	11/15/2006	0000014621 Catholic Charities of San Bdn/Riversid	P	1,100.00
581447	11/15/2006	0000000662 The Counseling Team International	P	2,210.00
581448	11/15/2006	0000009784 Frontier Homes, LLC	P	100.00
581449	11/15/2006	0000016738 Gateway Concrete	P	25.00
581450	11/15/2006	0000012330 Guest Services	P	223.20
581451	11/15/2006	0000016729 Hackney, Larry	P	130.00
581452	11/15/2006	0000016063 Hamilton-Yates, Carla	P	64.00
581453	11/15/2006	0000016746 High Country Floors, Inc.	P	50.00
581454	11/15/2006	0000001201 Hi-Lo Desert GCSA	P	135.00
581455	11/15/2006	0000016724 IDEAS	P	790.00
581456	11/15/2006	0000015735 Jimenez, Alfonso	P	180.00
581457	11/15/2006	0000016741 Orange Tree Holdings, LLC	P	50.00
581458	11/15/2006	0000002429 Postmaster	P	158.16
581459	11/15/2006	0000002429 Postmaster	P	5,040.00
581460	11/15/2006	0000016737 Sanchez, Teresa	P	200.00
581461	11/15/2006	0000002037 San Bernardino County	P	16.00
581462	11/15/2006	0000002037 San Bernardino County	P	16.00
581463	11/15/2006	0000002037 San Bernardino County	P	16.00
581464	11/15/2006	0000016736 Scott, Kimberlie	P	200.00
581465	11/15/2006	0000000125 Shift Calendars	P	128.66
581466	11/15/2006	0000015450 Sierra, Ramon	P	120.00
581467	11/15/2006	0000012400 Sunset Builders	P	500.00
581468	11/15/2006	0000002277 Sunset Signs	P	50.00
581469	11/15/2006	0000016745 Things Remembered	P	150.85



Report ID: VVPOS2-SUM.rpt

City of Victorville Accounts Payable

Commercial Demand

Page No. 8
Run Date 15.Nov.2006
Run Time 10:56:59 AM

<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>		<u>Payment Status</u>	<u>Payment Amount</u>
581470	11/15/2006	0000014445	Velis, Giovanni Exavier	P	660.00
581471	11/15/2006	0000002783	Victor Valley Community Services Cou	P	60.50
581472	11/15/2006	0000002506	Victorville Firemen's Association	P	317.50
581473	11/15/2006	0000002504	City of Victorville Sanitation	P	1,097.61
581474	11/15/2006	0000016730	Young, Gerald	P	64.63
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Report ID: VVPOS2-SUM.rpt

Commercial Demand

<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>	<u>Payment Status</u>	<u>Payment Amount</u>
581475	11/22/2006	0000016731 1-800-Radiator	P	160.55
581476	11/22/2006	0000009185 3E Company	P	4,389.00
581477	11/22/2006	0000000006 A & L Builders Supply	P	541.97
581478	11/22/2006	0000000041 Absolute Backflow Control	P	622.71
581479	11/22/2006	0000010537 ACCO Engineered Systems	P	261,564.00
581480	11/22/2006	0000000060 City of Adelanto	P	165.95
581481	11/22/2006	0000005289 Adelanto Water and Sanitation	P	22,237.60
581482	11/22/2006	0000016354 AFN, Inc.	P	1,745.02
581483	11/22/2006	0000006716 Airgas West	P	53.32
581484	11/22/2006	0000000111 Allstar Fire Equipment	P	640.15
581485	11/22/2006	0000009539 Alta Planning + Design	P	21,609.00
581486	11/22/2006	0000013354 American Rotary Broom Co.	P	1,847.50
581487	11/22/2006	0000000033 A.M. Player	P	686.95
581488	11/22/2006	0000000158 AMTEK	P	265.00
581489	11/22/2006	0000000206 Arrowhead Mountain Spring Water	P	359.69
581490	11/22/2006	0000016178 Artist Touch Creations (ATC)	P	838.50
581491	11/22/2006	0000000223 Associated Soils Engineering	P	19,437.50
581492	11/22/2006	0000016359 AT Systems Security Inc.	P	8,534.39
581493	11/22/2006	0000000038 AT&T	P	19.66
581494	11/22/2006	0000000038 AT&T	P	23.70
581495	11/22/2006	0000000038 AT&T	P	63.78
581496	11/22/2006	0000003042 Apple Valley Communications Inc.	P	35.00
581497	11/22/2006	0000000265 Baldy Mesa Water District	P	48.74
581498	11/22/2006	0000016757 Basic Concepts, Inc.	P	641.88
581499	11/22/2006	0000000294 Bear Valley Rentals	P	480.24
581500	11/22/2006	0000010474 Burns Septic and Sewer Service	P	550.00
581501	11/22/2006	0000003158 CALED	P	570.00
581502	11/22/2006	0000004242 California Bio-Mass, Inc.	P	244.05
581503	11/22/2006	0000010630 California Overnight	P	15.93
581504	11/22/2006	0000016751 California Prison Industry Authority	P	1,688.98
581505	11/22/2006	0000000438 California Special Districts Association	P	3,162.00
581506	11/22/2006	0000002720 California Tool & Welding Supply	P	28.83
581507	11/22/2006	0000000618 CDW Government, Inc.	P	3,105.57
581508	11/22/2006	0000005453 Charter Media LA Region	P	1,995.00
581509	11/22/2006	0000016760 Chavez, Rafaela	P	45.00
581510	11/22/2006	0000000568 City Blueprint	P	111.13
581511	11/22/2006	0000005970 Clear Channel Communications	P	1,084.00
581512	11/22/2006	0000000700 Cutting Edge Supply Co.	P	2,202.63
581513	11/22/2006	0000000703 D&D Disposal	P	370.00
581514	11/22/2006	0000000712 Daily Press	P	5,932.79
581515	11/22/2006	0000010768 DataQuick	P	94.50
581516	11/22/2006	0000000743 Dell Marketing L.P.	P	8,894.62
581517	11/22/2006	0000002854 Department Issue	P	857.80
581518	11/22/2006	0000000754 Desert Community Bank	P	32,295.64
581519	11/22/2006	0000000760 Desert Service Station Maintenance	P	125.00
581520	11/22/2006	0000000761 Desert Stationers	P	431.89
581521	11/22/2006	0000000764 Desert Truck Supply	P	105.04
581522	11/22/2006	0000005965 DLT Solutions, Inc.	P	2,573.07
581523	11/22/2006	0000015864 Earth Tech Inc.	P	52,371.75
581524	11/22/2006	0000000867 Emergency Medical Products, Inc.	P	853.45
581525	11/22/2006	0000000875 Endura Steel, Inc.	P	628.54
581526	11/22/2006	0000000839 EZ GO Textron	P	305.65
581527	11/22/2006	0000000917 Federal Express Corp.	P	190.45



Report ID: VVPOS2-SUM.rpt

Commercial Demand

Check No.	Date	Vendor	Payment Status	Payment Amount	
581528	11/22/2006	0000006286	FirstLine, LLC	P	605.96
581529	11/22/2006	0000000952	Fisher Scientific	P	12,277.07
581530	11/22/2006	0000009437	Fore-Par	P	171.29
581531	11/22/2006	0000000975	Franklin Truck Parts, Inc.	P	222.45
581532	11/22/2006	0000011735	G&L Services	P	67.88
581533	11/22/2006	0000001015	Gall's Inc.	P	3,986.80
581534	11/22/2006	0000001740	G.A. Osborne Pipe-Supply	P	1,848.72
581535	11/22/2006	0000014442	Gigantic Idea Studio	P	547.50
581536	11/22/2006	0000001047	Global Tour Golf, Inc.	P	70.32
581537	11/22/2006	0000011689	Golf Ventures West	P	1,399.20
581538	11/22/2006	0000015963	Gonzales Environmental Consulting LL	P	803.70
581539	11/22/2006	0000001943	Goodspeed Distributing, Inc.	P	62,891.60
581540	11/22/2006	0000003047	Graves & King	P	30,706.22
581541	11/22/2006	0000006269	Green, de Bortnowsky & Quintanilla, L	P	6,500.00
581542	11/22/2006	0000002968	The Grumpy Golfer	P	184.04
581543	11/22/2006	0000001100	H & E Home Builders	P	91.83
581544	11/22/2006	0000001104	Haaker Equipment Co.	P	2,934.11
581545	11/22/2006	0000000673	H.B. Covey, Inc.	P	142.02
581546	11/22/2006	0000001096	HCS-Cutler	P	355.58
581547	11/22/2006	0000001162	Hi-Desert Communications	P	1,148.62
581548	11/22/2006	0000008848	Hi Desert Fire Protection Service	P	260.99
581549	11/22/2006	0000016488	Hi-Desert Materials	P	318.94
581550	11/22/2006	0000001184	High Desert Laser Graphics	P	2,656.04
581551	11/22/2006	0000001189	High Desert Cultural Arts	P	50.00
581552	11/22/2006	0000001194	Hightech Signs	P	898.21
581553	11/22/2006	0000011025	Hippo Golf Company, Inc.	P	1,369.46
581554	11/22/2006	0000016759	Hiza, Barbara	P	185.00
581555	11/22/2006	0000006707	Joseph M. Ho, M.D., Inc.	P	3,390.00
581556	11/22/2006	0000015249	Holland & Knight LLP	P	8,465.86
581557	11/22/2006	0000001218	Home Depot, Inc.	P	804.96
581558	11/22/2006	0000015767	Hromadka & Associates	P	711.50
581559	11/22/2006	0000001230	Hub Construction Spec., Inc.	P	475.02
581560	11/22/2006	0000011942	IEDC	P	345.00
581561	11/22/2006	0000008055	IKON Office Solutions, Inc.	P	2,806.99
581562	11/22/2006	0000007512	Imperial Sprinkler Supply, Inc.	P	211.77
581563	11/22/2006	0000011508	Industrial Solution Services	P	7,169.47
581564	11/22/2006	0000015455	Industrial Medical Services, Inc	P	63.00
581565	11/22/2006	0000014247	Inland Energy, Inc.	P	39,812.13
581566	11/22/2006	0000008885	Inmark/Victor	P	181.89
581567	11/22/2006	0000016166	Innovative Federal Strategies LLC	P	12,000.00
581568	11/22/2006	0000014492	International DJ Company	P	160.00
581569	11/22/2006	0000007761	I O S Capital	P	358.00
581570	11/22/2006	0000008022	J.F. Porter Company, Inc.	P	16,398.97
581571	11/22/2006	0000003039	Jim's Ott's Pots	P	151.00
581572	11/22/2006	0000001318	J & L Windshield Repair	P	59.00
581573	11/22/2006	0000012411	Johnson Power Systems	P	1,446.50
581574	11/22/2006	0000015733	John Williams	P	130.00
581575	11/22/2006	0000001426	Lab Safety Supply co.	P	9,958.91
581576	11/22/2006	0000006990	Laser Technology, Inc.	P	7,117.29
581577	11/22/2006	0000001416	Lawson Products, Inc.	P	1,968.84
581578	11/22/2006	0000010660	Loveland's Automotive Service	P	1,155.00
581579	11/22/2006	0000008209	Lowe's	P	886.89
581580	11/22/2006	0000013967	Lowe's	P	1,037.83
581581	11/22/2006	0000001489	M&D Fire Equipment Company, Inc.	P	367.35



Check No.	Date	Vendor	Payment Status	Payment Amount
581582	11/22/2006	0000015882 Major Surplus & Survival, Inc.	P	965.41
581583	11/22/2006	0000002716 MANPOWER	P	961.20
581584	11/22/2006	0000000361 Mark Brown & Associates, Inc.	P	160.00
581585	11/22/2006	0000010734 MBS, a Konica Minolta Business Soluti	P	142.86
581586	11/22/2006	0000001548 McMaster-Carr Supply Co.	P	743.69
581587	11/22/2006	0000001558 Merrill's Garage Door, Inc.	P	107.33
581588	11/22/2006	0000011205 Michael Merino Architects	P	11,250.00
581589	11/22/2006	0000001574 Midway TV & Appliance	P	32.27
581590	11/22/2006	0000002835 Minolta Business Systems, Inc.	P	595.81
581591	11/22/2006	0000015444 MuniFinacial	P	11,323.43
581592	11/22/2006	0000008713 MW Peltz & Associates	P	2,198.11
581593	11/22/2006	0000001661 National Association of Foreign Trade	P	1,150.00
581594	11/22/2006	0000009511 National Waterworks	P	1,553.30
581595	11/22/2006	0000007789 Nelson Traffic Supply	P	485.87
581596	11/22/2006	0000008744 Nextel Communications	P	10,211.79
581597	11/22/2006	0000001711 Office Depot	P	735.14
581598	11/22/2006	0000010073 Ohlin Sales Inc.	P	43.87
581599	11/22/2006	0000016749 Olvera's Concrete Specialties	P	1,275.00
581600	11/22/2006	0000009123 Patton Sales Corp.	P	1,152.59
581601	11/22/2006	0000001810 Pep Boys	P	394.37
581602	11/22/2006	0000001815 Pervo Paint Co.	P	933.62
581603	11/22/2006	0000004752 PING	P	559.00
581604	11/22/2006	0000003033 Pitney Bowes	P	589.00
581605	11/22/2006	0000011559 Premiumwear, Inc	P	639.20
581606	11/22/2006	0000016244 PTL Electric, Inc.	P	880.00
581607	11/22/2006	0000013625 Pulltarps Manufacturing	P	778.17
581608	11/22/2006	0000014577 PureRite Drinking Water	P	33.00
581609	11/22/2006	0000004348 Quill Corporation	P	44.74
581610	11/22/2006	0000004834 Radio Shack	P	355.54
581611	11/22/2006	0000001916 R.D.O. Equipment Co.	P	491.34
581612	11/22/2006	0000006401 Robbins Upholstery Service	P	363.56
581613	11/22/2006	0000013956 Rogers-Quinn Construction	P	4,533.32
581614	11/22/2006	0000014564 Rose City Label	P	405.60
581615	11/22/2006	0000001988 Rosenow Spevacek Group	P	25,408.26
581616	11/22/2006	0000001987 Rotary Club - Victorville	P	129.00
581617	11/22/2006	0000001910 R & R Products	P	220.19
581618	11/22/2006	0000002016 Safety-Kleen Corp.	P	183.66
581619	11/22/2006	0000002037 San Bernardino County	P	1,141,047.00
581620	11/22/2006	0000002037 San Bernardino County	P	77.00
581621	11/22/2006	0000002071 San Bernardino Co Solid Waste	P	226,863.65
581622	11/22/2006	0000011945 Scrub-N-Up	P	81.87
581623	11/22/2006	0000012812 Selltech - Compressor Pump & Engine 1	P	250.39
581624	11/22/2006	0000016750 Serafin, Irene	P	185.00
581625	11/22/2006	0000002111 Service Rock Products	P	4,409.88
581626	11/22/2006	0000007829 Siemens	P	343.92
581627	11/22/2006	0000002155 Smart & Final	P	167.18
581628	11/22/2006	0000002188 Southern California Edison	P	7,806.26
581629	11/22/2006	0000008323 Spectrum Communications Cabling Ser	P	1,993.56
581630	11/22/2006	0000000256 Sport Supply Group, Inc.	P	711.30
581631	11/22/2006	00000002217 Sprint	P	2,897.19
581632	11/22/2006	0000013377 SRK Transmission Parts	P	91.67
581633	11/22/2006	0000016755 Stages Unlimited	P	8,381.73
581634	11/22/2006	0000002227 Staples Credit Plan	P	173.57
581635	11/22/2006	0000002234 The State Chemical Manufacturing, Co.	P	522.37



Check No.	Date	Vendor	Payment Status	Payment Amount
581636	11/22/2006	0000002238 Stater Bros. Markets	P	65.92
581637	11/22/2006	0000004812 Stericycle Inc.	P	162.51
581638	11/22/2006	0000006921 Steven Enterprises, Inc.	P	447.66
581639	11/22/2006	0000003077 Stirling Airports International, LLC	P	260,735.39
581640	11/22/2006	0000003077 Stirling Airports International, LLC	P	696,749.00
581641	11/22/2006	0000003077 Stirling Airports International, LLC	P	62,415.00
581642	11/22/2006	0000007039 Stody Industrial & Welding Supply, In	P	30.17
581643	11/22/2006	0000003141 Surveyor-Fiscal	P	15.62
581644	11/22/2006	0000002291 Surveyors Service Co.	P	23.36
581645	11/22/2006	0000002204 Southwest Gas Corporation	P	2,788.71
581646	11/22/2006	0000002204 Southwest Gas Corporation	P	50,498.83
581647	11/22/2006	0000002790 Treadwell Support Services	P	5,891.67
581648	11/22/2006	0000002399 Type-Set-Go	P	84.05
581649	11/22/2006	0000002419 Underground Service Alert	P	52.80
581650	11/22/2006	0000014613 UniFirst Corporation	P	71.24
581651	11/22/2006	0000002426 United Parcel Service	P	221.64
581652	11/22/2006	0000003089 United Rentals, Inc.	P	5,578.31
581653	11/22/2006	0000002463 Valley Transmission	P	1,742.27
581654	11/22/2006	0000014519 Venable LLP	P	11,000.00
581655	11/22/2006	0000005697 Verizon	P	36.67
581656	11/22/2006	0000005896 Victor Valley Hand Car Wash, Inc.	P	146.50
581657	11/22/2006	0000002784 Victor Valley Florist, Inc.	P	56.03
581658	11/22/2006	0000013434 Victorville Glass Co., Inc.	P	104.94
581659	11/22/2006	0000002862 Victor Valley Towing, Inc.	P	145.00
581660	11/22/2006	0000002499 Victor Valley Water District	P	19,249.18
581661	11/22/2006	0000002498 Victor Valley Wastewater Reclamation	P	294,404.06
581662	11/22/2006	0000002533 Wal-Mart Store #01-1588	P	36.41
581663	11/22/2006	0000011361 Walters Wholesale Electric Co.	P	12,548.01
581664	11/22/2006	0000002554 Waxie Sanitary Supply	P	1,993.27
581665	11/22/2006	0000002575 Western Golf, Inc.	P	34.62
581666	11/22/2006	0000002579 Western Outdoor Power Equipment Co.	P	40.24
581667	11/22/2006	0000002571 West Group Publishing Company	P	33.42
581668	11/22/2006	0000015293 William Bower Associates Inc.	P	16,036.00
581669	11/22/2006	0000002604 Wilson Golf/Sporting Goods Co.	P	125.88
581670	11/22/2006	0000014636 Wingfoot Commercial Tire	P	285.46
581671	11/22/2006	0000013400 W. S. Darley & Co.	P	339.60
581672	11/22/2006	0000002632 Xerox Corporation	P	88.96
581673	11/22/2006	0000002632 Xerox Corporation	P	1,946.76
581674	11/22/2006	0000012569 Yucca Crane	P	480.00
581675	11/22/2006	0000002646 Zee Medical Service	P	93.42
581676	11/22/2006	0000007807 California State of-Pesticide Regulation	P	60.00
581677	11/22/2006	0000012867 C.A.P.E.	P	350.00
581678	11/22/2006	0000009374 CMRTA	P	50.00
581679	11/22/2006	0000008111 Collins, Kevin	P	137.74
581680	11/22/2006	0000008506 DEO Enterprises	P	8,920.68
581681	11/22/2006	0000002912 Dickover, Dean	P	140.00
581682	11/22/2006	0000009544 Falzone, Richard	P	77.69
581683	11/22/2006	0000005185 Francis, Norm	P	142.00
581684	11/22/2006	0000016752 Gengler, Brian	P	36.20
581685	11/22/2006	0000011787 Hanna, Collette	P	947.88
581686	11/22/2006	0000016753 Hi-Desert Republican Women, Federate	P	16.00
581687	11/22/2006	0000011677 Holland, Kelley	P	114.97
581688	11/22/2006	0000003109 Kenneth K. Hoppens	P	220.00
581689	11/22/2006	0000013457 Jenkins, George A.	P	179.29



<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>	<u>Payment Status</u>	<u>Payment Amount</u>
581690	11/22/2006	0000015825 Jensen, Eric	P	426.00
581691	11/22/2006	0000001439 League of California Cities	P	320.00
581692	11/22/2006	0000014847 Lewis, Jeff	P	181.50
581693	11/22/2006	0000016758 Marks, David M.	P	11,260.00
581694	11/22/2006	0000014628 Morgan, Mary	P	297.21
581695	11/22/2006	0000016180 Perea, Ernie	P	1,243.76
581696	11/22/2006	0000016593 Perez, Chantal	P	216.64
581697	11/22/2006	0000016208 Redwood Resources Marketing, LLC	P	256,859.45
581698	11/22/2006	0000010792 Roberts, Jon	P	57.45
581699	11/22/2006	0000008806 Salas, Glenn	P	362.05
581700	11/22/2006	0000016754 Southern Calif Training Officers Assoc	P	40.00
581701	11/22/2006	0000002204 Southwest Gas Corporation	P	22,423.05
581702	11/22/2006	0000015270 Tebbetts-Wallace, Roberta	P	403.00
581703	11/22/2006	0000010455 Thomas, Tanya	P	157.05
581704	11/22/2006	0000006411 City of Victorville	P	389.00
581705	11/22/2006	0000016237 Victorville Estate Homes, LLC	P	344.14
581706	11/22/2006	0000016237 Victorville Estate Homes, LLC	P	808.67
581707	11/22/2006	0000016237 Victorville Estate Homes, LLC	P	13.60
581708	11/22/2006	0000002504 City of Victorville Sanitation	P	140.87
581709	11/22/2006	0000011840 Webb, Bill	P	51.02
581710	11/22/2006	0000016748 WMC Home Repair Services	P	25.00

Check Total: 3,950,415.10



Report ID: VVPOS2-SUM.rpt

Commercial Demand

<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>	<u>Payment Status</u>	<u>Payment Amount</u>
581711	11/29/2006	0000013312 A&B Hitches and Mufflers	P	204.67
581712	11/29/2006	0000012587 AAA Hose Connection	P	324.33
581713	11/29/2006	0000007343 Abrego, Tamala S	P	115.00
581714	11/29/2006	0000000169 Antelope Valley Turf Supply	P	6,867.56
581715	11/29/2006	0000012801 Arzola, Mary Ann	P	147.00
581716	11/29/2006	0000016359 AT Systems Security Inc.	P	9,845.72
581717	11/29/2006	0000000265 Baldy Mesa Water District	P	3,147.46
581718	11/29/2006	0000016762 Ball, Duane	P	140.14
581719	11/29/2006	0000000270 Bankcard Services	P	967.66
581720	11/29/2006	0000000311 Best Access Systems/	P	74.91
581721	11/29/2006	0000016358 Blue Diamond	P	381.20
581722	11/29/2006	0000003245 California Department of Justice	P	983.00
581723	11/29/2006	0000000781 State of California Board of	P	201.28
581724	11/29/2006	0000000543 Chabin Concepts, Inc.	P	2,967.53
581725	11/29/2006	0000008522 Charter Communications	P	2,332.86
581726	11/29/2006	0000012938 Cingular Wireless	P	171.56
581727	11/29/2006	0000009545 Coffman Associates	P	40,668.00
581728	11/29/2006	0000000662 The Counseling Team International	P	1,975.00
581729	11/29/2006	0000003901 Creative Benefits, Inc.	P	2,211.50
581730	11/29/2006	0000008392 D3 Equipment	P	4,368.97
581731	11/29/2006	0000000743 Dell Marketing L.P.	P	53.99
581732	11/29/2006	0000006024 Dewey Pest Control	P	125.00
581733	11/29/2006	0000008893 DGA Consultants, Inc.	P	122,854.72
581734	11/29/2006	0000002977 Theresa M. Dickover	P	197.00
581735	11/29/2006	0000007289 EDFUND	P	262.66
581736	11/29/2006	0000011697 FedEx Freight West, Inc.	P	90.64
581737	11/29/2006	0000009437 Fore-Par	P	218.38
581738	11/29/2006	0000001943 Goodspeed Distributing, Inc.	P	36,952.37
581739	11/29/2006	0000001076 Grainger, Inc.	P	1,736.25
581740	11/29/2006	0000003047 Graves & King	P	10,244.36
581741	11/29/2006	0000002968 The Grumpy Golfer	P	1,680.00
581742	11/29/2006	0000001104 Haaker Equipment Co.	P	13.12
581743	11/29/2006	0000001123 Harbor Freight Tools	P	10.76
581744	11/29/2006	0000001096 HCS-Cutler	P	84.60
581745	11/29/2006	0000000278 Hi Desert Alarm	P	32.00
581746	11/29/2006	0000004221 Hi Desert Plan Room	P	92.34
581747	11/29/2006	0000001194 Hightech Signs	P	73.93
581748	11/29/2006	0000001218 Home Depot, Inc.	P	572.59
581749	11/29/2006	0000011508 Industrial Solution Services	P	5,533.72
581750	11/29/2006	0000010267 International Code Council	P	118.00
581751	11/29/2006	0000016780 Jackson, Janice	P	25.00
581752	11/29/2006	0000012411 Johnson Power Systems	P	33,250.61
581753	11/29/2006	0000001399 Kleinfelder, Inc.	P	1,940.26
581754	11/29/2006	0000001416 Lawson Products, Inc.	P	231.00
581755	11/29/2006	0000015823 Lewis, Brisbois, Bisgaard & Smith, LLLP	P	10,528.46
581756	11/29/2006	0000011722 Lowe's	P	42.19
581757	11/29/2006	0000013967 Lowe's	P	304.33
581758	11/29/2006	0000016763 Lund, Debbie and Michael	P	76.44
581759	11/29/2006	0000007650 Maaco	P	842.06
581760	11/29/2006	0000002716 MANPOWER	P	913.14
581761	11/29/2006	0000000361 Mark Brown & Associates, Inc.	P	100.00
581762	11/29/2006	0000016414 MC2 Design Group Inc.	P	312.50
581763	11/29/2006	0000001558 Merrill's Garage Door, Inc.	P	1,070.00



Report ID: VVPOS2-SUM.rpt

Commercial Demand

Check No.	Date	Vendor	Payment Status	Payment Amount
581764	11/29/2006	0000001596 Mojave Copy & Printing	P	51.13
581765	11/29/2006	0000013748 Mythics, Inc.	P	11,102.00
581766	11/29/2006	0000004894 New Jersey Family Support Pmt	P	152.00
581767	11/29/2006	0000008026 NFPA International	P	675.00
581768	11/29/2006	0000001711 Office Depot	P	196.14
581769	11/29/2006	0000002772 OfficeMax	P	125.23
581770	11/29/2006	0000016764 Ortega, Christine and Joaquin	P	311.44
581771	11/29/2006	0000014973 Pacific Mobile Structures, Inc.	P	8,862.45
581772	11/29/2006	0000009123 Patton Sales Corp.	P	102.36
581773	11/29/2006	0000009132 Penton Media, Inc.	P	3,750.00
581774	11/29/2006	0000001886 Prudential Overall Supply	P	135.84
581775	11/29/2006	0000016781 Ramco of Duluth, Inc.	P	249.95
581776	11/29/2006	0000004116 RBF Consulting	P	2,913.95
581777	11/29/2006	0000013956 Rogers-Quinn Construction	P	112,595.84
581778	11/29/2006	0000007912 SBC Sheriff's Court Serv.	P	684.14
581779	11/29/2006	0000011945 Scrub-N-Up	P	77.03
581780	11/29/2006	0000003029 SERCO	P	15,823.00
581781	11/29/2006	0000002111 Service Rock Products	P	523.19
581782	11/29/2006	0000002188 Southern California Edison	P	2,784.43
581783	11/29/2006	0000016245 State Disbursement Unit	P	2.17
581784	11/29/2006	0000016765 Sully-Miller Contracting Co.	P	51,750.00
581785	11/29/2006	0000011036 Time Warner Telecom	P	1,445.66
581786	11/29/2006	0000000812 Tom Dodson & Associates	P	20,189.50
581787	11/29/2006	0000006279 Turf Star, Inc.	P	99.66
581788	11/29/2006	0000002426 United Parcel Service	P	161.35
581789	11/29/2006	0000002430 United Way Desert Communities	P	45.00
581790	11/29/2006	0000002411 US Golf Association, Inc.	P	92.09
581791	11/29/2006	0000002462 Valley Sporting Goods	P	148.64
581792	11/29/2006	0000005697 Verizon	P	203.91
581793	11/29/2006	0000010761 Verizon Internet Solutions	P	79.95
581794	11/29/2006	0000008430 Vulcan Materials Company	P	118.42
581795	11/29/2006	0000002507 Victorville Professional Firefighters	P	2,490.28
581796	11/29/2006	0000002499 Victor Valley Water District	P	730.82
581797	11/29/2006	0000002554 Waxie Sanitary Supply	P	850.81
581798	11/29/2006	0000002603 Willdan, Inc.	P	93,440.00
581799	11/29/2006	0000015293 William Bower Associates Inc.	P	8,018.00
581800	11/29/2006	0000002632 Xerox Corporation	P	17.47
581801	11/29/2006	0000002632 Xerox Corporation	P	438.51
581802	11/29/2006	0000016776 American Library Association	P	470.00
581803	11/29/2006	0000016773 Becker, Joseph E.	P	50.00
581804	11/29/2006	0000005936 Best Western	P	176.22
581805	11/29/2006	0000013197 Blooms De' Amor Florist	P	755.00
581806	11/29/2006	0000009393 Cal Cupa Forum	P	375.00
581807	11/29/2006	0000016775 Carmel Architectural Sales	P	20.00
581808	11/29/2006	0000009816 City National Bank	P	5,750.00
581809	11/29/2006	0000003901 Creative Benefits, Inc.	P	222.00
581810	11/29/2006	0000016767 East Bay Consulting Inc. Contr. Div	P	25.00
581811	11/29/2006	0000016769 Flick Construction Co.	P	50.00
581812	11/29/2006	0000010120 Gil, Cindy	P	80.00
581813	11/29/2006	0000016771 Graham, Susanne	P	50.00
581814	11/29/2006	0000001274 Inland Concrete Enterprises, Inc.	P	15.00
581815	11/29/2006	0000010267 International Code Council	P	50.00
581816	11/29/2006	0000016487 Koscelnik, Jennifer	P	45.86
581817	11/29/2006	0000002949 Alfonso Lopez	P	64.00



<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>	<u>Payment Status</u>	<u>Payment Amount</u>
581818	11/29/2006	0000016779 Pallmar and Company	P	50.00
581819	11/29/2006	0000013956 Rogers-Quinn Construction	P	1,013,362.33
581820	11/29/2006	0000002037 San Bernardino County	P	25.00
581821	11/29/2006	0000002037 San Bernardino County	P	16.00
581822	11/29/2006	0000002037 San Bernardino County	P	24.00
581823	11/29/2006	0000002037 San Bernardino County	P	636.00
581824	11/29/2006	0000016772 SelectBuild	P	50.00
581825	11/29/2006	0000016777 Serobian, Martiros	P	175.00
581826	11/29/2006	0000010804 Sohm, Edmond	P	80.00
581827	11/29/2006	0000016778 Soriano, Anthony	P	80.00
581828	11/29/2006	0000016761 Steeno/Farinelli	P	3,284.00
581829	11/29/2006	0000016774 Tran, Thu Anh	P	50.00
581830	11/29/2006	0000003863 Valley Slurry Seal Co., Inc.	P	2,774,339.42
581831	11/29/2006	0000006411 City of Victorville	P	489.00
581832	11/29/2006	0000002506 Victorville Firemen's Association	P	317.50
581833	11/29/2006	0000016768 Victor Village Associates	P	350.00
581834	11/29/2006	0000000198 City of Victorville, Cash	P	167.11
581835	11/29/2006	0000016770 Victorville Res. Dev. Partners No 1, LL	P	81.62
581836	11/29/2006	0000002504 City of Victorville Sanitation	P	25.03

Check Total: 4,451,915.22



Report ID: VVPOS2-SUM.rpt

Commercial Demand

Check No.	Date	Vendor	Payment Status	Payment Amount
580713	11/1/2006	0000009137 Valley Wide Newspapers	V	-150.00
581048	11/8/2006	0000005936 Best Western	V	-289.08
581350	11/15/2006	0000016343 Reyez, Oscar	V	-46.72
581399	11/15/2006	0000016626 Trujillo, Megan	V	-62.68
581555	11/22/2006	0000006707 Joseph M. Ho, M.D., Inc.	V	-3,390.00
581686	11/22/2006	0000016753 Hi-Desert Republican Women, Federate	V	-16.00
581837	12/6/2006	0000000006 A & L Builders Supply	P	345.86
581838	12/6/2006	0000002695 A-1 Portables	P	622.63
581839	12/6/2006	0000000025 AA Equipment Rental Co.	P	35.87
581840	12/6/2006	0000000047 Aardvark Pumping Service	P	216.47
581841	12/6/2006	0000009866 Agencies Tool Center, Inc.	P	85.39
581842	12/6/2006	0000000073 Air Cold Supply	P	54.83
581843	12/6/2006	0000000111 Allstar Fire Equipment	P	2,148.00
581844	12/6/2006	0000000169 Antelope Valley Turf Supply	P	117.29
581845	12/6/2006	0000000191 Applied Industrial Tech	P	1,169.26
581846	12/6/2006	0000016359 AT Systems Security Inc.	P	18,860.93
581847	12/6/2006	0000000038 AT&T	P	31.22
581848	12/6/2006	0000004957 Town of Apple Valley	P	23,123.83
581849	12/6/2006	0000016186 B&K Electric	P	132.61
581850	12/6/2006	0000016796 Balle, Rene	P	200.00
581851	12/6/2006	0000000275 Barr Lumber	P	12.71
581852	12/6/2006	0000000290 Battery Mart	P	2,408.00
581853	12/6/2006	0000000287 Beaman Bros. Plumbing & Heating	P	65.00
581854	12/6/2006	0000000293 Beaumont Yamaha/Kawasaki	P	145.05
581855	12/6/2006	0000000311 Best Access Systems/	P	121.63
581856	12/6/2006	0000000309 Best Buy Co., Inc.	P	449.55
581857	12/6/2006	0000016358 Blue Diamond	P	607.33
581858	12/6/2006	0000010670 Blue Shield of Cal. Life & Health	P	8,597.91
581859	12/6/2006	0000016226 Bluewater Energy Solutions, Inc.	P	85,915.83
581860	12/6/2006	0000000380 Burrtec Waste Industries	P	68,963.11
581861	12/6/2006	0000000464 California Centers	P	195.00
581862	12/6/2006	0000000456 Calcon Electric Supply	P	503.48
581863	12/6/2006	0000016788 California Energy Resources Conservati	P	2,515.16
581864	12/6/2006	0000011768 CA Municipal Statistics Inc.	P	425.00
581865	12/6/2006	0000010630 California Overnight	P	63.40
581866	12/6/2006	0000002720 California Tool & Welding Supply	P	34.22
581867	12/6/2006	0000016790 Capubilla, Stella	P	68.16
581868	12/6/2006	0000010937 Carrey, Michelle	P	21.28
581869	12/6/2006	0000010029 CA Shopping Cart Retrieval	P	753.00
581870	12/6/2006	0000006067 Causey's Heating & Air-Conditioning	P	430.61
581871	12/6/2006	0000000618 CDW Government, Inc.	P	112.13
581872	12/6/2006	0000000543 Chabin Concepts, Inc.	P	6,342.21
581873	12/6/2006	0000000548 Charles Joseph Associates	P	2,376.08
581874	12/6/2006	0000008522 Charter Communications	P	1,213.07
581875	12/6/2006	0000000613 Commercial Engine Service	P	85.53
581876	12/6/2006	0000015774 ComRent West, Inc.	P	3,377.96
581877	12/6/2006	0000011452 CP & DR	P	259.00
581878	12/6/2006	0000000492 California Park and Recreation	P	255.00
581879	12/6/2006	0000008198 CPS	P	396.33
581880	12/6/2006	0000008392 D3 Equipment	P	187.49
581881	12/6/2006	0000000712 Daily Press	P	1,152.20
581882	12/6/2006	0000000737 John C. Davis	P	10,837.88
581883	12/6/2006	0000000743 Dell Marketing L.P.	P	2,960.86



Commercial Demand

Check No.	Date	Vendor	Payment Status	Payment Amount
581884	12/6/2006	0000002765 Del Rey Chemical Co.	P	902.66
581885	12/6/2006	0000000761 Desert Stationers	P	1,286.27
581886	12/6/2006	0000008350 Desert Survival Guide	P	225.00
581887	12/6/2006	0000002965 Don Martin and Co.	P	77.15
581888	12/6/2006	0000000848 Earthlink Network, Inc.	P	19.95
581889	12/6/2006	0000000875 Endura Steel, Inc.	P	232.34
581890	12/6/2006	0000013349 Epic Land Solutions, Inc.	P	1,143.43
581891	12/6/2006	0000010132 F.E.C. Electric Inc.	P	11,937.35
581892	12/6/2006	0000000917 Federal Express Corp.	P	270.05
581893	12/6/2006	0000011539 Ferguson Enterprises, Inc. #677	P	1,393.10
581894	12/6/2006	0000015480 Fleming Environmental Inc.	P	76,667.00
581895	12/6/2006	0000000969 FootJoy	P	146.93
581896	12/6/2006	0000009437 Fore-Par	P	296.13
581897	12/6/2006	0000001740 G.A. Osborne Pipe-Supply	P	1,193.70
581898	12/6/2006	0000016789 Garcia, Leticia	P	216.20
581899	12/6/2006	0000009691 GK & Associates	P	10,957.50
581900	12/6/2006	0000001047 Global Tour Golf, Inc.	P	78.36
581901	12/6/2006	0000011689 Golf Ventures West	P	2,543.18
581902	12/6/2006	0000001943 Goodspeed Distributing, Inc.	P	33,009.90
581903	12/6/2006	0000001063 Goodyear Service Store	P	4,948.60
581904	12/6/2006	0000001074 Graham Equipment	P	86.20
581905	12/6/2006	0000001076 Grainger, Inc.	P	3,260.63
581906	12/6/2006	0000006269 Green, de Bortnowsky & Quintanilla, Ll	P	122,402.43
581907	12/6/2006	0000006956 GreenField Compression, Inc.	P	270.75
581908	12/6/2006	0000001089 Greiner Pontiac Buick	P	112.62
581909	12/6/2006	0000001104 Haaker Equipment Co.	P	587.07
581910	12/6/2006	0000001123 Harbor Freight Tools	P	205.19
581911	12/6/2006	0000015811 HCI, Inc	P	362.40
581912	12/6/2006	0000001096 HCS-Cutler	P	574.71
581913	12/6/2006	0000001137 Health Net	P	211,826.54
581914	12/6/2006	0000000278 Hi Desert Alarm	P	687.00
581915	12/6/2006	0000001162 Hi-Desert Communications	P	422.74
581916	12/6/2006	0000008848 Hi Desert Fire Protection Service	P	49.00
581917	12/6/2006	0000016795 Hiers, Andrew	P	185.00
581918	12/6/2006	0000001184 High Desert Laser Graphics	P	11.53
581919	12/6/2006	0000001194 Hightech Signs	P	96.32
581920	12/6/2006	0000011025 Hippo Golf Company, Inc.	P	125.68
581921	12/6/2006	0000006707 Joseph M. Ho, M.D., Inc.	P	3,390.00
581922	12/6/2006	0000001218 Home Depot, Inc.	P	1,157.08
581923	12/6/2006	0000004305 ICSC	P	50.00
581924	12/6/2006	0000008055 IKON Office Solutions, Inc.	P	1,776.80
581925	12/6/2006	0000007512 Imperial Sprinkler Supply, Inc.	P	3,979.88
581926	12/6/2006	0000015455 Industrial Medical Services, Inc	P	144.50
581927	12/6/2006	0000001271 Infotox, Inc.	P	2,027.50
581928	12/6/2006	0000008885 Inmark/Victor	P	343.62
581929	12/6/2006	0000007761 I O S Capital	P	2,820.48
581930	12/6/2006	0000012411 Johnson Power Systems	P	80,883.15
581931	12/6/2006	0000002755 Kaiser Foundation Health Plan, Inc.	P	44,466.09
581932	12/6/2006	0000006646 KFROG Stations	P	840.00
581933	12/6/2006	0000016793 LaBoy International Ministries, Inc.	P	200.00
581934	12/6/2006	0000001420 Lawncare Landscaping	P	1,050.00
581935	12/6/2006	0000008208 Lowe's	P	623.63
581936	12/6/2006	0000008210 Lowe's	P	22.56
581937	12/6/2006	0000011722 Lowe's	P	91.90



Check No.	Date	Vendor	Payment Status	Payment Amount
581938	12/6/2006	0000013967 Lowe's	P	35.97
581939	12/6/2006	0000002716 MANPOWER	P	768.96
581940	12/6/2006	0000000361 Mark Brown & Associates, Inc.	P	25.00
581941	12/6/2006	0000016791 Martin, Kathleen	P	25.00
581942	12/6/2006	0000010734 MBS, a Konica Minolta Business Soluti	P	70.28
581943	12/6/2006	0000001548 McMaster-Carr Supply Co.	P	331.98
581944	12/6/2006	0000014157 Merrimac Energy Group	P	15,583.27
581945	12/6/2006	0000001560 Mesa Veterinary Care Center	P	1,247.63
581946	12/6/2006	0000001562 Metrocall	P	171.38
581947	12/6/2006	0000001592 Mobile Occupational Service	P	675.00
581948	12/6/2006	0000001596 Mojave Copy & Printing	P	76.29
581949	12/6/2006	0000001599 Mojave Desert AQMD	P	254.34
581950	12/6/2006	0000005448 MWB Business Systems	P	78.09
581951	12/6/2006	0000001637 Myers Tire Supply	P	175.12
581952	12/6/2006	0000006838 NAIOP	P	1,090.00
581953	12/6/2006	0000001648 NAPA Auto Parts	P	10,031.48
581954	12/6/2006	0000005964 Nike USA, Inc.	P	1,859.45
581955	12/6/2006	0000013396 Noah's Ark Animal Hospital	P	50.00
581956	12/6/2006	0000001711 Office Depot	P	3,300.76
581957	12/6/2006	0000002772 OfficeMax	P	60.84
581958	12/6/2006	0000009123 Patton Sales Corp.	P	163.78
581959	12/6/2006	0000001800 Paulson Paint	P	938.41
581960	12/6/2006	0000013514 Pennington, Laura	P	17.22
581961	12/6/2006	0000001810 Pep Boys	P	42.56
581962	12/6/2006	0000001820 Petsmart	P	52.87
581963	12/6/2006	0000002429 Postmaster	P	320.00
581964	12/6/2006	0000011559 Premiumwear, Inc	P	128.80
581965	12/6/2006	0000016792 Priority Mailing Systems, Inc.	P	369.00
581966	12/6/2006	0000001886 Prudential Overall Supply	P	1,430.70
581967	12/6/2006	0000016244 PTL Electric, Inc.	P	9,675.13
581968	12/6/2006	0000001761 PTO Sales	P	171.93
581969	12/6/2006	0000004834 Radio Shack	P	73.21
581970	12/6/2006	0000001930 Rancho Motor Company	P	476.52
581971	12/6/2006	0000001916 R.D.O. Equipment Co.	P	116.53
581972	12/6/2006	0000009797 Recycling Products	P	490.64
581973	12/6/2006	0000003857 Roadline Products Inc.	P	689.84
581974	12/6/2006	0000002746 Roto-Rooter Plumbers	P	119.00
581975	12/6/2006	0000001910 R & R Products	P	752.77
581976	12/6/2006	0000002017 Safeway Sign Co.	P	517.20
581977	12/6/2006	0000002037 San Bernardino County	P	18,926.82
581978	12/6/2006	0000002037 San Bernardino County	P	78.00
581979	12/6/2006	0000002071 San Bernardino Co Solid Waste	P	2,130.00
581980	12/6/2006	0000011945 Scrub-N-Up	P	467.52
581981	12/6/2006	0000016486 Service Pro Sanitation	P	540.16
581982	12/6/2006	0000002111 Service Rock Products	P	1,910.96
581983	12/6/2006	0000015784 Sharp, Tiana	P	74.00
581984	12/6/2006	0000002155 Smart & Final	P	232.12
581985	12/6/2006	0000002165 Smitty's Concrete Pumping	P	265.50
581986	12/6/2006	0000015449 Snorkel International Inc.	P	345.31
581987	12/6/2006	0000002188 Southern California Edison	P	79,398.07
581988	12/6/2006	0000008323 Spectrum Communications Cabling Ser	P	136,408.97
581989	12/6/2006	0000002215 Spray Doctor	P	30.00
581990	12/6/2006	0000002217 Sprint	P	1,154.19
581991	12/6/2006	0000002227 Staples Credit Plan	P	120.63



Report ID: VVPOS2-SUM.rpt

Commercial Demand

<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>	<u>Payment Status</u>	<u>Payment Amount</u>	
581992	12/6/2006	0000007039	Stoody Industrial & Welding Supply, In	P	291.21
581993	12/6/2006	0000002269	Sunland Ford	P	741.45
581994	12/6/2006	0000002298	Systems & Methods	P	304.46
581995	12/6/2006	0000002313	Target Specialty Products	P	534.50
581996	12/6/2006	0000002312	Target Stores	P	389.74
581997	12/6/2006	0000011036	Time Warner Telecom	P	1,457.75
581998	12/6/2006	0000002346	Titleist	P	1,182.06
581999	12/6/2006	0000002360	Town & Country Tire	P	710.28
582000	12/6/2006	0000002372	Transwest Ford Truck Sales	P	234.89
582001	12/6/2006	0000006279	Turf Star, Inc.	P	312.47
582002	12/6/2006	0000002399	Type-Set-Go	P	170.25
582003	12/6/2006	0000002419	Underground Service Alert	P	635.20
582004	12/6/2006	0000014613	UniFirst Corporation	P	67.02
582005	12/6/2006	0000002426	United Parcel Service	P	92.39
582006	12/6/2006	0000016520	United States	P	266.72
582007	12/6/2006	0000006801	Valew Welding and Fabrication	P	51.67
582008	12/6/2006	0000002462	Valley Sporting Goods	P	841.92
582009	12/6/2006	0000005697	Verizon	P	965.50
582010	12/6/2006	0000005739	Verizon Directories Corp.	P	174.10
582011	12/6/2006	0000010761	Verizon Internet Solutions	P	89.95
582012	12/6/2006	0000015079	Verizon Wireless	P	647.67
582013	12/6/2006	0000008430	Vulcan Materials Company	P	666.16
582014	12/6/2006	0000016786	Victorville Free Methdst.	P	15.30
582015	12/6/2006	0000013434	Victorville Glass Co., Inc.	P	329.28
582016	12/6/2006	0000002511	Victorville Motors	P	508.93
582017	12/6/2006	0000002495	Victor Valley Roofing Supply, Inc.	P	420.88
582018	12/6/2006	0000002862	Victor Valley Towing, Inc.	P	31.00
582019	12/6/2006	0000002499	Victor Valley Water District	P	1,854.03
582020	12/6/2006	0000002499	Victor Valley Water District	P	9,292.20
582021	12/6/2006	0000002533	Wal-Mart Store #01-1588	P	860.33
582022	12/6/2006	0000011361	Walters Wholesale Electric Co.	P	2,279.35
582023	12/6/2006	0000002554	Waxie Sanitary Supply	P	6,352.94
582024	12/6/2006	0000002555	Wayne's Engine Rebuilders	P	247.43
582025	12/6/2006	0000016152	Wilco Security Systems, Inc.	P	123.00
582026	12/6/2006	0000015293	William Bower Associates Inc.	P	750.00
582027	12/6/2006	0000008863	Winner Industrial Chemical & Tool	P	999.85
582028	12/6/2006	0000016785	Zahir, Zahir U.	P	12.00
582029	12/6/2006	0000002648	ZEP Manufacturing	P	426.88
582030	12/6/2006	0000015445	Abuan, Anna L.	P	171.50
582031	12/6/2006	0000016797	Anderson Bat Company	P	517.20
582032	12/6/2006	0000012751	Atkins, Lela	P	370.00
582033	12/6/2006	0000008201	James N. Bogema	P	440.00
582034	12/6/2006	0000016787	Broker, Mohammed N.	P	50.00
582035	12/6/2006	0000006406	Burnell, Don	P	85.00
582036	12/6/2006	0000016492	Carlucci, Alexandra Michelle	P	278.60
582037	12/6/2006	0000006178	Claritas, Inc.	P	1,095.00
582038	12/6/2006	0000014605	Cunningham-Stevenson, Katrina	P	84.00
582039	12/6/2006	0000015316	Dalin, Kyra	P	725.55
582040	12/6/2006	0000008506	DEO Enterprises	P	7,564.42
582041	12/6/2006	0000014843	Duncan, Penny L.	P	100.63
582042	12/6/2006	0000005137	Eagle Ranch LLC	P	2,089,500.00
582043	12/6/2006	0000006699	Ellis, Terry	P	1,000.00
582044	12/6/2006	0000015258	Fitzgerald-Gutierrez, Jennifer M.	P	450.63
582045	12/6/2006	0000016783	Franco, Anthony	P	80.00



<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>	<u>Payment Status</u>	<u>Payment Amount</u>
582046	12/6/2006	0000012566 Guerra Fencing Studio	P	924.00
582047	12/6/2006	0000016581 Hagen, Deborah	P	27.30
582048	12/6/2006	0000016063 Hamilton-Yates, Carla	P	192.00
582049	12/6/2006	0000001115 Hand of Wisdom	P	191.10
582050	12/6/2006	0000015906 Jomaa, Walid	P	644.00
582051	12/6/2006	0000015310 McBride, Susan L.	P	178.50
582052	12/6/2006	0000015407 Morris, Nathan Vern	P	17.50
582053	12/6/2006	0000013881 Munn-Arvinger, Lee	P	1,926.89
582054	12/6/2006	0000015817 Nelson, Lisa	P	467.78
582055	12/6/2006	0000016764 Ortega, Christine and Joaquin	P	616.50
582056	12/6/2006	0000002992 Public Entity Risk Management Authori	P	4,132.22
582057	12/6/2006	0000001858 Premier Publications	P	460.00
582058	12/6/2006	0000013879 Riding, Paul	P	126.00
582059	12/6/2006	0000011023 RK Gott's Tumbling	P	2,329.43
582060	12/6/2006	0000015294 Salido, Erica	P	551.94
582061	12/6/2006	0000015294 Salido, Erica	P	551.93
582062	12/6/2006	0000014515 Sauve, Jaime	P	1,367.10
582063	12/6/2006	0000002037 San Bernardino County	P	24.00
582064	12/6/2006	0000002037 San Bernardino County	P	75.00
582065	12/6/2006	0000002037 San Bernardino County	P	1,104.00
582066	12/6/2006	0000014902 Seishin Shotokan Karate, Inc.	P	738.50
582067	12/6/2006	0000015450 Sierra, Ramon	P	160.00
582068	12/6/2006	0000016496 Simmons, Jennifer	P	42.46
582069	12/6/2006	0000002237 State Humane Association of California	P	217.00
582070	12/6/2006	0000016243 Transportation Security Clearinghouse	P	3,000.00
582071	12/6/2006	0000003863 Valley Slurry Seal Co., Inc.	P	308,259.94
582072	12/6/2006	0000002505 Victorville Disposal, Inc.	P	513,984.22
582073	12/6/2006	0000002504 City of Victorville Sanitation	P	424.54
582074	12/6/2006	0000002545 Water Environment Fed.	P	154.00
582075	12/6/2006	0000012141 Wicker, Tina	P	396.90
582076	12/6/2006	0000002818 Craig Willhite's Instruction	P	602.70
Check Total:				<u>4,153,988.62</u>



AGENDA ITEM

CITY COUNCIL MEETING OF: December 19, 2006

SUBMITTED BY: Adair Patterson *ap*
Director of Finance

DATE: December 8, 2006

SUBJECT: PAYROLL WARRANT LIST

RECOMMENDATION: That the Honorable City Council approve Payroll Demand Schedule No. 6A, for Payroll Period November 18, 2006 through December 1, 2006, in the amount of \$1,270,934.94 covering Warrant Nos. 21029 through 21075 and Advice Nos. 107748 through 108303 inclusive and the void of Advice Nos. 107581 and 107585.

FISCAL IMPACT: Payroll gross total amount
\$1,270,934.94

Budget Amount: \$1,270,934.94
Budget Account No.: Various

DISCUSSION: I hereby certify that the claims or demands covered by the attached list of warrants have been audited as to the accuracy and availability of funds for payment thereof and that said claims or demands are accurate and the funds are available for payment thereof.

--Finance Dept. Use Only--
Additional Appropriation:

No
 Yes/Amount:

Finance Director Review and
Approval *ap*

Adair Patterson

DIRECTOR OF FINANCE

AMP/hdk

Attachment - Payroll Warrant List



City of Victorville

Date: 12/08/06

City Council Payroll Report
Payroll Period Ending: December 1, 2006

<u>Employee Number</u>	<u>Check #</u>	<u>Total Gross</u>	<u>Check Date</u>
1417	108032	1,771.75	12/8/2006
2396	108177	815.97	12/8/2006
1515	21041	1,836.54	12/8/2006
2505	21042	1,562.84	12/8/2006
2501	107899	1,874.84	12/8/2006
1871	107833	1,762.69	12/8/2006
2052	108178	367.50	12/8/2006
1883	108246	2,525.64	12/8/2006
1970	107932	1,846.48	12/8/2006
1305	108247	3,360.54	12/8/2006
2457	108162	716.24	12/8/2006
1097	107933	2,080.23	12/8/2006
1169	107834	1,836.54	12/8/2006
1024	107853	2,811.31	12/8/2006
1005	107765	2,037.31	12/8/2006
2402	108179	225.31	12/8/2006
2432	108180	805.77	12/8/2006
1007	107766	3,757.00	12/8/2006
2473	108104	1,574.57	12/8/2006
1063	107753	1,836.54	12/8/2006
2357	107802	1,762.69	12/8/2006
1746	108033	2,362.69	12/8/2006
1258	108181	428.47	12/8/2006
2506	108140	551.82	12/8/2006
2354	21035	2,293.60	12/8/2006
1025	108034	2,312.84	12/8/2006
1520	107934	2,244.30	12/8/2006
2343	108182	946.46	12/8/2006
2326	108163	805.77	12/8/2006
1026	108035	1,954.23	12/8/2006
1949	107822	2,632.69	12/8/2006
2043	107835	2,574.06	12/8/2006
2405	108183	509.69	12/8/2006
2484	21050	874.72	12/8/2006
1061	107754	3,843.31	12/8/2006
2210	108016	3,882.00	12/8/2006
1244	108248	3,782.81	12/8/2006
1099	107935	2,750.38	12/8/2006
1170	107836	5,684.85	12/8/2006
1457	107767	2,413.93	12/8/2006
1027	108036	1,954.23	12/8/2006
1100	107936	1,954.23	12/8/2006
2329	108184	511.60	12/8/2006
2384	108164	818.56	12/8/2006
1078	107900	2,873.61	12/8/2006
1308	108141	206.93	12/8/2006
1727	107937	1,836.54	12/8/2006
1243	108249	3,436.96	12/8/2006
1187	108250	3,958.29	12/8/2006

1101	107938	3,005.51	12/8/2006
1966	108037	1,692.54	12/8/2006
2157	108038	1,437.73	12/8/2006
1849	107854	3,757.00	12/8/2006
1212	21068	3,534.89	12/8/2006
2092	107855	2,575.92	12/8/2006
1699	108185	562.76	12/8/2006
1497	107939	2,466.54	12/8/2006
1739	108252	2,879.42	12/8/2006
2475	108138	483.28	12/8/2006
2079	108142	22.40	12/8/2006
2429	108143	143.36	12/8/2006
1261	21060	818.56	12/8/2006
1721	108253	3,532.06	12/8/2006
1174	108254	4,049.42	12/8/2006
1697	107803	3,297.25	12/8/2006
2192	107940	1,562.84	12/8/2006
1451	107768	2,216.39	12/8/2006
1103	107941	2,263.92	12/8/2006
1973	107769	3,139.46	12/8/2006
1644	107856	2,811.31	12/8/2006
1104	107901	2,080.23	12/8/2006
1833	108255	3,143.19	12/8/2006
2050	107857	1,836.54	12/8/2006
1748	107770	2,690.84	12/8/2006
2377	108039	1,562.84	12/8/2006
1426	108186	613.92	12/8/2006
1225	107804	3,070.69	12/8/2006
2217	21039	2,413.93	12/8/2006
1068	108017	3,683.00	12/8/2006
1227	21069	4,433.75	12/8/2006
2448	108095	3,264.46	12/8/2006
1989	108257	2,525.64	12/8/2006
2476	108018	3,086.97	12/8/2006
2034	108187	805.77	12/8/2006
1030	108040	2,330.71	12/8/2006
1963	107942	2,574.22	12/8/2006
1079	107902	3,210.08	12/8/2006
1898	107943	1,836.54	12/8/2006
1576	107805	2,937.77	12/8/2006
1620	108188	802.14	12/8/2006
2499	107858	2,362.69	12/8/2006
1523	108258	3,436.96	12/8/2006
1437	108165	920.88	12/8/2006
1032	108041	2,146.50	12/8/2006
1105	107944	3,420.27	12/8/2006
2254	107859	2,362.69	12/8/2006
2082	107771	1,727.16	12/8/2006
1962	108105	2,312.85	12/8/2006
1353	107837	2,197.60	12/8/2006
1033	108042	2,080.23	12/8/2006
1266	107945	2,312.18	12/8/2006
2204	108106	1,687.86	12/8/2006
2323	107860	2,575.92	12/8/2006
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2360	108045	1,562.84	12/8/2006
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1268	108190	805.34	12/8/2006
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1110	107948	2,169.77	12/8/2006
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1271	21061	409.28	12/8/2006
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1272	108047	2,169.77	12/8/2006
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2391	108096	2,378.45	12/8/2006
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2387	108218	818.56	12/8/2006
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2361	107796	1,658.84	12/8/2006
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1733	108291	2,755.45	12/8/2006
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1334	108294	3,360.54	12/8/2006
1906	108009	2,574.22	12/8/2006
1707	107819	2,466.54	12/8/2006
2427	108159	35.84	12/8/2006
2032	107820	2,690.84	12/8/2006
2395	108103	2,080.23	12/8/2006
2458	108235	895.30	12/8/2006
2291	108160	430.08	12/8/2006
1053	108087	2,410.24	12/8/2006
1648	108088	1,954.23	12/8/2006
2257	108173	754.61	12/8/2006
2330	108236	780.19	12/8/2006
2490	108237	620.32	12/8/2006
2446	107893	1,470.79	12/8/2006
1822	108010	1,836.54	12/8/2006
2042	107832	3,931.46	12/8/2006
1157	108011	1,836.54	12/8/2006
1792	108238	51.16	12/8/2006
2483	108135	781.00	12/8/2006
1581	108012	2,608.96	12/8/2006
1534	107894	2,362.69	12/8/2006
2408	108136	511.60	12/8/2006

1752	108013	2,702.88	12/8/2006
2267	21067	620.32	12/8/2006
2389	108239	741.82	12/8/2006
1932	21047	1,562.84	12/8/2006
2493	107821	1,914.08	12/8/2006
2460	108174	716.24	12/8/2006
2339	108089	1,562.84	12/8/2006
2253	108295	2,637.72	12/8/2006
1412	108240	920.88	12/8/2006
2467	107895	2,612.50	12/8/2006
2359	108241	805.77	12/8/2006
1176	108296	4,049.42	12/8/2006
2477	107752	2,690.84	12/8/2006
2388	108242	805.77	12/8/2006
1330	108161	275.91	12/8/2006
1177	108297	3,436.96	12/8/2006
1056	108090	2,466.54	12/8/2006
1057	108091	1,836.54	12/8/2006
2211	107896	2,575.92	12/8/2006
2047	107897	5,884.85	12/8/2006
2138	107763	2,936.31	12/8/2006
1414	108298	3,213.94	12/8/2006
1182	108299	4,049.42	12/8/2006
1211	108300	4,049.42	12/8/2006
1343	107929	2,750.38	12/8/2006
1058	108092	1,954.23	12/8/2006
2091	107898	2,575.92	12/8/2006
1977	108243	95.93	12/8/2006
2348	108175	818.56	12/8/2006
2191	108093	1,576.28	12/8/2006
1094	107930	4,891.21	12/8/2006
1159	108014	2,080.23	12/8/2006
1545	107764	2,263.92	12/8/2006
1912	108244	568.75	12/8/2006
2481	108137	1,093.12	12/8/2006
1729	108015	2,080.23	12/8/2006
2203	108094	3,882.00	12/8/2006
1304	108245	63.95	12/8/2006
1503	107931	2,263.92	12/8/2006
2260	108031	3,129.95	12/8/2006
1205	107852	3,210.08	12/8/2006
1379	21073	1,481.17	12/8/2006
1450	108301	1,481.17	12/8/2006
1381	108302	1,481.17	12/8/2006
1382	108303	1,481.17	12/8/2006
1383	21074	1,481.17	12/8/2006
		1,270,934.94	



MEMORANDUM

DATE: November 29, 2006

FROM: Rod Sorensen *with thanks for Rod Sorensen*
Interim Director of Public Works

TO: Carolee Bates
City Clerk

SUBJECT: PUBLIC WORKS DEPARTMENT – MONTHLY REPORT SUMMARY

Attached is the monthly report summary of services provided by the Public Works Department as of October 2006, for FY03-04 thru FY 06-07. It is request that this item be included in the City Council Agenda of December 19, 2006, and forwarded to the City Council for their review.

so

Attachment

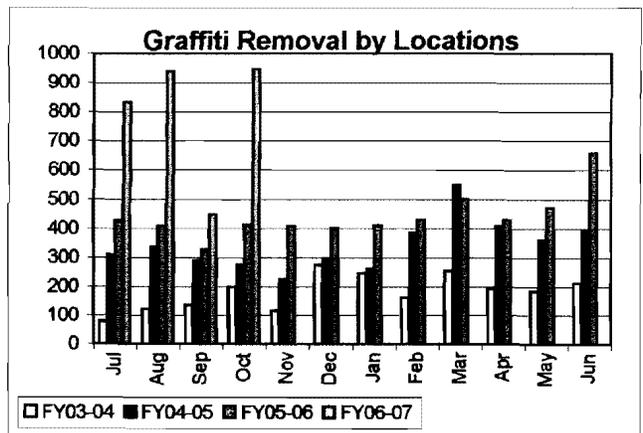
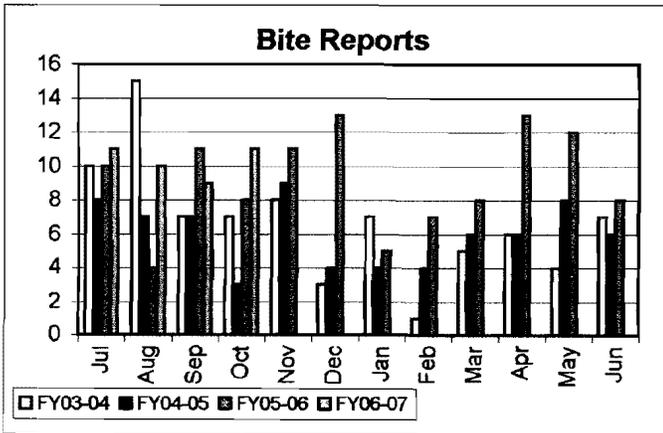
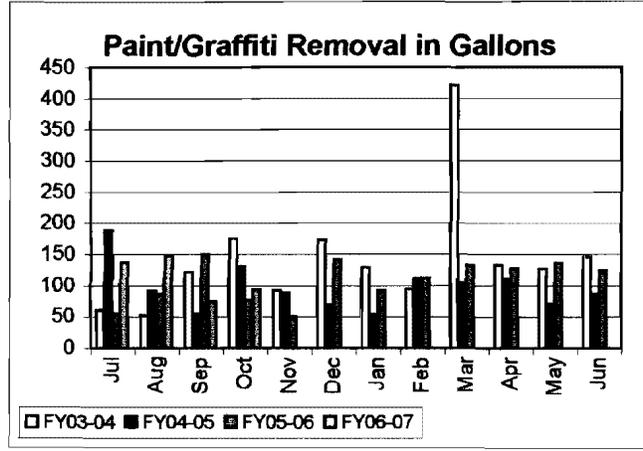
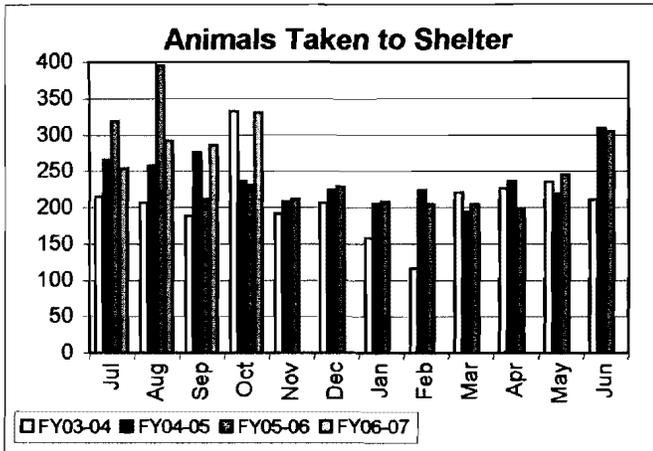
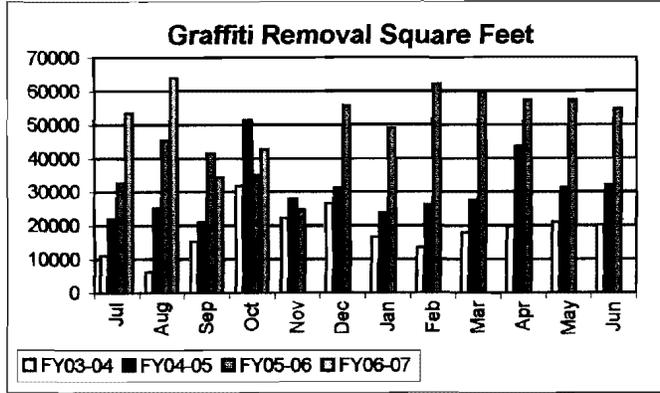
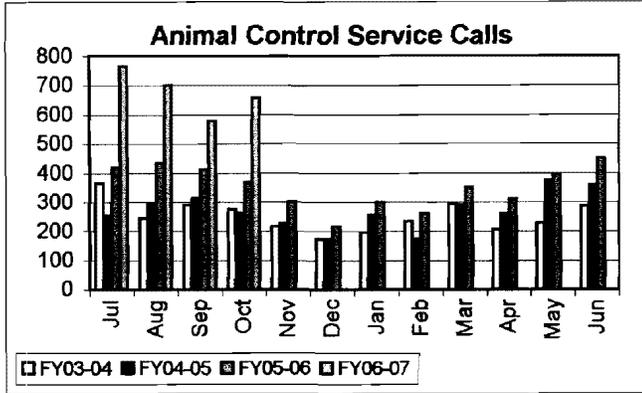
cc: Mike Jenks, Assistant Director of Public Works
Managers

Consent
#5C1
12-19-06

**Public Works Monthly Report
As of October 2006**

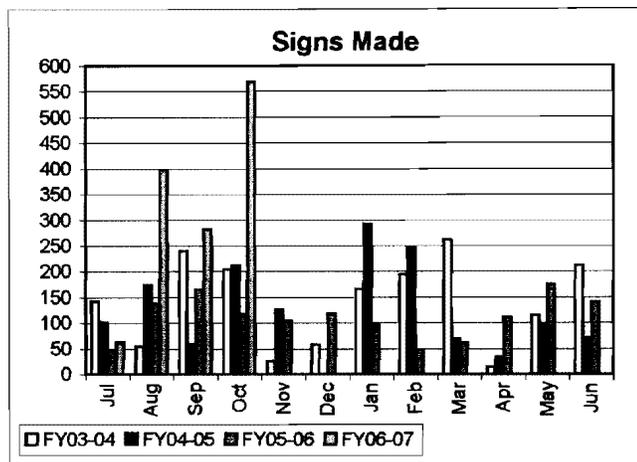
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Graffiti:

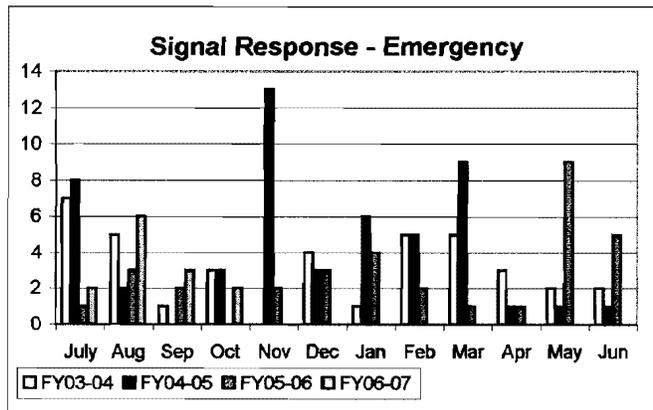
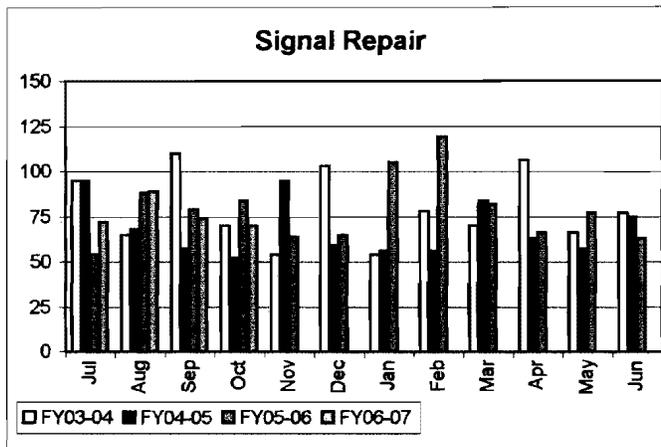
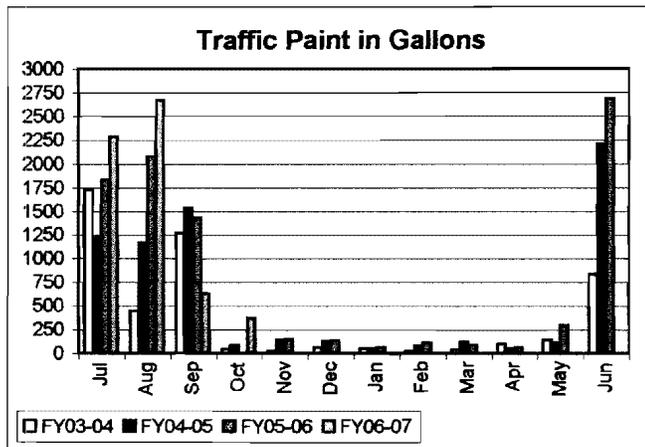
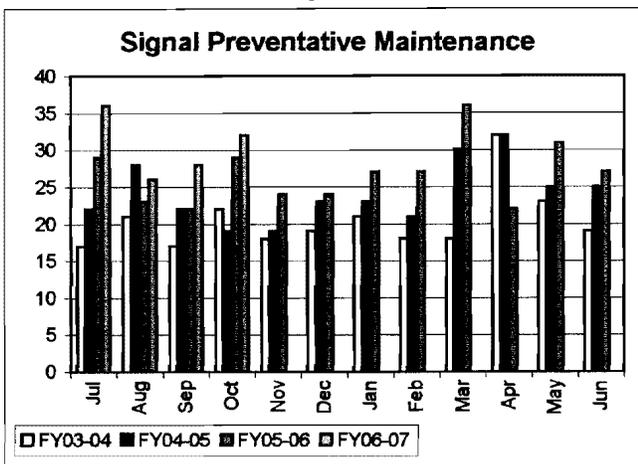


**Public Works Monthly Report
As of October 2006**

Traffic Control:

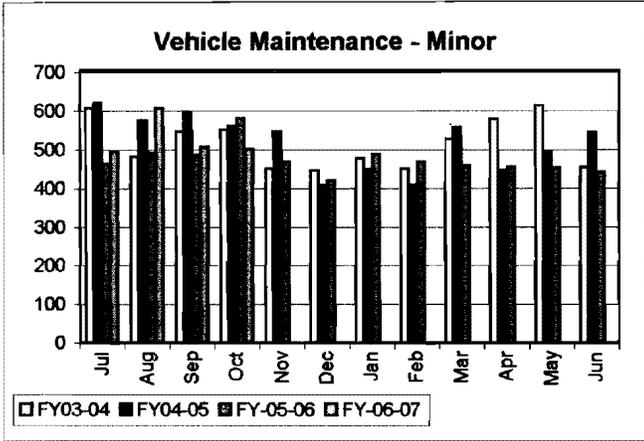


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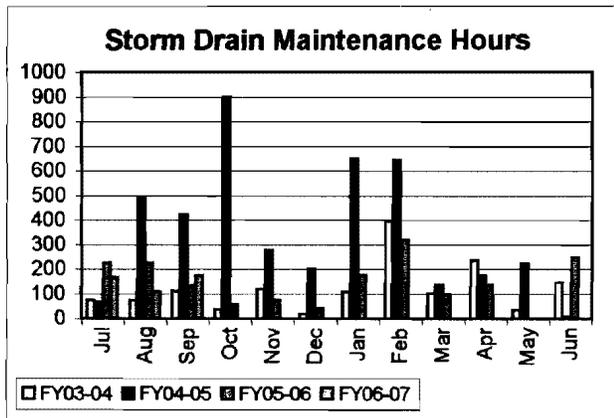
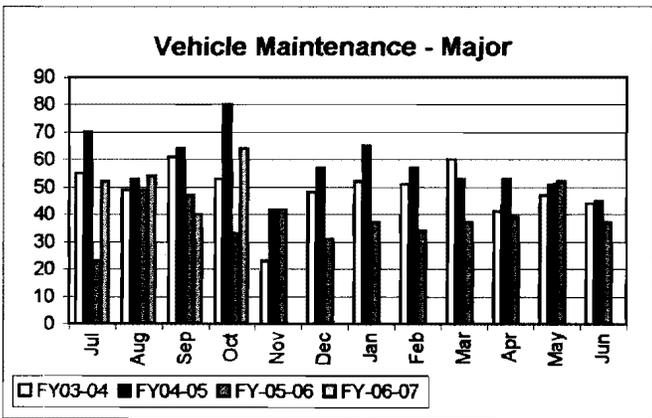
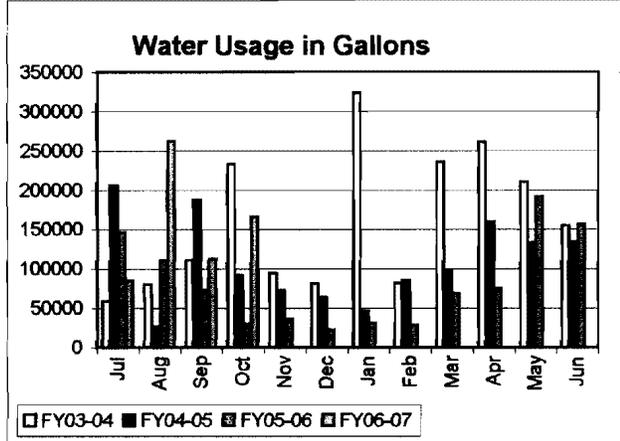


**Public Works Monthly Report
As of October 2006**

Fleet:

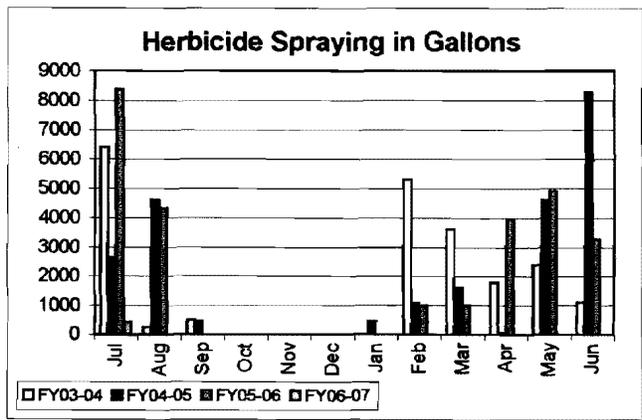
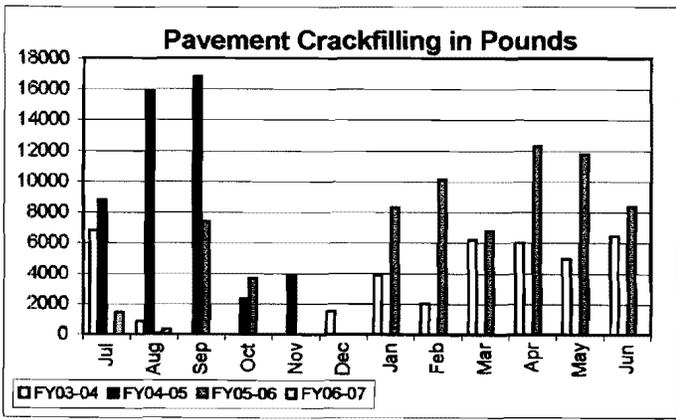
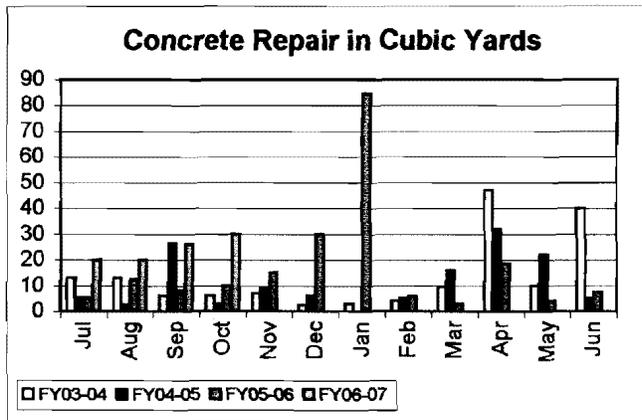
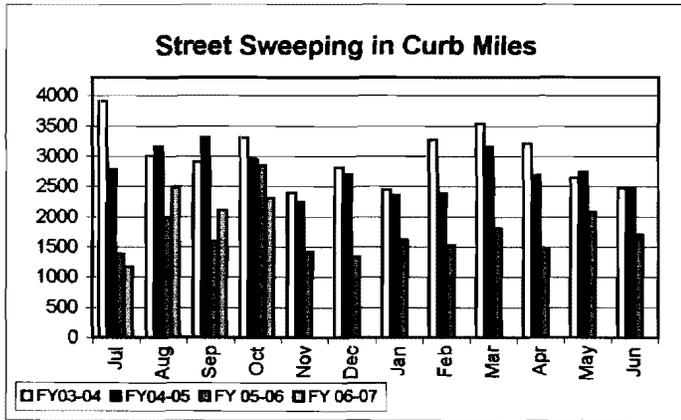
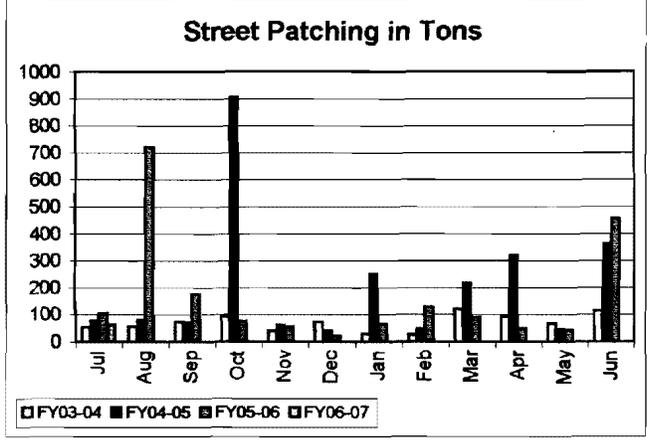
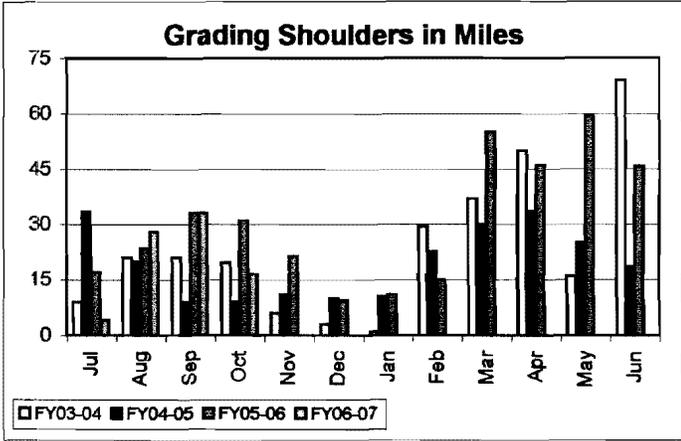


Utility:



**Public Works Monthly Report
As of October 2006**

Street Maintenance:



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MEMORANDUM

DATE November 29, 2006
FROM Jon E. Gargan
Director of Community Services
TO Carolee Bates
City Clerk



SUBJECT **COMMUNITY SERVICES DEPARTMENT - REPORTS**

Attached are copies of the October 2006 activities and service reports prepared by the Community Services Department. It is requested that these items be forwarded to the City Council for their review.

JEG:mv

Attachments

Consent
#5C2
12-19-06



Recreation Division Monthly Report of Services and Activities

Reviewed by Recreation Services Manager: *[Signature]*

Inside This Report:

- 1 Totals & Highlights
- 2 Adult & Youth Sports
- 3 Programs & Classes
- 4 Events & Excursions
- 5 Rentals
- 6 Miscellaneous
- 7 Assisted Sports Groups & Aquatics

A Look Ahead

- Breakfast with Santa
December 2
- Holiday Parade
December 2



Enrollment Totals **Oct-06**

Total Participants Enrolled	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Programs and Classes	2,096	1,940	25,453	25,052
Youth Sports	277	329	832	979
Total	2,373	2,269	26,285	26,031
Total Teams Enrolled	# of Teams			
Adult Sports	104	113	120	136

Highlights **Oct-06**

Spice of Life 10/7/06: Spice of Life was a fantastic event with 12,000+ youth and adults. All enjoyed music, entertainment, food and crafts from a variety of cultures.

Mojave River Run 10/14/06: 149 youth and adults participated in this year's run. All enjoyed a pancake breakfast, finisher medals and a variety of prizes sponsored by local businesses and sports organizations.

Rockview Cemetery 10/27/06: Approximately 450 youth and adults enjoyed a safe and fun-filled evening at the Rockview Cemetery. Activities included the "Tomb of Torture", "Frightful Funhouse", and "Trail of Terror".

Adult Sports

Oct-06



	# of Teams			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Adult Sports				
Coed Volleyball	4	0	11	0
Coed Indoor Soccer	0	0	0	0
Men's Soccer	5	13	5	13
Men's 5 on 5 Basketball	0	0	0	0
Men's 40+ Basketball	0	0	0	0
Men's Softball	48	45	48	45
Coed Softball	33	* 34	33	34
Women's Softball	0	0	0	0
Women's Basketball	0	0	0	0
Flag Football	5	* 6	5	6
Women's Soccer	9	* 15	18	32
Wiffleball	0	0	0	0
Tournaments	0	0	0	6
SUBTOTAL	104	113	120	136

Youth & Pee Wee Sports

Oct-06



	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Youth Sports				
Teen Basketball	0	0	134	134
Youth Basketball	0	0	329	430
Flag Football	198	250	198	250
Volleyball	0	N/A	0	N/A
T-Ball	0	N/A	0	N/A
SUBTOTAL	198	250	661	814

	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Pee Wee Sports				
Basketball	N/A	N/A	59	65
Soccer	N/A	N/A	N/A	N/A
T-Ball	N/A	N/A	N/A	60
Indoor T-Ball	59	59	59	N/A
Sports Sampler	20	20	53	40
SUBTOTAL	79	79	171	165

* Indicates new sports enrollment for the current month



Programs/Classes	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Kids Klub (Spring Break)	N/A	N/A	579	491
Jr. Kids Klub	N/A	N/A	69	104
Youth Contract Classes	503	607	2197	2480
Adult Contract Classes	* 10	* 11	* 20	* 93
Tiny Tots	120	119	473	476
Tater Tots***	42	45	42	171
Teenie Tots	15	15	59	57
Just Baby & Me**	12	N/A	22	8
Sunbears (summer only)	N/A	N/A	N/A	28
Honey Bears (new class. Beg. 9/06)	N/A	26	N/A	55
Alpha Bears**	28	31	56	61
Freaky Fridaze	86		306	33
Rockview Campfire Series	N/A	N/A	97	0
SUBTOTAL	816	854	3920	4057

* Adult participants were enrolled in classes categorized as "Youth Contract Classes"

**Started in September 2005

***Class resumed in October 2005

Open Gym/Hook & Westwinds	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Hook Community Center	56	46	378	419
Westwinds Sports Center	248	** 255	958	** 593
SUBTOTAL	304	301	1336	1012

*Hook Open Gym eliminated Mon. & Weds. ID now required for participation at both sites.

**Basketball practice reduced usage.

Racquetball and Tennis Pebble Beach	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Racquetball Member Play	352	350	1493	1869
Racquetball Non-Member Play	69	71	460	334
Racquetball Tournaments	N/A	1	12	N/A
Racquetball Lessons	8	0	15	N/A
Tennis Tournaments	0	0	0	0
Tennis Lessons	1	17	37	55
SUBTOTAL	430	439	2017	2258

Westwinds Sports Center	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Racquetball	148	328	645	1491
Exercise Equipment	5	18	41	68
SUBTOTAL	153	346	686	1559



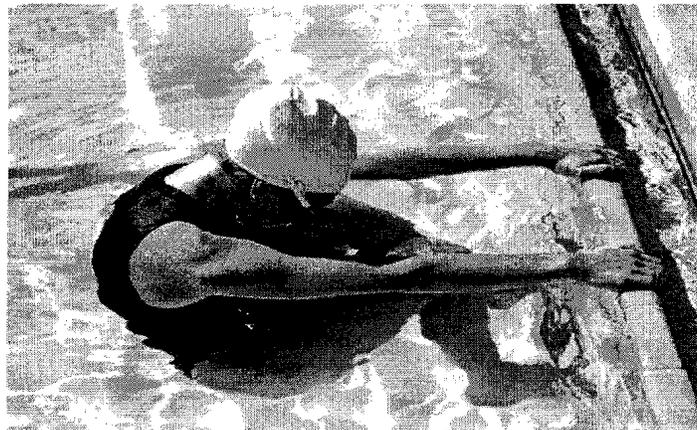
Park & Facility Rentals & Uses

Oct-06



PARK/FIELD RENTALS/USES	# of Rentals/Uses			
	Monthly		Year-to-Date	
	Last Year *	This Year	Last Year *	This Year
Center Street	0	0	23	109
Eva Dell	2	68	109	190
Hook	136	143	328	572
Liberty	47	52	104	231
Doris Davies Park	0	6	23	67
Doris Davies Tennis Courts/Lights	29	9	135	39
Schmidt	3	81	77	256
Westwinds Sports Field	14	0	15	29
Rockview	0	9	10	14
TOTAL	231	* 368	824	* 1507
FACILITY RENTALS/USES				
Hook Community Center	192	163	838	558
Rockview Nature Center	1	8	8	13
VAC Auditoriums	87	60	301	231
Westwinds Activities Center	20	8	81	46
Westwinds Sports Center	2	1	86	50
TOTAL	302	* 240	1314	* 898
POOL RENTALS				
Pebble Beach	0	0	250	93
Village	0	0	12	1
Village Pool with Rec Center	0	0	177	50
TOTAL	0	0	439	* 144

*Last year's figure include all FUA's. This year's figures include all FUA'S, including gathering permits and Recreation Programs. Picnic rental FUA'S required only for Doris Davies, Schmidt and Rockview Parks.





	# Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Volunteers				
Youth Sport Coaches	72	* 50	72	160
Pee Wee Sport Coaches	5	0	10	6
R.A.T. Pack**	23	3	28	53
Jr. Lifeguards	N/A	N/A	37	18
TOTAL	100	53	147	237

* New Coaches

	# Hours			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Volunteers				
Youth Sport Coaches	864.00	500.00	864.00	2660.00
Pee Wee Sport Coaches	20.00	0.00	80.00	57.00
R.A.T. Pack**	42.00	15.00	42.00	71.00
Jr. Lifeguards	N/A	N/A	483.75	379.00
TOTAL	926.00	515.00	1469.75	3167.00

	# Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Work Programs				
Victor Valley College Students	0	0	0	0
Workability	0	10	0	6
TOTAL	0	10	0	6

	# Hours			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Work Programs				
Victor Valley College Students	0.00	0.00	0.00	0.00
Workability	0.00	120.00	0.00	144.00
TOTAL	0.00	120.00	0.00	144.00

***Responsibly Active Teens", formerly Volun"Teens"

Assisted Sports Groups

Oct-06



Assisted Sports Groups (YTD)	# of Participants	
	Last Year	This Year
Amer. Youth Soccer Org. (Sept-Feb)	960	1200
Jr. All Amer. Football (Sept-Dec)	N/A	N/A
Little League (Mar-July)	1070	1250
National Jr. Basketball (Dec-March)	150	150
Victorville Youth Football (Aug-Dec)	250	300
Victorville Youth Soccer (Aug-Mar)	650	600
TOTAL	3080	3500

Aquatics

Oct-06



Aquatics	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Aquatics Pebble Beach Pool				
Recreation Swim	N/A	N/A	10245	10059
Evening Rec Swim	N/A	N/A	811	602
Lap Swim	255	N/A	1445	1115
Swim Classes	N/A	N/A	919	519
Individual Lessons	N/A	N/A	42	N/A
Water Polo *	N/A	N/A	N/A	N/A
Aquatics Contract Classes	138	N/A	1461	905
SUBTOTAL	393	0	14923	13200
Aquatics Village Pool				
Recreation Swim	N/A	N/A	1976	1425
Swim Classes	N/A	N/A	557	955
Individual Lessons	N/A	N/A	31	96
Community Water Safety	N/A	N/A	7	N/A
SUBTOTAL	0	0	2571	2476
Aquatics Victor High Sch. Pool				
Swim Classes	N/A	N/A	N/A	421
Individual Lessons	N/A	N/A	N/A	69
SUBTOTAL	0	0	0	490

* This activity is no longer offered.

**COMMUNITY SERVICES DEPARTMENT
FACILITIES REPORT**

REPORT TITLE: Monthly Service Report		DIVISION: Facilities <i>C.R.</i>		PAGE: 1 of 1		
SUBMITTED BY: Chuck Reynolds		TITLE: Facilities Manager		FOR THE MONTH OF: SEPTEMBER 2006		
				DATE: OCT. 2, 2006		
SQUARE FOOTAGE MAINTAINED			333,000 square feet			
			MONTHLY		YEAR-TO-DATE	
			Last Year	This Year	Last Year	This Year
1. FACILITY REPAIRS/SERVICE REQUESTS						
a. City-Wide			46	38	198	194
b. Projects			2	1	3	4
2. VANDALISM ACTS REPAIRED			2	2	6	2
3. WEEKEND WORKERS - Total Hours						
a. Number of Workers: _____			0	0	0	0
b. # sent back to Glen Helen: _____			0	0	0	0
4. WEEKDAY WORKERS - Total Hours						
a. Number of Workers: _____			0	0	0	0
5. CCC WORKERS - Total Hours						
a. Number of Workers: _____			0	0	0	0
6. RENTAL UNITS - RESIDENTIAL						
a. Total Units: _____			6			
b. Units Rented: _____			6			
c. Vacant: _____			0			

**WESTWINDS GOLF COURSE
MONTHLY REPORT OF SERVICES AND ACTIVITIES FY06/07**

Submitted by Janie Lynch, Golf Activities Supervisor

For the Month of October 2006

DESCRIPTION	MONTHLY		YEAR-TO-DATE	
	Last Year	This Year	Last Year	This Year
GOLF PLAY REVENUE				
Green Fees	\$ 20,732.25	\$ 18,854.00	\$ 78,465.75	\$ 73,160.25
Memberships	\$ 1,964.62	\$ 1,900.76	\$ 9,360.11	\$ 8,426.35
Prime-Time Memberships	\$ 47.50	\$ 62.50	\$ 310.00	\$ 290.00
Golf Cars Rental	\$ 16,913.50	\$ 15,580.00	\$ 67,216.00	\$ 63,648.01
Private Car - Daily	\$ -	\$ -		\$ -
Private Car - Monthly	\$ -	\$ -	\$ -	\$ -
Jr. Membership	\$ -	\$ -	\$ -	\$ 50.00
SUB TOTAL	\$ 39,657.87	\$ 36,397.26	\$ 155,351.86	\$ 145,574.61
GOLF SHOP REVENUE				
Driving Range	\$ 4,306.00	\$ 4,614.00	\$ 16,717.00	\$ 18,391.50
Club Rental	\$ 265.50	\$ 333.50	\$ 742.00	\$ 1,371.13
Lessons	\$ 525.00	\$ 1,036.55	\$ 3,475.00	\$ 4,551.55
Balls	\$ 874.15	\$ 1,037.74	\$ 3,565.22	\$ 4,272.81
Clubs	\$ 755.90	\$ 2,059.21	\$ 2,356.71	\$ 6,180.64
Merchandise	\$ 2,391.38	\$ 3,182.62	\$ 7,300.31	\$ 12,626.15
Sales Tax	\$ 311.30	\$ 488.10	\$ 1,027.85	\$ 1,803.47
SUB TOTAL	\$ 9,429.23	\$ 12,751.72	\$ 35,184.09	\$ 49,197.25
CONCESSION REVENUE				
5% of Gross Sales	\$ 590.38	\$ 690.47	\$ 3,204.62	\$ 3,420.92
Rent (renovation incomplete)	\$ 500.00	\$ 750.00	\$ 2,000.00	\$ 3,000.00
SUB TOTAL	\$ 1,090.38	\$ 1,440.47	\$ 5,204.62	\$ 6,420.92
REVENUE RECEIVED AT CITY HALL				
SUB TOTAL	*	*	*	*
TOTAL REVENUE	\$ 50,177.48	\$ 50,589.45	\$ 195,740.57	\$ 201,192.78

*Revenue from City Hall not received

MEMBERSHIP ROUNDS

Membership	212	153	923	663
Weekend Prime-Time Members	10	13	63	62
SUB TOTAL	222	166	986	725
Weekday Rounds	83	89	363	354
Weekday Non Prime Time	37	34	246	181
Weekend/Holiday Rounds	181	147	510	468
Weekend/Holiday Non Prime Time	82	27	220	207
Senior Weekday Rounds	211	153	629	448
Senior Weekday Non Prime Time	38	17	116	57
Senior Weekend/Holiday Rounds	92	86	327	280
Senior Weekend/Holiday Non Prime Time	13	4	40	23
Military	28	12	103	88
Junior	8	22	54	73
Discount - Weekday	5	1	12	2
Discount - Weekend	33	2	56	6
Hotel	0	2	1	2
Tournament Rounds	53	41	88	317
SUB TOTAL	864	637	2,765	2506

WESTWINDS GOLF COURSE
MONTHLY REPORT OF SERVICES AND ACTIVITIES FY06/07

Page 2 - Westwinds Golf Course

October 2006

DESCRIPTION	MONTHLY		YEAR-TO-DATE	
	Last Year	This Year	Last Year	This Year
NON-PAID				
Men's Club	0	0	0	0
Women's Club	0	0	0	0
Schools (Hook, Mesa Linda, & AAE Middle School)	0	0	0	0
New Resident Courtesy Cards	0	2	0	2
VIP	0	0	0	0
Promotional Prizes/Donations	0	7	12	9
SUB TOTAL	0	9	12	11
9 HOLE ROUNDS				
Weekday Rds.	143	175	595	655
Weekday Non Prime Time	129	115	719	709
Weekday Non Prime Time (3 hrs before sunset)	231	260	1,086	1269
Weekend/Holiday Rds	112	107	454	416
Weekend/Holiday Non Prime Time	87	185	497	515
Weekend/Holiday NPT(3 hrs before sunset)	106	90	360	306
Senior Weekday Rds	177	187	595	684
Senior Weekday Non Prime Time	95	100	336	322
Senior Weekend/Holiday Rds	46	40	307	154
Senior Weekend/Holidays Non Prime Time	33	26	131	95
Military	30	19	131	81
Juniors	56	53	265	256
SUB TOTAL	1,245	1,357	5,476	5462
TOTAL ROUNDS	2,331	2,169	9,239	8704
CONCESSIONAIRE				
Number of golf-related events	0	2	3	9
Number of non-golf related events onsite	0	0	8	1
Number of non-golf related events offsite	5	0	14	1
Total Number of Events	5	2	25	11
MEMBERSHIPS				
Total Number	73	87		
New Members	0	3		
MISCELLANEOUS				
Twilight Cars	347	372	1,674	1622
Average Daily Play	75	69		277
# Tournaments/ # Players (inc. in total rds)	3/53	3/41	11/229	13/317
WEATHER DAYS				
Windy	0	0	1	0
Cold/Hot	1	0	6	7
Rain	2	0	4	1
Slow Play (30 Players or less)	2	0	2	1
# Days Closed	0	0	0	0
LESSONS				
Adult Group Lessons	3/27	3/13	12/87	14/78
Adult Private	10	17	51	68
Youth Group	3/29	4/31	12/93	21/169
Youth Private	4	14	21	43
Lessons - Tiny Tots	0	3/14	9/53	10/54

**GREEN TREE GOLF COURSE
MONTHLY REPORT OF SERVICES AND ACTIVITIES - FY-06/07**

Submitted by Janie Lynch, Golf Activities Supervisor

For the Month of October 2006

	MONTHLY		YEAR-TO-DATE	
	Last Year	This Year	Last Year	This Year
GOLF PLAY REVENUE				
Green Fees	\$ 37,418.00	\$ 33,488.00	\$ 136,384.50	\$ 125,282.95
Memberships	\$ 3,035.38	\$ 4,099.24	\$ 14,739.89	\$ 18,073.65
Prime-Time Memberships	\$ 430.00	\$ 425.00	\$ 1,755.00	\$ 1,820.00
Golf Cars Rental	\$ 29,179.50	\$ 28,342.00	\$ 108,211.24	\$ 102,161.50
Private Car - Daily	\$ 502.00	\$ 332.50	\$ 2,328.50	\$ 1,592.50
Private Car - Monthly (From Pro Shop)	\$ 650.00	\$ 400.00	\$ 4,225.00	\$ 1,850.00
Junior Membership	\$ -	\$ -	\$ -	\$ -
SUB TOTAL	\$ 71,214.88	\$ 67,086.74	\$ 267,644.13	\$ 250,780.60

GOLF SHOP REVENUE				
Club Rental	\$ 185.00	\$ 220.00	\$ 815.00	\$ 1,125.00
Lessons	\$ -	\$ -	\$ -	\$ -
Balls	\$ 1,947.69	\$ 2,089.88	\$ 8,412.76	\$ 8,823.04
Clubs	\$ 973.15	\$ 1,333.41	\$ 3,012.47	\$ 6,035.16
Merchandise	\$ 3,294.59	\$ 3,010.73	\$ 13,190.30	\$ 10,822.11
Sales Tax	\$ 481.17	\$ 498.65	\$ 1,904.47	\$ 1,990.73
SUB TOTAL	\$ 6,881.60	\$ 7,152.67	\$ 27,335.00	\$ 28,796.04

CONCESSION REVENUE				
5% of Gross Sales**	\$ 821.46	\$ 1,053.24	\$ 3,597.74	\$ 3,698.79
Rent	\$ 1,000.00	\$ 1,000.00	\$ 4,000.00	\$ 4,000.00
SUB TOTAL	\$ 1,821.46	\$ 2,053.24	\$ 7,597.74	\$ 7,698.79

**Concession sales always 30 days in arrears

SUB TOTAL	*	*	*	*
TOTAL REVENUE	\$ 79,917.94	\$ 76,292.65	\$ 302,576.87	\$ 287,275.43

*Revenue from City Hall not received

MEMBERSHIP ROUNDS				
Membership	257	273	1,191	1,144
Weekend Prime-Time Members	86	85	351	364
SUB TOTAL	343	358	1,542	1,508

18 HOLE ROUNDS				
Weekday Rounds	284	229	910	943
Weekday Non Prime Time	191	147	798	590
Weekend/Holiday Rounds	269	143	1,196	999
Weekend/Holiday Non Prime Time	108	75	435	376
Senior Weekday Rounds	273	293	969	837
Senior Weekday Non Prime Time	72	72	213	212
Senior Weekend/Holiday Rounds	170	113	592	529
Senior Weekend/Holiday Non Prime Time	43	18	112	85
Military	55	51	282	213
Junior	16	11	125	73
Discount - Weekday	34	13	140	59
Discount - Weekend	15	7	67	33
Discount-Hotel	51	14	115	46
Tournament Rounds	424	650	1,014	960
SUB TOTAL	2,005	1,836	6,968	5,955

**GREEN TREE GOLF COURSE
MONTHLY REPORT OF SERVICES AND ACTIVITIES - FY-06/07**

Page 2 - Green Tree Golf Course October 2006

	YEAR-TO-DATE		YEAR-TO-DATE	
	Last Year	This Year	Last Year	This Year
NON-PAID				
Men's Club	0	0	9	0
Women's Club	0	0	0	0
Schools (High School & Middle School Teams)	0	0	0	0
VIP	0	0	4	0
New Resident Courtesy Card	2	3	6	3
Promotional Prizes/Donations	4	6	16	16
SUB TOTAL	6	9	35	19

9 HOLE ROUNDS				
Weekday Rds	45	32	160	161
Weekday Non Prime Time	60	48	328	311
Weekday Non Prime Time (3 hrs. before sunset)	246	304	1,528	1,640
Weekend/Holiday Rds	30	29	92	115
Weekend/Holiday Non Prime Time	39	48	150	205
Weekend/Holiday NPT (3hrs. before sunset)	81	75	397	332
Senior Weekday Rds	34	32	144	206
Senior Weekday Non Prime Time	81	108	221	313
Senior Weekend/Holiday Rds	3	3	19	23
Senior Weekend/Holiday Non Prime Time	29	27	132	143
Military/Juniors	20	12	98	80
SUB TOTAL (9 HOLE ROUNDS)	668	718	3,269	3,529

TOTAL ROUNDS	3,022	2,921	11,814	11,011
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CONCESSIONAIRE				
Number of golf-related events	3	4	12	9
Number of non-golf related events onsite	1	4	5	13
Number of non-golf related events offsite	8	10	22	28
Total Number of Events	12	18	39	50

MEMBERSHIPS				
	Dual memberships with Westwinds Golf Course			
Total Number	73	87		
New Members	0	3		

MISCELLANEOUS				
Twilight Cars	448	478	2,314	2,263
Average Daily Play	103	97		
# Tournaments/ # Players (inc. in total rds)	10/607	22/841	38/1490	35/1191

WEATHER DAYS				
Windy	0	3	1	5
Cold/Hot	0	1	9	14
Rain	2	1	4	4
Slow Play (30 Players or less)	0	0	1	0
# Days Closed	0.5	0	1	0

LESSONS				
Lessons - Adults & Youth	0	0	0	0
Clinics - Adults & Youth	0	0	0	0
Junior Golf Program	0	0	0	0

CITY OF VICTORVILLE, COMMUNITY SERVICES DEPARTMENT

WESTWINDS GOLF COURSE

GOLF MARSHAL REPORT

Submitted by: Janie Lynch, Golf Activities Supervisor



For the month October 2006

	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
Trespassing	4	0	8	2
Trespassing Golfers	2	0	4	7
Public Service	22	29	77	97
Dogs on Course	0	1	1	12
Vandalism	0	0	3	0
Burglary Reported	0	0	0	0
Issued Warning Violation	0	0	0	0
Improper Dress	6	5	41	30
Check Receipts	37	26	166	225
Riding Without Paying	6	8	32	29
Parked Improperly	51	31	140	162
Players Without Own Clubs	6	5	41	29
Practicing on Course	14	14	67	97
Under Age Driver	9	10	41	55
Three Players in Cart	2	0	15	2
Three Bags on Cart	0	0	2	1
Food Products } Clubhouse	1	0	2	6
Illegal Drink Cooler } Confirmation	11	13	44	73
Beverage Products } Products	4	6	23	27
Construction Vehicles on Course	0	0	0	0
More than Five Players	0	3	2	4
Slow Play	29	17	104	64
Special Problems - Comments	0	0	0	4

Other services provided by Golf Marshals on a daily basis:

- Check rest rooms
- Pick up broken tees on tees
- Repair ball mark on greens
- Pick up debris on course
- Rake Sand Traps
- Fill Divots (tees & fairways) with soil mix
- Empty trash containers at tees
- Hand water

CITY OF VICTORVILLE, COMMUNITY SERVICES DEPARTMENT

GREEN TREE GOLF COURSE

GOLF MARSHAL REPORT

Submitted by: Janie Lynch, Golf Activities Supervisor 

For the month October 2006

	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
Trespassing	55	52	222	217
Trespassing Golfers	2	1	27	19
Public Service	14	33	73	132
Dogs on Course	51	41	187	151
Vandalism	4	0	16	3
Burglary Reported	0	0	0	0
Issued Warning Violation	0	2	0	3
Improper Dress	4	4	35	35
Check Receipts	79	81	305	392
Riding Without Paying	5	4	26	25
Parked Improperly	55	35	203	224
Players Without Own Clubs	4	7	26	27
Practicing on Course	22	29	94	131
Under Age Driver	3	6	32	19
Three Players in Cart	4	0	10	0
Three Bags on Cart	0	0	3	0
Food Products } Clubhouse	0	0	1	32
Illegal Drink Cooler } Confirmation	24	19	74	124
Beverage Products } Products	10	4	30	57
Construction Vehicles on Course	2	14	8	34
More than Five Players	2	0	5	5
Slow Play	38	20	116	89
Special Problems - Comments	1	0	4	5

Other services provided by Golf Marshals on a daily basis:

- Check rest rooms
- Pick up broken tees on tees
- Repair ball mark on greens
- Pick up debris on course
- Rake Sand Traps
- Fill Divots (tees & fairways) with soil mix
- Empty trash containers at tees
- Hand water

CITY OF VICORVILLE
COMMUNITY SERVICES
MONTHLY REPORT OF SERVICE AND ACTIVITIES

DIVISION: WESTWINDS GOLF COURSE

MONTH OF: October 2006

SUBMITTED BY: Edward Ontiveros, Leadworker *EO*

DATE: November 8, 2006

A. DAILY MAINTENANCE

1. Irrigation system repair
2. General Cleanup - trash receptables, rest rooms and clubhouse.
3. Watering as needed/hand and spot watering.
4. Regular mowing schedule.

GOLF COURSE TREES MAINTENANCE	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
# Planted	0	0	0	0
# Removed	0	0	3	0
# Trimmed	15	15	67	15
# Transplanted	0	0	0	0
# Sprayed	0	0	40	20
Joshua Tree Relocation	0	0	0	0

B. IRRIGATION

MAIN LINE	LATERAL LINE	HEAD REPAIR OR REPLACEMENT	CLOCK REPAIR	VALVE REPAIR	PUMP REPAIR
0	1	7	0	0	0

C. SPECIAL PROJECTS

1. Tree Trimming (continuous)
2. Fungicide Applications (on-going, as needed)

D. VANDALISM

1. Graffiti removal (constant)
2. Repair of damaged greens (on-going)

E. CONSTRUCTION

1. Sand trap edging and addition of sand (on-going)
2. Cart Path on #2 Green

F. WEEKEND WORKERS

1. Perimeter Trimming/weed abatement/painting/drain installation (on-going)

TOTAL MAN HOURS	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
Weekday Workers	392	363	1512	1270.5
Weekend Workers	96	211	744	901.5
CCC				
JTPA				
Community Service				
Maintenance Aides				

CITY OF VICORVILLE
COMMUNITY SERVICES
MONTHLY REPORT OF SERVICE AND ACTIVITIES

DIVISION: GREEN TREE GOLF COURSE

MONTH OF: October 2006

SUBMITTED BY: Jeff Jackson, Golf Maint. Supervisor

DATE: November 6, 2006



A. DAILY MAINTENANCE

1. Irrigation system repair
2. General Cleanup - trash receptables, rest rooms and clubhouse.
3. Watering as needed/hand and spot watering.
4. Regular mowing schedule.

GOLF COURSE TREES MAINTENANCE	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
# Planted	0	0	0	0
# Removed	3	2	11	6
# Trimmed	7	8	82	50
# Transplanted	0	0	0	0
# Sprayed	0	12	9	22
Joshua Tree Relocation	0	0	0	0

B. IRRIGATION

MAIN LINE	LATERAL LINE	HEAD REPAIR OR REPLACEMENT	CLOCK REPAIR	VALVE REPAIR	PUMP REPAIR
1	9	60	7	11	3

C. SPECIAL PROJECTS

1. Tree Trimming (continuous)
2. Fungicide Applications (on-going, as needed)

D. VANDALISM

1. Graffiti removal (constant)
2. Repair of damaged greens (on-going)

E. CONSTRUCTION

1. Sand trap edging and addition of sand (on-going)
2. Cart Path on #2 Green

F. WEEKEND WORKERS

1. Perimeter Trimming/weed abatement/painting/drain installation (on-going)

TOTAL MAN HOURS	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
Weekday Workers	962.5	835	2885.5	2851
Weekend Workers	763.5	485	1808.5	2219.5
CCC	0	0	0	0
JTPA	0	0	0	0



AGENDA ITEM

CITY COUNCIL MEETING OF: 12/19/06

SUBMITTED BY: Adair M. Patterson *AP*
Director of Finance

DATE: 11/30/06

SUBJECT: **Contract Award – One (1) New Nine-Wheel Pneumatic Roller**
Project # BM07-005

RECOMMENDATION: That the Honorable City Council award a contract to Nixon-Egli Equipment Company to furnish and deliver one (1) new nine-wheel pneumatic roller for the amount of \$ 69,987.94.

FISCAL IMPACT: \$ 69,987.94

Budget Amount: \$ 69,987.94
Budget Account No.:
540400-30913-90064-00000-52216

--Finance Dept. Use Only--
Additional Appropriation:

No
 Yes/\$Amount:

Finance Director Review and
Approval *AP*

DISCUSSION: Bids were received from the following vendors:

<u>Company</u>	<u>Bid Amount</u>
Nixon-Egli Equipment Co.	\$ 69,987.94
Johnson Machinery	\$ 77,870.93

Staff from Public Works and the Purchasing Division have reviewed the bids submitted and recommended bid award as stated above. Sufficient funds are available to cover the cost of this purchase.

AMP/bm *AP*

cc: Rod Sorensen, Acting Director of Public Works

MEMORANDUM



DATE: November 20, 2006
FROM: Adair M. Patterson *ap/aw*
Director of Finance
TO: Rod Sorensen
Acting Director of Public Works

**SUBJECT: Bid Results – (Furnish and Deliver) One (1) Nine-Wheel Pneumatic Roller
Project #BM07-005**

A bid opening was held on October 9, 2006, in Conference Room "C" for the above referenced project. Listed below are the results of that opening, sales tax included:

<u>Company</u>	<u>Bid Amount</u>
Nixon-Egli Equipment Co.	\$ 69,987.94
Johnson Machinery Co.	\$ 77,870.93

Copies of the proposals are attached for your review and analysis. In order to prepare a memorandum for Council approval, please provide your recommendation as soon as possible.

[Signature]
Submitted by: Bruce Miller *blm*

* * * * *

Recommendation:

Proceed with agenda item for Council approval:

Other: _____

[Signature]

Department Head Signature

11/21/06

Date

CITY OF VICTORVILLE, CALIFORNIA
BID PROPOSAL FORM
 Furnish and Deliver

ONE (1) NINE-WHEEL PNEUMATIC ROLLER
 Project # BM07-005

The undersigned hereby agrees to furnish and deliver the item listed below in accordance with the specifications (which have been carefully examined and are attached hereto) on file in the Office of the Director of Finance. The City reserves the right to award all or some of this bid package to one or more vendors.

Qty	Description of Items	Unit Price	Total Price
One (1)	Nine-Wheel Pneumatic Roller	\$	\$
X (As Specified)	ROSCO TRU-PAC MODEL 915	\$ 64,954.00	\$ 64,954.00
One (1)	Description of Alternate:	\$	\$
____ (Alternate)			
Sub Total			\$ 64,954.00
7.75 % Sales Tax			5,033.94
Total Bid Price			\$ 69,987.94

Bid in words: SIXTY NINE THOUSAND, NINE HUNDRED EIGHTY SEVEN DOLLARS & NINETY FOUR CENTS

Warranty Period in months: ONE YEAR

Payment Terms: NET 15 DAYS FOB: Victorville, CA (Freight Prepaid)

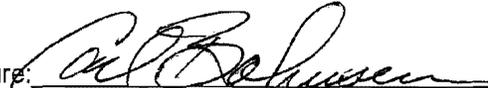
Number of days till delivery after receipt of order THIRTY DAYS A.R.O.

Bidder: NIXON-EGLI EQUIPMENT Co.

Address: 2044 S. VINEYARD AVE, ONTARIO 91761

Phone: 9099301822 Fax: 9099232356 E-mail _____

Federal I.D.No.: 95-2697326

Signature:  Date: OCT. 9, 2006

Name Printed: CARL BAHNSEN Title: V. PRES

CITY OF VICTORVILLE, CALIFORNIA
BID PROPOSAL FORM
 Furnish and Deliver

ONE (1) NINE-WHEEL PNEUMATIC ROLLER
Project # BM07-005

The undersigned hereby agrees to furnish and deliver the item listed below in accordance with the specifications (which have been carefully examined and are attached hereto) on file in the Office of the Director of Finance. The City reserves the right to award all or some of this bid package to one or more vendors.

Qty	Description of Items	Unit Price	Total Price
One (1) <u>X</u> (As Specified)	Nine-Wheel Pneumatic Roller	\$ 72,270	\$ 72,270
One (1) ____ (Alternate)	Description of Alternate:	\$	\$
		Sub Total	\$ 72,270.00
		7.75 % Sales Tax	5,600.93
		Total Bid Price	\$ 77,870.93

Bid in words: SEVENTY SEVEN THOUSAND EIGHT HUNDRED SEVENTY AND FIFTY THREE CENTS

Warranty Period in months: 12 MONTHS OR 5000 HRS TOTAL MACHINE

Payment Terms: NET 10 DAYS **FOB: Victorville, CA (Freight Prepaid)**

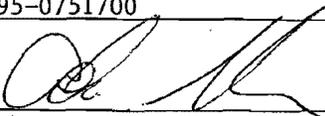
Number of days till delivery after receipt of order 120 DAYS

Bidder: JOHNSON MACHINERY COMPANY

Address: 800 E LA CADENA DRIVE RIVERSIDE, CA 92501

Phone: 951-686-4560 Fax: 951-774-3270 E-mail MCMANUS_ANDREW@JOHNSON-MACHINERY.COM

Federal I.D.No.: 95-0751700

Signature:  Date: 10/5/06

Name Printed: ANDREW MCMANUS Title: SALES REP



AGENDA ITEM

CITY COUNCIL MEETING OF: December 19, 2006

SUBMITTED BY: Adair M. Patterson *AMP*
Director of Finance

DATE: December 11, 2006

SUBJECT: Contract Award – MW Peltz – Project # CC07-001

RECOMMENDATION: That the Honorable City Council award an Architectural contract to MW Peltz for the Doris Davies Park Revision for the amount of \$139,016.00

FISCAL IMPACT: \$ 139,016.00

Budget Amount: \$ 140,000.00
Budget Account No.: 540720-52300-80050-
80110-52220

DISCUSSION: RFP Received from the following Companies:

- MW Peltz
- BMLA Inc.
- RHA Landscape Architects
- Community Works Design

After careful review of the RFP received from the above companies by the Evaluation Committee, they recommended to award the Professional Services to MW Peltz. Sufficient funds are available to cover the cost of this purchase.

AMP/jvm/cc
projects\cc-approval\cc07-001
cc: Jon Gargan, Director of Community Services

--Finance Dept. Use Only-- Additional Appropriation: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes/\$Amount: Finance Director Review and Approval <i>AMP</i>



September 18, 2006

Celeste Calderon, Buyer
Purchasing Division, Finance Department
P.O. Box 5001
14343 Civic Drive
Victorville, CA 92393-5001

Subject: Doris Davies Park Revision
Consultant Services, RFP #CC07-001

Dear Ms. Calderon:

MW Peltz + Associates is pleased to present this Proposal to you for the *Design Services for Doris Davies Park, RFP #CC07-001*. We're excited for the opportunity to assist you in refining the Concept Design, and preparing the Contract Documents for the worked planned for the expansion of the existing park's amenities. We understand that the park was formerly known as Pebble Beach Park encompassing 24 acres of existing amenities. Because of the increased growth in the area, the City of Victorville is planning on providing more usable space on the park site by developing the 4.6 acres on the north side.

The project is attractive to our firm, as this project demands the quality design that we have specialized in over the past few years. We are currently working with several public agencies on park and recreation projects throughout Southern California. As you read our proposal, we're hopeful that you will consider our team capable and worthy to complete the project at hand. We pledge to act in a timely manner on this project while remaining in contact with you throughout the duration of our effort.

MW Peltz + Associates (MWP+A) is a full service landscape architectural design firm that offers its expertise to clients throughout California, clients who seek for the highest level of service on their projects. We strive to exceed the expectations of our clients in several ways: with the creativity of our design and planning solutions; the clear and concise quality and thoroughness of our construction documents; with our ability to meet project schedules; and with our proficiency to deliver construction documents that are bid at or below project budgets. Our focus and desire is to build relationships with clients that last for a lifetime. Therefore, we promise to listen to our clients as we work for them, meeting their goals as well as the objectives of their projects. MW Peltz + Associates was established in January 2001, combining the seasoned talents of registered landscape architects, Mike Lewis, Doug Roberts, Mike Nichols, and Mike Peltz. Our team provides a combined total of over 60 years in the design profession. This experience in design and constructed projects coupled with the reality that each project is unique and deserves our individual focus keeps us on track to providing our clients with thorough service throughout the extent of the project and beyond. We are an equal opportunity employer and a small business enterprise.

We have gathered a team of design specialists to meet the needs identified in your RFP for the project. All of our team members are committed to the time schedule mentioned in the RFP and outlined in detail in this proposal and are ready to meet the challenge that this project brings. MWP+A's office, located in Solana Beach, CA will be used as the hub for our team's project management. Mike Peltz, landscape architect and owner of MWP+A will be the Principal-in-Charge and Mike Lewis, landscape architect and Senior Associate with our firm, will be the Project Manager and the day-to-day contact person for the project.

143 S. CEDROS AVENUE SUITE B-104 SOLANA BEACH, CA 92075
858.481.0888 FAX 858.481.6808 www.mwpeltz.com RLA 2010

Mike Lewis has worked with Mike Peltz for over 20 years and together they have designed more than 50 park projects during that time. Many of these projects have included community workshops, a service we enjoy providing. Mike will be available on a daily basis, via phone, fax, or email, as required to meet the demands of this project. We will be providing weekly progress reports on each Monday, addressing significant accomplishments and items that need attention. In addition to those reports, we will be meeting with the EDA at least once a month to coordinate and discuss pertinent issues regarding the design and contract documents.

We have selected the talents of three main sub-consultants. We have selected Cary Packer with Merrell Johnson Engineering of Victorville as the team's Civil Engineer and Surveying Services Consultant because of a strong history of quality experience. Cary's expertise and enthusiasm for his profession will ensure that the refinements in the design are carried through to the contract documents. Neal Alagia of LSW Engineers will provide the team with his expertise in electrical engineering for the site and basketball court lighting, miscellaneous electrical services and potential utility coordination/relocation if required, with the rest of the existing park improvements. LSW served as our electrical consultant on the two parks in Victorville and another in Poway where sport field lighting was provided. Additionally, Hashmi Quazi of Converse Consulting will provide our team with Geotechnical services for the project. We have worked Hashmi on previous park projects, as well.

WE realize that the RFP requires our team to complete the contract documents within 90 days. Our attached references will confirm our team's proven ability to prepare plans and specs in a quick timeframe, as demonstrated by our work on Lemon Grove's Broadway Street Tree Project last summer. Additionally, we have experience with joint-use projects between agencies and school districts representing both sides as represented by the design of the Porterville Community Center for the City of Porterville, Finney Overlook for the County of San Diego, and Mesa Linda Park and Mojave Vista Park for the City of Victorville.

We understand the need to perform our services in an expeditious manner. We believe we are in a great position to start this effort quickly: 1) We have the experience on very similar types of projects; 2) We have experience in producing contract documents on or under the projected construction budget; and 3) We currently have the available staff to meet the demands of this project. With these attributes, we hope to be selected as the best-qualified firm to be involved in this project.

Thank you for your consideration.

Sincerely,



Michael Lewis, ASLA
Senior Associate, RLA 3049



September 18th, 2006

City of Victorville
Purchasing Division
Attention: Celeste Calderon, Buyer
PO Box 5001
Victorville, CA 92393-5001

RE: Doris Davies Park Revision

Dear Celeste Calderon,

BMLA and the members of their design team would like to thank you for including us in this RFP process. We look forward to working with you and your staff, and working on another project in Victorville.

We have included a scope of services that take the project from a conceptual design phase right through to the bidding process. We anticipate much interaction between our team and the City of Victorville with the goal of creating the best park for the community.

We believe that we have unique skill sets and more than enough experience completing projects just like Doris Davies. We anticipate that our team of consultants will complete the required tasks in the ninety day schedule and on budget, exceeding your expectations along the way. Also, the following proposal of services, the associated schedule, and fees are firm and irrevocable.

BMLA is dedicated to providing the best landscape architectural services to public sector we believe that our reputation and past works thoroughly support this claim.

If you have any questions regarding this proposal or work in the future, please do not hesitate to contact me.

Sincerely,

Baxter E. Miller, ASLA, RLA#2136
President, BMLA, INC
Landscape Architecture and Site Planning

310 North Joy Street
Corona, CA 92879
951.737.1124
Fax 951.737.6551

Central Coast Office
805.348.1393



September 7, 2006

Ms. Celeste Calderon, Buyer
Purchasing Division, Finance Department
CITY OF VICTORVILLE
14343 Civic Drive
Victorville, CA 92393-5001

LETTER OF TRANSMITTAL

RE: Doris Davies Park Revision – RFP #CC07-001
Landscape Architectural Service Proposal

Dear Ms. Calderon;

We understand that we will be providing landscape architectural services to prepare construction documents for the 4.6 acre portion of Doris Davies Park. Our services will include design development plans, and construction documents to achieve the design program as set forth by the conceptual plan. In addition to the service which will be provided by our talented staff of experienced park designers we will utilize the services of Armstrong & Brooks Civil Engineers, Reedcorp Electrical Engineers and Converse Geotechnical Engineers. We look forward to meeting with members of the City staff throughout the course of the project.

RHA brings a diversified tenure in park master planning, park design, park construction document preparation and park construction review. This tenure of experience coupled with the project team expertise in park design and construction make RHA the right firm to complete this project within the designated time frame.

We are looking forward to working with you and the other team members to develop construction documents for the Revision of Doris Davies Park. We have prepared a proposal which outlines the project design team and our qualifications and defines a project scope of work.

Cordially,
RHA LANDSCAPE ARCHITECTS-PLANNERS, INC.

A handwritten signature in black ink, appearing to read 'Todd Bagley', is written over the typed name.

Todd Bagley, RLA
Principal

TB:bc



LANDSCAPE ARCHITECTURE

Brockton Avenue

Victorville, CA 92506

Phone: 369-0700

Phone: (951) 369-4039

Email: tim@comworksdg.com

Website: www.comworksdg.com

Phone: (951) #2110

Phone: (951) #389

September 18, 2006

Mr. Jon E. Gargan, Director
Community Services Department
CITY OF VICTORVILLE
14343 Civic Drive
Victorville, California 92393

**RE: Proposal for Consulting Services - Doris Davies Park Revision
(RFP #CC07-001)**

Dear Mr. Gargan and Members of the Selection Committee:

On behalf of the Design Team of Community Works Design Group (CWDG), we are pleased to present this proposal to undertake professional design services for the City of Victorville.

The firm of Community Works Design Group is best suited to assist the City of Victorville in the design and development of the Doris Davies Park Revision for the following reasons:

- We have completed over one hundred (100) neighborhood and community parks similar to the project described by the City. All have been designed for creativity, sensitivity, and efficiency and continue our excellent record of coming in under the construction estimate.
- This project is about community. It is about finding out how this proposed community amenity can best serve the community of today and tomorrow while respecting and capturing the past. It is about "purple cows." Purple cows are different, extraordinary, and not the same old "brown cows!" Community Works believes this project can be a "purple cow" with vision, thinking out of the box (corral?) and seeing the project creatively serving the community of tomorrow.
- A critical member of our team is Mr. Bob Fawcett. Mr. Fawcett has joined CWDG after a successful 30 year career with the City of Los Angeles Park and Recreation Department. His knowledge of working "with" communities, consensus building, and designing parks that the maintenance division can, in fact, easily and affordably maintain will be keys to the long term success of Doris Davies Park.
- We are experts regarding totally accessible and integral facilities design. We have assisted municipalities with the preparation of transition plans and have designed several unique facilities oriented towards meeting the needs of the physically challenged.
- Mr. Tim Maloney, President of the firm, Mr. Bob Fawcett, Landscape Architect, and Mr. Scott Rice, Landscape Architect, will personally handle the project from beginning to end. This project will not be handed off to junior staff for management. **We guarantee it.**

- CWDG is LEED certified. Ms. Amelia Herndon and Mr. Scott Rice are our key resources for assuring our firm is on the cutting edge of sustainable design. Ms. Herndon and Mr. Rice have assisted in the preparation of many sustainable and renewable grading and drainage concepts to meet CEQA and NEPA requirements. We see a great opportunity to incorporate LEED concepts within this next phase of the park design and provide educational opportunities for the community.
- Another important member of our team is Mr. Andrew Walcker with IW Engineering. IW Engineering has the expertise and capacity to provide the highest level of civil engineering for this project.
- Mr. Joe Rogowicz with Donn C. Gilmore Associates will be providing the electrical design for the basketball courts, security lighting, restroom and related appurtenances. Gilmore Associates has been providing the highest level of sports field design for over 20 years. We are pleased to include them as a member of our team
- CWDG has unmatched experience in developing parks with municipalities. In addition, Mr. Maloney previously worked with the City of San Luis Obispo Park and Recreation Department as Assistant Landscape Architect. Mr. Bob Fawcett has over 30 years of experience as a Landscape Architect with the City of Los Angeles Park and Recreation Department. Over 90% of the projects the firm selects are municipal projects.
- We have a sincere desire to develop our professional relationship with and demonstrate our high level of service to the City of Victorville.

THE PROPOSAL

Our proposal covers key issues we feel to be of greatest significance in the selection of the design consultant and the smooth, efficient completion of the project. For your convenience, we have organized our submittal into various sections which are referenced in the table of contents provided.

All services will be performed from our office in Riverside. We have the staff and resources necessary to complete this project for the City. Our proposal is valid for a period of ninety (90) days.

The members of the Design Team and I appreciate your consideration of our team for this important project and we look forward to working with the City of Victorville.

Respectfully submitted,

COMMUNITY WORKS DESIGN GROUP



Timothy I. Maloney, ASLA, CPRS
Landscape Architect
License Number 2110

Celeste Calderon

From: Gerald Young
Sent: Thursday, November 16, 2006 1:13 PM
To: Celeste Calderon
Subject: FW: Doris Davies Park
Importance: High

Here is the final proposal. We accept this.

-----Original Message-----

From: Mike Peltz [mailto:mpeltz@mwzelt.com]
Sent: Wednesday, November 01, 2006 10:55 AM
To: Gerald Young
Subject: Doris Davies Park

Hi Jerry,

Per our discussion earlier this morning, here is our revised fee breakdown that includes a new civil engineer's fee (in place of Merrill Johnson) and the elimination of construction administration and submittal review time from our service. I've also separated our reimbursable expenses out from the "fee" which, after all the modifications yields a new fee of \$128,180. The new civil fee is just over \$9,000 more than our original civil fee.

Let me know if you need anything else from us at this time.

Take Care,

Michael Peltz, ASLA
MWP+A, Principal

MW Peltz + Associates, Inc.
143 S. Cedros Avenue
Suite B104
Solana Beach, CA 92075

t. 858.481.0888
f. 858.481.6808

12/11/2006



AGENDA ITEM

CITY COUNCIL MEETING OF: December 19, 2006

SUBMITTED BY: Christopher P. Stathis *CPS*
Director of Information Systems

DATE: December 11, 2006

SUBJECT: The purchase of a HP DesignJet 4500 Multi-Function Plotter

RECOMMENDATION: That the Honorable City Council award the purchase of a HP DesignJet 4500 MFP in the amount not to exceed \$30,000.00 to CDW-G.

FISCAL IMPACT: \$29,915.95

Budget Amount: \$30,000.00

Budget Account No.: 540510-10100-30200-30319-52217

--Finance Dept. Use Only--
Additional Appropriation:

No
 Yes/\$Amount:

Finance Director Review and
Approval *Ap*

DISCUSSION: This purchase will allow the City GIS staff to meet the increasing demands from all Departments to plot highly detailed, large format maps. This plotter will be located in the Engineering Department area.

Submitted by: Brandon Cales, IS Coordinator

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AGENDA ITEM

CITY COUNCIL MEETING OF: December 19, 2006

SUBMITTED BY: John Becker, Fire Chief DATE: December 4, 2006

SUBJECT: AUTHORIZATION TO CONSIGN/SELL SURPLUS FIRE APPARATUS

RECOMMENDATION: Staff Recommends Approval

FISCAL IMPACT:

Budget Amount: \$_____

--- Finance Dept. Use Only ---

Budget Account No.: _____

Additional Appropriation:

- No
- Yes/\$Amount: _____

Finance Director Review &
Approval _____

DISCUSSION: The Department has a 1985 Pumper that is now surplus to our needs. We are requesting authorization to declare the unit surplus and consign for sale to "Fire Trucks Plus," a company that specializes in sales of older apparatus.

The Fire Department expects a surplus value of \$10,000-\$12,000 and requests that amount be allocated back to our Tool & Equipment account.

The Council's approval to proceed is hereby requested.

JB/ta

Consent
#5G
12-19-06

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AGENDA ITEM

CITY COUNCIL MEETING OF: December 19, 2006

SUBMITTED BY: John A. McGrade
City Engineer

DATE: December 8, 2006

SUBJECT: A 20% release of the Letter of Credit for Sewer and Streets in Tract 16251 and accept the maintenance of these improvements.

RECOMMENDATION: Approval of a 20% release of the Letter of Credit and accept the maintenance for sewer and streets of Tract 16251.

FISCAL IMPACT: None

Finance Dept. Use Only
Additional Appropriation
 No _____
 Yes/\$ Amount _____
Finance Director Review
\$ Approval _____

DISCUSSION: American Housing Group has completed the required improvements for the sewer and streets in Tract 16251. Therefore, a 20% release of the Letter of Credit and acceptance of maintenance of these improvements is recommended at this time.

Tr. 16251, Letter of Credit Faithful Performance DCB #16/05
Letter of Credit L & M Performance DCB #17/05

Attachments

JAMc:ccp
/engineeringnas/development/plancheklists/agendaitems/16251bondrelease. 12806



RECEIVED
NOV 9 2006
ENGINEERING DEPT.

November 9, 2006

Helen Wilson
City of Victorville
Engineering Department
P.O. BOX 5001
Victorville, CA 92393-5001

Re: Bond Release Tr. 16251 for Street and Sewer Improvements

Dear Helen Wilson,

At this time we are requesting that you begin the bond release process for 20% of the Street and Sewer Improvement Bond for Tract 16251. Our superintendent will schedule a *bond walk* with the correct City of Victorville Engineering Inspector as soon as a meeting time is convenient for both parties.

Thank you for your time. Please contact me if any additional information is needed.

Regards,
Peggy Shaughnessy
Project Coordinator
American Housing Group

MEMORANDUM



DATE: August 17, 2005

FROM: Robert Lewis
Public Works Inspector

TO: Helen Wilson
Associate Civil Engineer

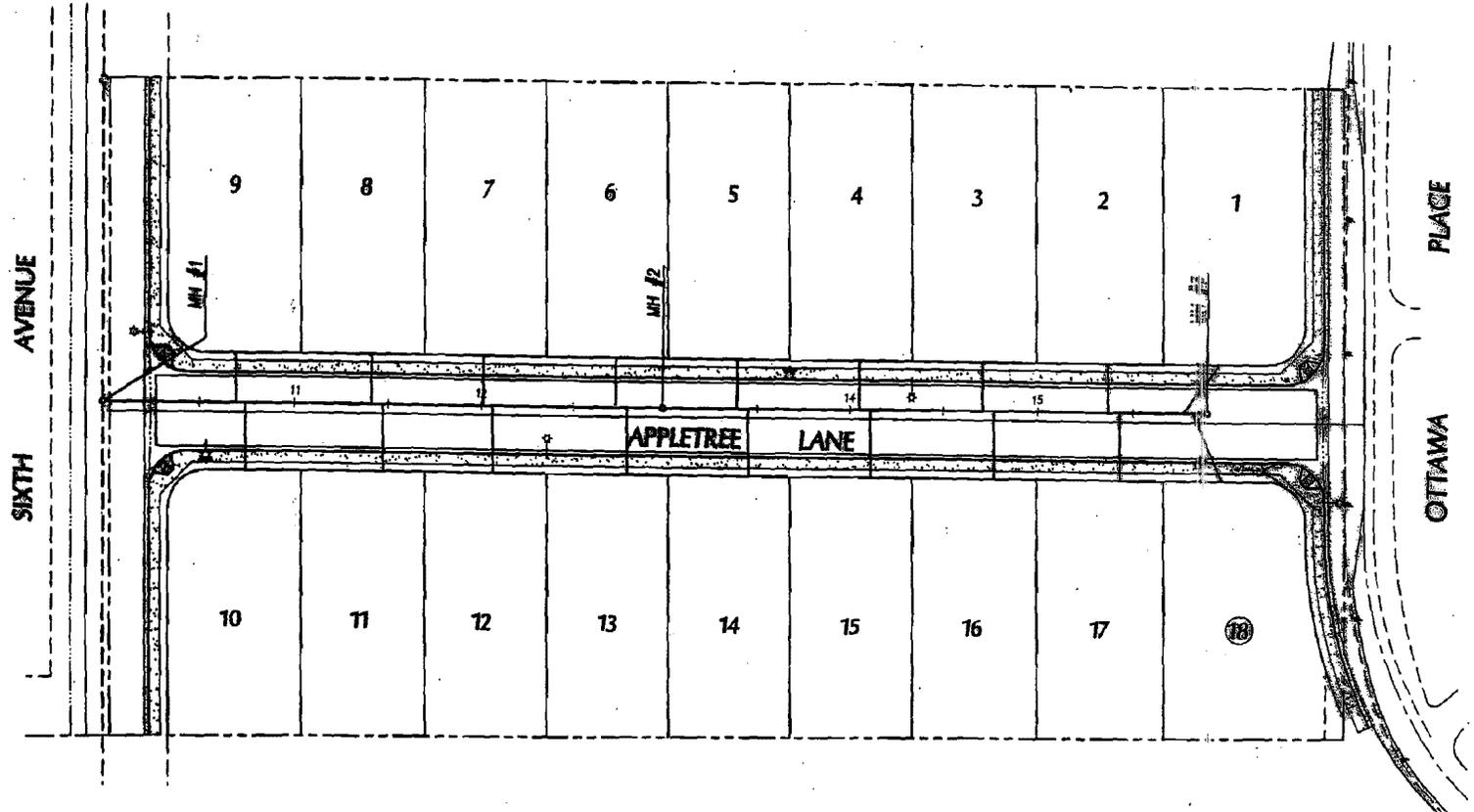
SUBJECT: TRACT 16251 BOND REDUCTIONS

The sewer, storm drain, and street improvements for the referenced tract have been inspected and found to be in satisfactory condition. It is my recommendation that the final 20% of bond be released.

If you should have any questions, please contact me.

Robert E. Lewis

TRACT NO. 16251





AGENDA ITEM

CITY COUNCIL MEETING OF: December 19, 2006

SUBMITTED BY: John A. McGlade  DATE: December 7, 2006
City Engineer

SUBJECT: An 80% bond reduction for Sewer and Streets in Tract 16244-2 & 3.

RECOMMENDATION: Approval of an 80% bond reduction for sewer and streets.

FISCAL IMPACT: None

Finance Dept. Use Only
Additional Appropriation
 No _____
 Yes/\$ Amount _____
Finance Director Review
\$ Approval _____

DISCUSSION: Portrait Homes has substantially completed the required improvements for the sewer and streets in Tract 16244-2 & 3. Therefore, an 80% reduction is recommended at this time.

Tr. 16244-2, Street Bond No. 828743S
Sewer Bond No. 828744S
Tr. 16244-3 Street Bond No. 828747S
Sewer Bond No. 828748S

Attachments

JAMc:ccp

/engineeringnas/development/plancheklists/agendaitems/16244bondrelease.16244-2&3.12706

Victorville Desert Sands, LLC.

265 N. Joy St., Suite 200 Corona, CA 92879

Phone: (909) 520-8898

Fax: (909) 520-8878

November 10, 2006

RECEIVED
NOV 20 2006
ENGINEERING DEPT.

City of Victorville
Engineering Dept.
Attention: Helen Wilson
14343 Civic Drive
Victorville, Ca 92392-2399

Re: Bond releases Portrait Homes, Inc. / Victorville Desert Sands, LLC.
Tract No. 16244-2 & 3

Dear Ms. Wilson:

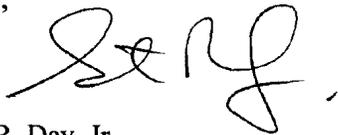
This letter is the 2nd request for the full and final release of all bonds for streets, monuments, sewer bonds and landscape attached to tract# 16244.2-3. This tract has been completed for approximately 6 months and at this time there is no apparent reason why our company should be still required to have bonds attached.

It also has been acknowledged and verified by Austin Richey (G & D Construction) that both phases have been inspected and approved by an inspector from your department.

Please resolve this matter as soon as possible.

Thank you for your assistance in this matter.

Sincerely,



Stephen R. Day, Jr.
Project Administrator

MEMORANDUM



DATE: December 5, 2006

FROM: Robert Lewis
Public Works Inspector

TO: Helen Wilson
Associate Civil Engineer

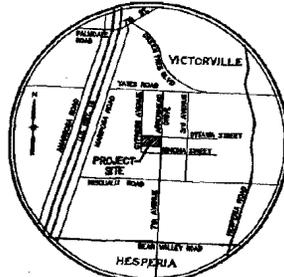
SUBJECT: TRACT 16244 2-3 STREET & SEWER BOND REDUCTIONS

The street and sewer improvements for the referenced tract have been inspected and found to be in satisfactory condition. It is my recommendation that the first 80% of bond be released.

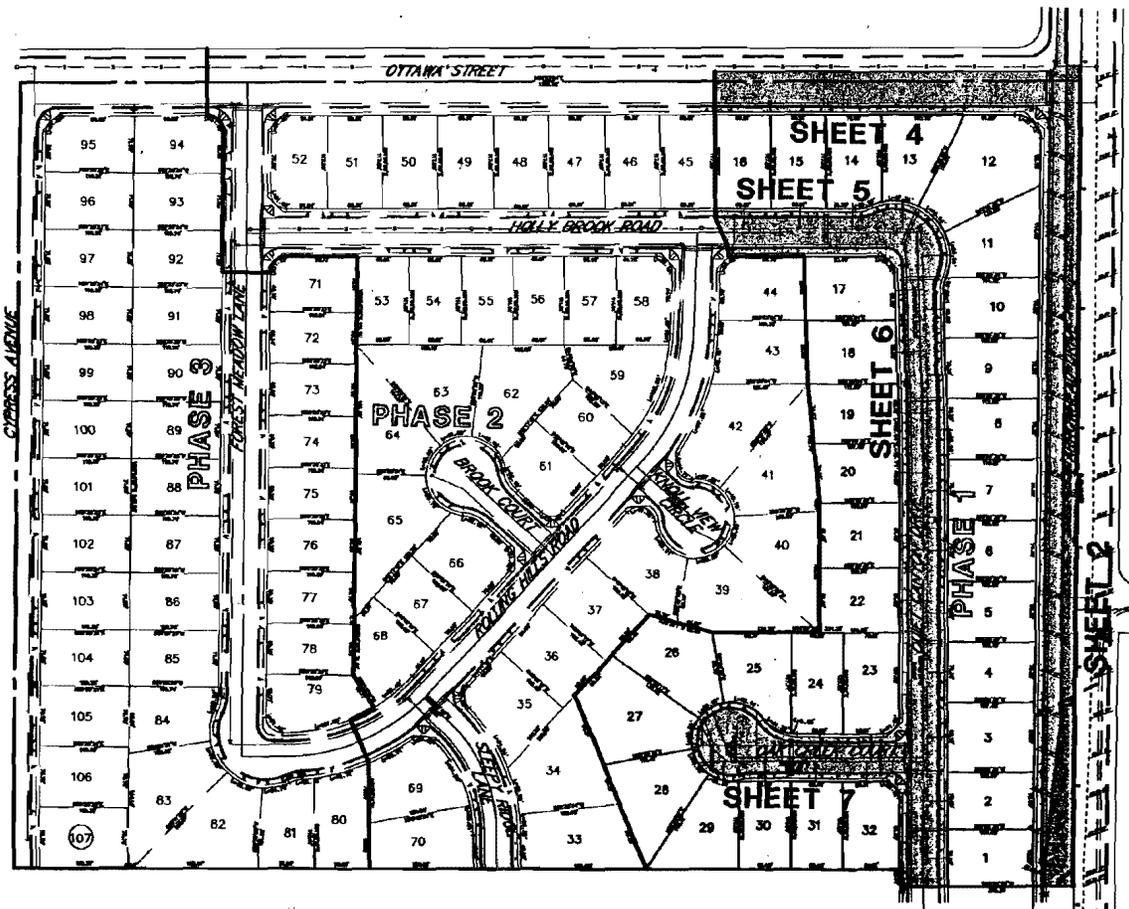
If you should have any questions, please contact me.

Robert E. Lewis

TRACT 16244



VICINITY MAP
NOT TO SCALE





AGENDA ITEM

CITY COUNCIL MEETING OF: December 19, 2006

SUBMITTED BY: John A. McGlade  **DATE:** December 7, 2006
City Engineer

SUBJECT: Final approval of Tract Map 16684.

RECOMMENDATION: Approval of Final Tract Map 16684.

FISCAL IMPACT: None

Finance Dept. Use Only
Additional Appropriation
 No _____
 Yes/\$ Amount _____
Finance Director Review
\$ Approval _____

DISCUSSION: *New West Homes has requested the final acceptance of Tract Map 16684 located South of Dos Palmas, North of Luna, East of Cobalt and West of Amethyst.*

Attachments

JAMc:ccp

/engineeringnas/development/plancheklists/agendaitems/16684.tractmap.12706

NEW WEST HOME

September 12, 2006

Mr. Sean McGlade
Engineering Department
City of Victorville
PO BOX 5001
Victorville, California 92393-5001

Re: Tract 16684

Dear Mr. McGlade:

New West at Luna LLC is requesting that you place Final Tract Map 16684 on the next available City Council Agenda. It is my understanding that you will require all fees, bonds and agreements to be submitted to you prior to the hearing date. The Subdivision Agreement, Development Agreement and Utility Surety Agreement have been previously provided to your department.

Thank you and please call me if you have any questions or comments.

Cordially,

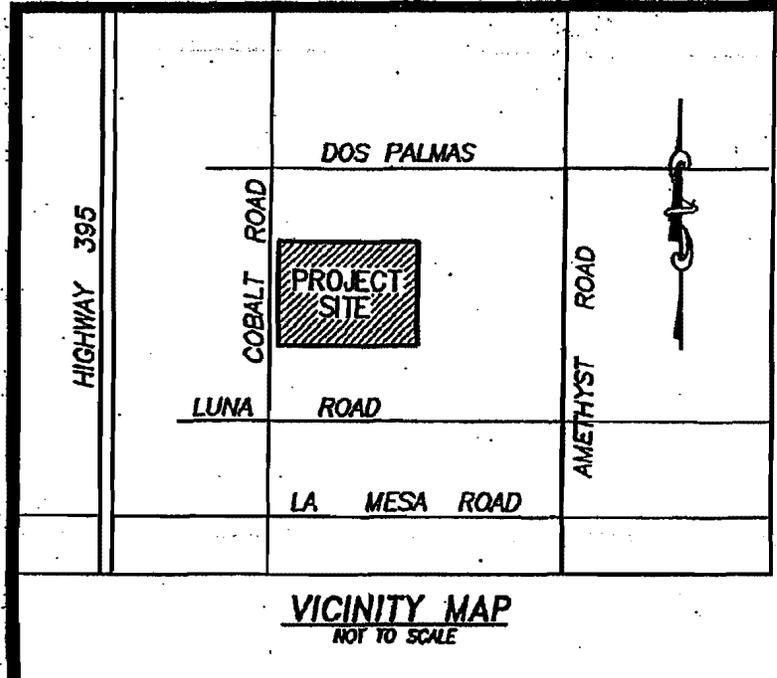


Mitchell Bradford
Senior Vice President

RECEIVED
SEP 14 2006
ENGINEERING

450 Newport Center Drive, Suite 480, Newport Beach, California 92660
Telephone (949) 640-6420 Fax (949) 640-9310

Tract 16684



VICINITY MAP
NOT TO SCALE

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AGENDA ITEM

CITY COUNCIL MEETING OF: December 19, 2006

SUBMITTED BY: John A. McGladrey 
City Engineer **DATE:** December 7, 2006

SUBJECT: Acceptance for maintenance of the sewer installed along Bellflower, Luna and Baldy Mesa Road.

RECOMMENDATION: Acceptance of the maintenance of the subject sewer line.

FISCAL IMPACT: None

Finance Dept. Use Only
Additional Appropriation
 No _____
 Yes/\$ Amount _____
Finance Director Review
\$ Approval _____

DISCUSSION: Victoria Homes has installed the required sewer line improvements along Bellflower, Luna and Baldy Mesa Road. Therefore, it is recommended that the sewer line be accepted for maintenance at this time.

Attachments

JAMc:ccp

/engineeringnas/development/plancheklists/agendaitems/seweraccept.victoriahomes.12706



1795 East Riverview Drive San Bernardino, CA 92408

August 31, 2006

RECEIVED
SEP 06 2006
ENGINEERING DEPT

City of Victorville
1434 Civic Drive
Victorville, CA 2394

Re: Dedication of Sewer Line

Dear Mr. ~~McGlade~~, *Helen*

As requested by the City of Victorville's Engineering Department the repairs and corrections have been completed on the Bellflower, Luna, Baldy Mesa sewer line installed by Victoria Homes. We respectfully request that the sewer line be now dedicated to the City of Victorville.

Thank you.

Sincerely,

Paul Osborne,
President



PALMDALE RD.

DOS PALMAS RD.

LUNA RD.

VINTON RD.

WHITE RD.

BEAVER AVE.

BAILEY MESA RD.

BRACEO ST.

MONTE VISTA RD.

CROSSINGS
SP-04-802

VISTA VERDE
SP-12-94

**VIGNERIA
SENIOR
LINE**

VERBEBA RD.

BELLFOWER ST.

OLIVINE RD.

MESA VIEW

BEAR VALLEY RD.

SYCAMORE ST.

California

GOSS RD.

WHITE RD.

PENA AVE.

RICHMOND AVE.

SEQ

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A G E N D A I T E M

CITY COUNCIL MEETING OF: December 19, 2006

SUBMITTED BY: John A. ~~McGlade~~ ~~City Engineer~~ **DATE:** 11/27/06

SUBJECT: Amendment to Professional Services Agreement with Project Partners to extend the agreement for an additional year.

RECOMMENDATION: That City Council approve the amendment to the Professional Services Agreement with Project Partners for an additional year.

FISCAL IMPACT: \$165,000 --Finance Dept. Use Only--
Additional Appropriation

(No)

Budget Amount: \$ 3,300,000

Budget Account:

521009-10100-65000-52193

Yes/\$Amount

Finance Director Review

Approval *Ap By ef*

DISCUSSION: On January 3, 2006, City Council awarded an extension of a professional services agreement to Project Partners to provide engineering project management services. A full-time in-house engineer has assisted the Engineering Department in the quality assurance review of subdivision improvement plans. The extension had a one-year term and is due to expire in January. The workload for subdivision plan checks has not decreased, nor is the workload expected to significantly decrease within the coming year. There is still a need for the professional services. Should the services not be needed within the one-year period, the agreement has provisions for termination. The City pays only for those services provided on an hourly basis. Staff recommends that City Council extend the professional services agreement with Project Partners for an additional year and appropriate funding from the Engineering Plan Check Fee Fund.

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VICTORVILLE

California

**VICTORVILLE CITY COUNCIL
MEETING OF:
December 19, 2006**

SUBMITTED BY:

Keith C. Metzler
Director of Economic Development

DATE: December 11, 2006

SUBJECT: Resolution 06-194 Recommending to the Victor Valley Economic Development Authority (VVEDA) Approval of the Proposed 2006 Amendment to the 1993 Victor Valley Redevelopment Plan (Amendment No. 8) and Approving the Form of the Documents in Connection Therewith

RECOMMENDATION: That your Honorable City Council Approve Resolution 06-194 Recommending Approval of the Proposed 2006 Amendment to the 1993 Victor Valley Redevelopment Plan

FISCAL IMPACT:

Tax Increment Revenue as described in the Report to Legislative Body

--FINANCE DEPARTMENT USE ONLY--

Budget: \$

Budget Account No.: _____

Additional Appropriation:

No _____

Yes/\$Amount _____

Approved _____

DISCUSSION: As your Honorable Council may be aware, the Victor Valley Economic Development Authority is currently in the process of a 2006 Amendment to the 1993 Victor Valley Redevelopment Project. This Amendment proposes to add approximately 30,166 acres of territory to the existing redevelopment project area. Of the added territory, approximately 10,492 acres are with the jurisdiction of the City of Victorville, 12,100 are within the jurisdiction of the County of San Bernardino jurisdiction, 7,447 acres are within the jurisdiction of the City of Adelanto, while 127 acres are within the jurisdiction of the Town of Apple Valley. Final approval of the 2006 Plan

CITY OF VICTORVILLE

14343 Civic Drive • Victorville, CA 92392 • 760.955.5032 760.955.5042 Fax

A WORLD OF OPPORTUNITY

Written
#7
12-19-06

Amendment is scheduled for December 20, 2006 by the VVEDA Board of Commissioners.

As a member of the Joint Powers Authority for the Victor Valley Economic Development Authority, the City of Victorville must approve the proposed 2006 Amendment and related documents, and recommend approval of the Amendment to the VVEDA Board. Therefore, staff is requesting your approval of the attached resolution. Staff remains available for any questions or comments you may have.

KCM:slg

Attachments:

Resolution 06-194

Map of Proposed 2006 Amendment Area

Amended Redevelopment Plan (Available, on file with City Clerk)

Report to Legislative Body (Available, on file with City Clerk)

CITY COUNCIL OF THE CITY OF VICTORVILLE

RESOLUTION NO. 06-194

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE RECOMMENDING TO THE VICTOR VALLEY ECONOMIC DEVELOPMENT AUTHORITY APPROVAL OF THE PROPOSED 2006 AMENDMENT TO THE 1993 VICTOR VALLEY REDEVELOPMENT PLAN (AMENDMENT NO. 8) AND APPROVING THE FORM OF DOCUMENTS IN CONNECTION THEREWITH

WHEREAS, the Victor Valley Economic Development Authority (“VVEDA”) is a joint powers authority which was formed for the purposes of causing the redevelopment of former George Air Force Base (“GAFB”) (now known as Southern California Logistics Airport) and certain areas in proximity thereto in accordance with the provisions of Health and Safety Code Section 33492.40; and

WHEREAS, VVEDA was formed and presently exists pursuant to a certain Fourth Amended Joint Exercise of Powers Agreement (the “Joint Powers Agreement”) by and among the City of Victorville, City of Adelanto, City of Hesperia, Town of Apple Valley and County of San Bernardino (collectively the “Members”); and

WHEREAS, in order to promote the civilian reuse of former GAFB, VVEDA has previously taken certain actions with respect to the adoption of the 1993 Victor Valley Redevelopment Plan, as amended (the “Redevelopment Plan”) and the project area subject to the Redevelopment Plan (the “Project Area”); and

WHEREAS, certain of the Members have deemed it desirable at this time to seek an amendment to the existing Redevelopment Plan (the “2006 Amendment”) to add territory from the City of Adelanto, the City of Victorville, the Town of Apple Valley and the County of San Bernardino to the Project Area; and

WHEREAS, the City Council of the City of Victorville deems it appropriate to approve the form of the proposed 2006 Amendment and the related documents as attached hereto as Exhibit “A” and incorporated herein by this reference; and

WHEREAS, the City Council of the City of Victorville, as a Member of VVEDA, deems it desirable at this time to request that the VVEDA Commission, if it has not already done so, consider the adoption of a 2006 Amendment to the Redevelopment Plan and further recommend that the VVEDA Commissioners approve the proposed 2006 Amendment of the existing Redevelopment Plan.

NOW THEREFORE, BE IT RESOLVED:

SECTION 1. The Recitals contained herein are true and correct and are incorporated herein by this reference.

SECTION 2. The City Council of the City of Victorville hereby approves the form of the proposed 2006 Amendment to the 1993 Redevelopment Plan and the related documents as attached hereto as Exhibit "A".

SECTION 3. The City Council of the City of Victorville hereby requests that the VVEDA Commission, if it has not already done so, consider favorably the 2006 Amendment to the Redevelopment Plan and recommends that the VVEDA Commission take such steps as may be necessary to pursue adoption of the 2006 Amendment.

SECTION 4. This Resolution shall take effect upon the date of its adoption.

CITY COUNCIL OF THE CITY OF VICTORVILLE

AGENDA

December 19, 2006

Item: **RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE RECOMMENDING TO THE VICTOR VALLEY ECONOMIC DEVELOPMENT AUTHORITY APPROVAL OF THE PROPOSED 2006 AMENDMENT TO THE 1993 VICTOR VALLEY REDEVELOPMENT PLAN (AMENDMENT NO. 8) AND APPROVING THE FORM OF DOCUMENTS IN CONNECTION THEREWITH**

Exhibit A – 2006 Amendment to Redevelopment Plan and related documents

Action to
be Taken: Adopt Resolution append Exhibit A.

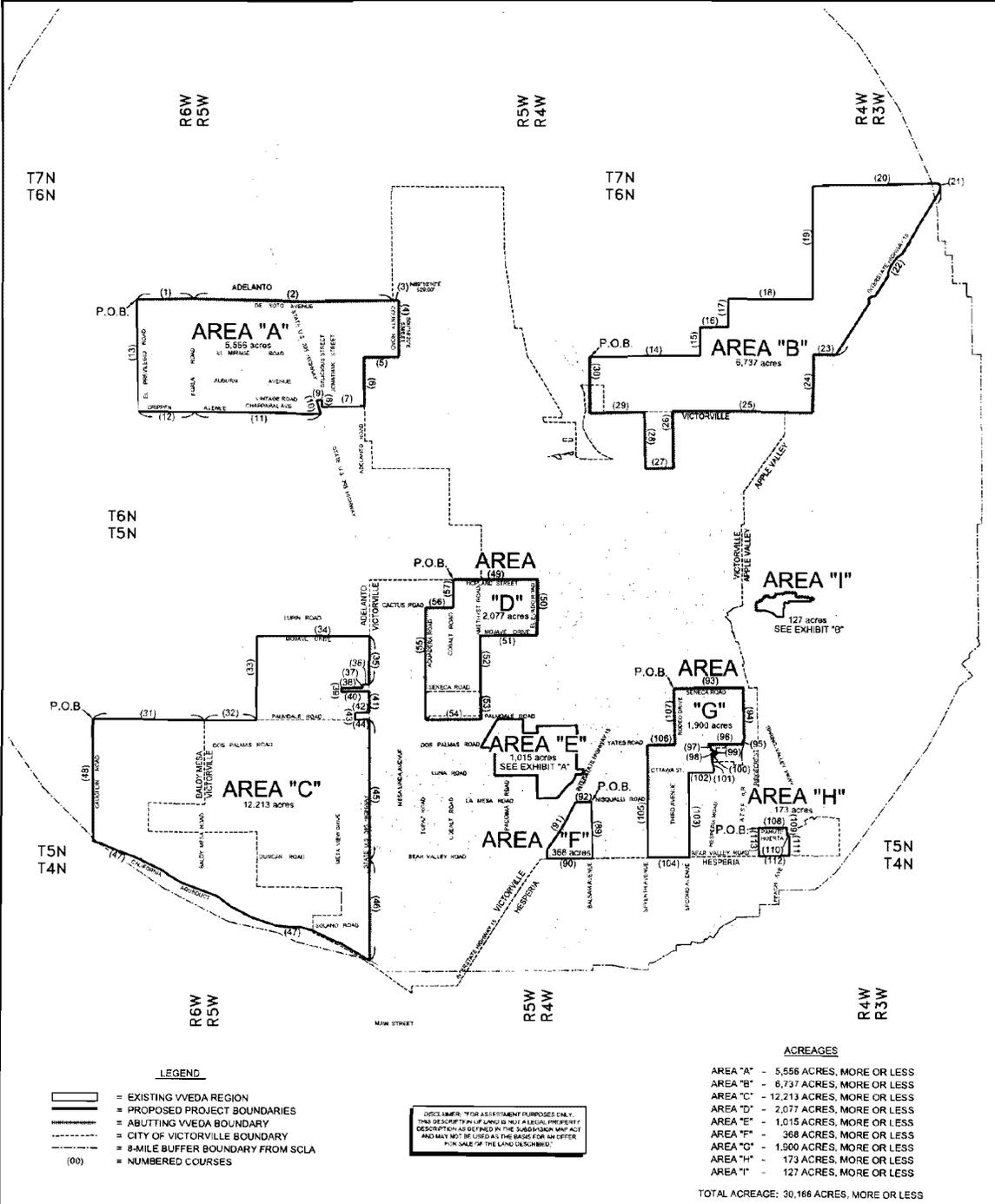
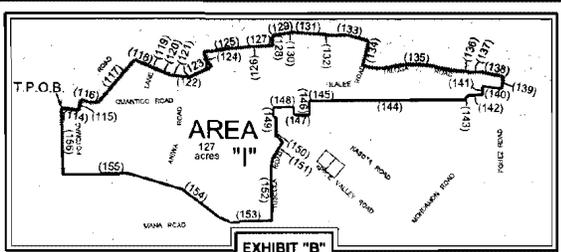
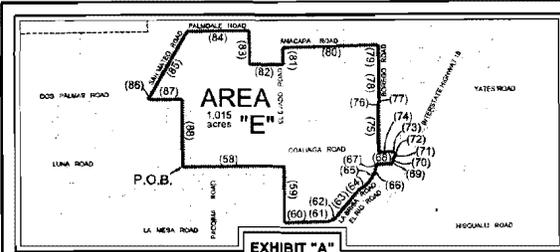
Certified copy of Resolution to be returned to Green, de Bortnowsky & Quintanilla, LLP

EXHIBIT "A"

2006 AMENDMENT TO REDEVELOPMENT PLAN
(Amendment No. 8)
and related documents

EXHIBIT "A"

2006 AMENDMENT TO REDEVELOPMENT PLAN
(Amendment No. 8)
and related documents



CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
14343 CIVIC DRIVE
VICTORVILLE, CA 92392
760-955-5156

John A. McGlade
CITY ENGINEER
CITY OF VICTORVILLE

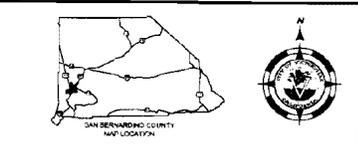
BY: _____
P.E. NO. 40935 EXP. 01/01/07
U.S. NO. 4245 EXP. 03/06

D.T.C.



**VICTOR VALLEY
REDEVELOPMENT
PROJECT AREA
2006 AMENDMENT**

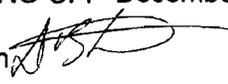
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1"=400'





AGENDA ITEM

CITY COUNCIL MEETING OF: December 19, 2006

SUBMITTED BY: Douglas B. Robertson  **DATE:** December 11, 2006
Deputy City Manager

SUBJECT: **Presentation of Resolution Number 06-195 Requesting an Amendment of the Sphere of Influence of the City of Victorville**

RECOMMENDATION: Approve the resolution and direct staff to file the application with LAFCO

FISCAL IMPACT: none at this time

Budget Amount: _____

Budget Account No. _____

---Finance Dept. Use Only---

Additional Appropriation:

+---+

+---+ No

+---+

+---+ Yes/\$Amount: _____ Finance

Director Review &

Approval _____

DISCUSSION:

Last summer, staff received notification from LAFCO that it was beginning the five year Municipal Service Review and Sphere of Influence Update. Final determinations regarding the size and location of the expansion of the sphere of influence were held up due to negotiations with Adelanto and Helendale.

In August 2006, Council directed staff to begin negotiations with the County regarding expansion of the sphere of influence pursuant to Government Code section 56425 (b). This discussion was held in September 2006 with staff from the County Administrator's Office as instructed by LAFCO. The proposed sphere amendment area is shown on the attached map and in the attached legal description and includes approximately 37,000 acres of land.

The proposed resolution is the initiating document for the sphere amendment request. Staff is requesting approval of the proposed resolution and further requests direction to file the necessary documents related to the application.

**A RESOLUTION OF APPLICATION BY THE
CITY COUNCIL OF THE CITY OF VICTORVILLE
REQUESTING THE LOCAL AGENCY FORMATION COMMISSION CONSIDER
AN AMENDMENT OF THE SPHERE OF INFLUENCE OF
THE CITY OF VICTORVILLE**

BE IT RESOLVED by the City Council of the City of Victorville, that:

WHEREAS, the Cortese-Knox-Hertzberg Local Government Reorganization Act of 2000 requires the City of Victorville to review its sphere of influence every five (5) years; and

WHEREAS, according to the United States census, California's population is expected to grow by 17.7 million between 1995 and 2025; and

WHEREAS, Victorville has grown by approximately 30,000 new residents over the last five (5) years; and,

WHEREAS, the Southern California Association of Governments has estimated a population increase of 1 million for the Victor Valley by 2030; and,

WHEREAS, Victorville hereby determines the proposed sphere amendment area is likely to need municipal services in the future, and a map and legal description of the boundaries of the territory are attached hereto as Exhibit A and Exhibit B, and, by this reference, are incorporated herein; and

WHEREAS, the territory that is subject to this sphere amendment is located entirely within an unincorporated area of the County of San Bernardino; and

WHEREAS, the future development in the proposed sphere amendment area would be best served by the City of Victorville; and

WHEREAS, the following agency or agencies would be affected by the proposed jurisdictional changes:

<u>Agency</u>	<u>Nature of Change</u>
City of Victorville	Amendment to Sphere of Influence
County of San Bernardino	Amendment to Sphere of Influence within County Territory

NOW, THEREFORE, this Resolution of Application is hereby adopted and approved by the City Council of the City of Victorville and the Local Agency Formation Commission of San Bernardino County is hereby requested to take proceedings for the proposed sphere of influence amendment as authorized and in the manner provided by the Cortese-Knox-Hertzberg Local Government Reorganization Act of 2000.

[END OF THIS PAGE]

PASSED AND ADOPTED this _____ day of _____, 20____, by the City Council of the City of Victorville, County of San Bernardino, State of California, by the following vote:

AYES: _____

NOES: _____

ABSTAIN: _____

ABSENT: _____

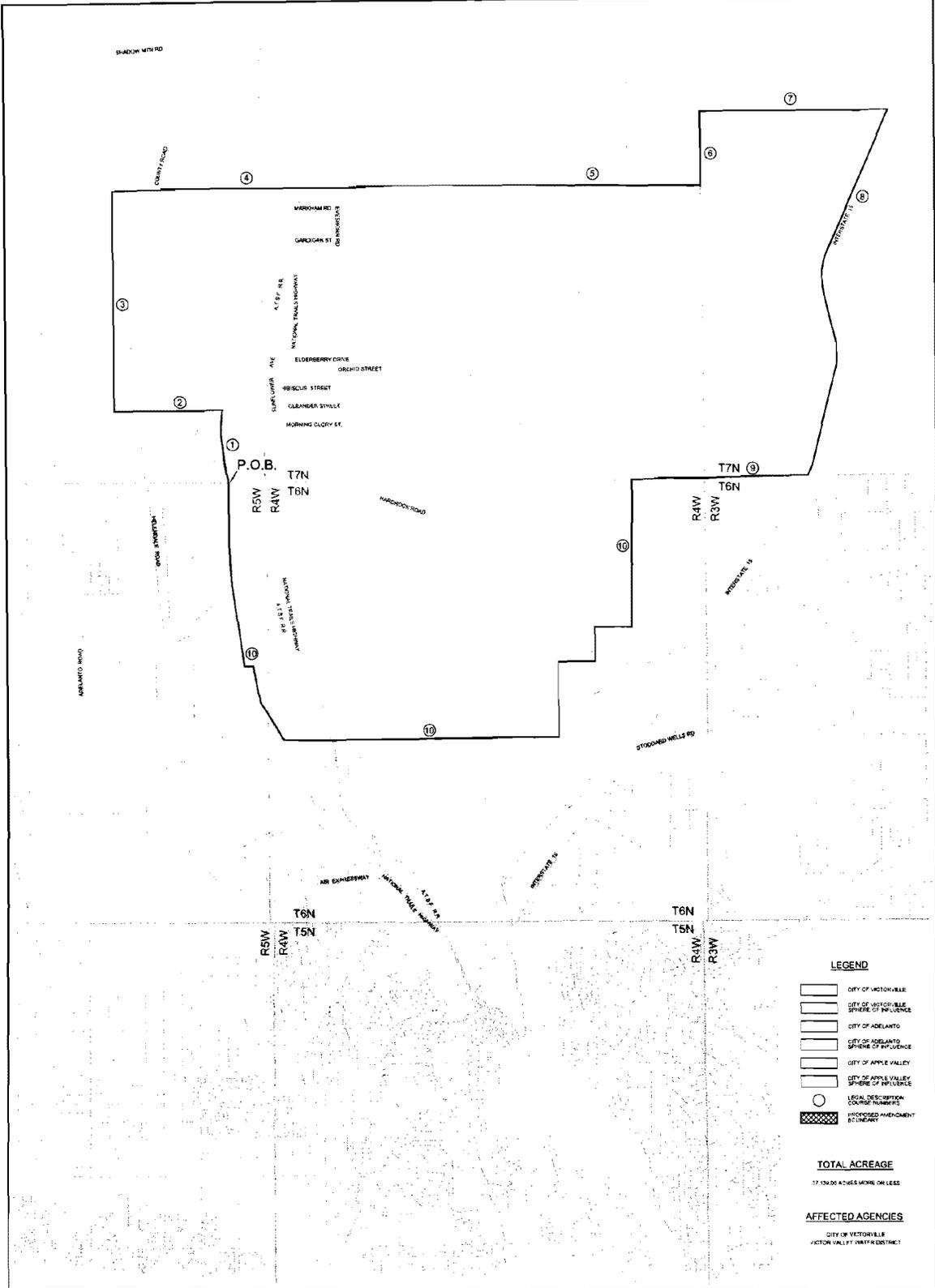
Terry E. Caldwell, Mayor

ATTEST:

Carolee Bates, City Clerk

APPROVED AS TO FORM:

Andre de Bortnowsky, Assistant City Attorney

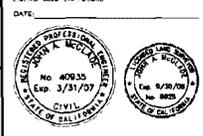


CITY OF VICTORVILLE
ENGINEERING DEPARTMENT
14343 CIVIC DRIVE
VICTORVILLE, CA 92392
760-955-5158

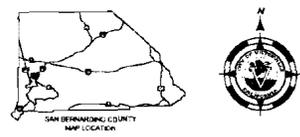
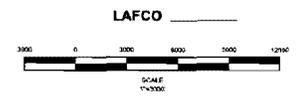
John A. McGlade
CITY ENGINEER
CITY OF VICTORVILLE
BY: _____
REG. NO. 40935 EXP. 3/31/07
I.S. NO. 3826 EXP. 07/08
DATE: _____

AMENDMENT TO THE CITY OF VICTORVILLE
SPHERE OF INFLUENCE
DATE: NOVEMBER 14, 2006

GENERAL DESCRIPTION
SAN BERNARDINO COUNTY, CA
VICTOR VALLEY REGION



AMENDMENT TO THE CITY OF VICTORVILLE
SPHERE OF INFLUENCE



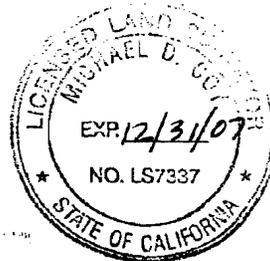
**AMENDMENT TO THE CITY OF VICTORVILLE
SPHERE OF INFLUENCE
LAFCO NO. _____**

Beginning at the North ¼ corner Section 1, Township 6 North, Range 5 West also being the Northeast corner of City of Victorville 1997-1 Reorganization (LAFCO # 2833) dated August 17, 1998:

- (1) thence Northerly along the centerline of the Mojave River to the intersection of the North line of Section 36, Township 7 North, Range 5 West SBM;
- (2) thence West along the North line of said Section 36 and 35, also the existing boundary of the City of Adelanto as established by Annexation No. 99-01 per LAFCO #2858;
- (3) thence North along the West line of Sections 26, 23, and 14, Township 7 North, Range 5 West to the Northwest corner of Section 14;
- (4) thence East along the North line of Section 14, 13, Township 7 North, Range 5 West;
- (5) thence continuing East along the North line of Sections 18, 17, 16, 15, 14, and 13 to the Northeast corner of section 13;
- (6) thence North along the East line of Section 12, also the line between Range 3 West and 4 West to the Northwest corner of Section 7, Township 7 North, Range 3 West;
- (7) thence East along the North line of Section 7, 8, and 9 to the intersection of Interstate 15;
- (8) thence Southerly along Interstate 15 to the intersection of the North line of Section 5, Township 6 North, Range 3 West, also a point on the North boundary of LAFCO Action # 2533 dated July 12, 1989;
- (9) thence West and South along the various courses of LAFCO # 2533 to the intersection of LAFCO # 2833;
- (10) thence Northwesterly along the various courses of LAFCO # 2833 to the Point of Beginning.

This legal description prepared by
me or under my direction.

Michael D. Coy 12-8-06
Michael D. Coy, LS 7337 Exp 12/31/07





AGENDA ITEM

CITY COUNCIL MEETING OF: December 19, 2006

SUBMITTED BY: John A. 
City Engineer

DATE: December 11, 2006

SUBJECT: Vacation (Abandonment) of the Drainage Easement within Parcel 1 of Parcel Map No. 8167.

RECOMMENDATION: The Engineering Department recommends approval of the vacation (abandonment) of the Drainage Easement in Parcel 1 of Parcel Map No. 8167, recorded in Parcel Map Book 86, Pages 39 and 40 and adoption of Resolution No. 06-193.

FISCAL IMPACT: None

Budget Amount:
Budget Acct. No.:

Finance Dept. Use Only
Additional Appropriation
 No _____
 Yes/\$ Amount _____
Finance Director Review
\$ Approval _____

DISCUSSION: Parcel Map No. 17477 was recently recorded dedicating to the City of Victorville a 20 foot wide drainage easement to which coincides with the existing storm drain improvements per as-built Plan No. P-340. This new easement thereby predicates the vacation (abandonment) of the former easement, which did not align with said improvements.

RESOLUTION NO. 06-193

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE ORDERING THE VACATION (ABANDONMENT) OF THE DRAINAGE EASEMENT IN PARCEL 1 OF PARCEL MAP 8167.

WHEREAS, The City Council of the City of Victorville, pursuant to Division 9, Part 3, Chapter 4 of the Street and Highway Code, having reviewed and considered the evidence offered in relation to the proposed vacation (abandonment) of the Drainage Easement within Parcel 1 of said Parcel Map as delineated on Exhibit "A" attached, and;

WHEREAS, said Drainage Easement no longer coincides with existing drainage conditions and improvements, and;

WHEREAS, said vacation is exempt from California Environmental Quality Act under Section 15305 Class 5 (c)

NOW, THEREFORE, the City Council of the City of Victorville does hereby order the vacation (abandonment) of the Drainage Easement more particularly described as follows:

That 28 foot wide Drainage Easement as shown in Parcel 1 of Parcel Map No. 8167, recorded in Parcel Map Book 86, Pages 39 and 40, records of San Bernardino County, California.

SEE ATTACHED EXHIBIT "A"

BE IT FURTHER RESOLVED, that the City Council of the City of Victorville shall, pursuant to Section 15062 of the California Environmental Quality Act Guidelines cause a Certificate of exemption to be filed.

BE IT FURTHER RESOLVED, that the City Clerk of the City of Victorville shall cause a certified copy of this resolution to be recorded in the office of the Recorder of the County of San Bernardino, and that from and after the date that this resolution is recorded said Drainage Easement in Parcel 1 of Parcel Map No. 8167 is thereby vacated (abandoned).

August 8, 2006
City of Victorville
Engineering Department
P.O. Box 5001
Victorville, CA 92393

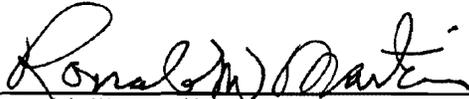
RE: City of Victorville Drainage Easement Vacation Request—Parcel Map 17477

Please accept this letter as a request to the City of Victorville to vacate the Drainage Easement as identified on the attached exhibit from Parcel Map 17477.

The purpose of abandoning a 28' wide City of Victorville Drainage Easement per PM 8167, PMB 86/39-40 is because this easement does not follow the actual alignment of the storm drain as shown on As-Built P-340. The Storm Drain Easement being dedicated to the City of Victorville on Parcel Map 17477 will replace this easement and will follow the current alignment of the storm drain per said As-Built P-340.

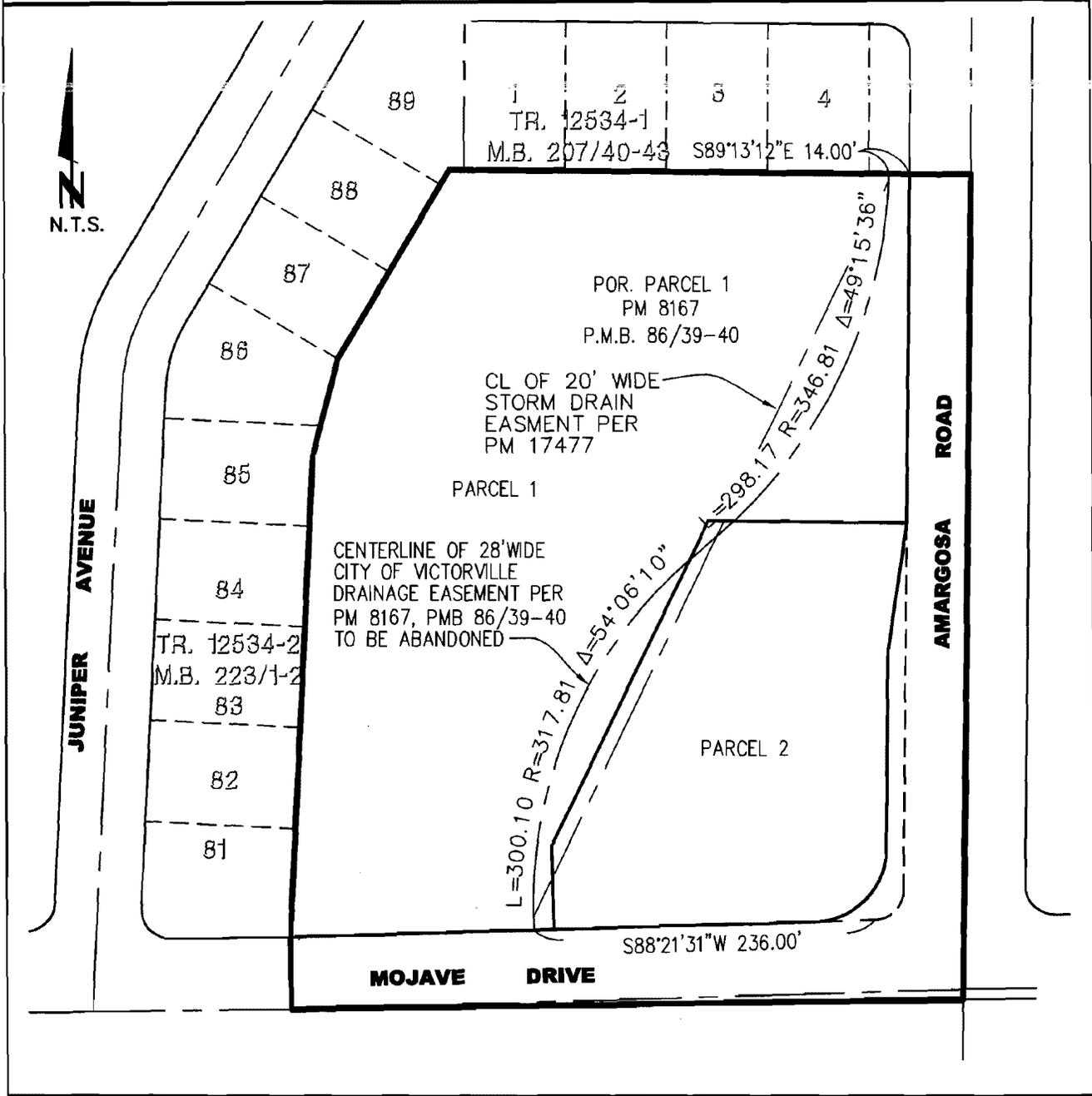
If additional information is required, please contact me at (949) 369-8080 ext. 204. Thank you for your attention to this matter.

Sincerely,


Ronald W. Martin
R.C.E. No. 14456
Expires: March 31, 2007
RMA Engineering
942 Calle Negocio, Ste 100
San Clemente, CA 92673
(949) 369-8080, fax 8083
info@rma-eng.com



**PM 17477, PMB 217, PGS. 50 AND 51
DRAINAGE EASEMENT ABANDONMENT
EXHIBIT A
FOR REFERENCE ONLY**



RON MARTIN AND ASSOC., INC.

942 CALLE NEGOCIO, STE. 100
SAN CLEMENTE, CA 92673
(949) 369-8080 FAX (949) 369-8083
E-MAIL: INFO@RMA-ENG.COM

**SHEET
1 OF 1**

PARCEL MAP NO. 8167

SHEET 1 OF 2

BEING A DIVISION OF A PORTION OF THE SE1/4 OF SECTION 7,
15N R4W, SAN BERNARDINO MERIDIAN, IN THE CITY OF VICTORVILLE
IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA
INLAND ENGINEERING CORPORATION

OWNERS' CERTIFICATE

WE HEREBY CERTIFY THAT WE ARE ALL THE LEGAL OWNERS OF RECORD OF THE LAND SUBDIVIDED AS SHOWN ON THE ANNEXED PARCEL MAP AND THAT WE ARE THE ONLY PERSONS WHOSE CONSENT IS NECESSARY TO PASS TITLE TO SAID LAND, AND WE CONSENT TO THE PREPARATION AND RECORDATION OF SAID MAP AND SUBDIVISION AS SHOWN WITHIN THE PARCEL MAP.

Robert W. Doossen
ROBERT W. DOOSSEN

Dorothy C. Doossen
DOROTHY C. DOOSSEN

NOTARY ACKNOWLEDGEMENT

STATE OF California) S.S.
COUNTY OF San Bernardino
ON THIS 22 DAY OF February, 1984, BEFORE ME Tim Sawala

A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE PERSONALLY APPEARED ROBERT W. & DOROTHY C. DOOSSEN KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME. WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE Tim Sawala
NAME Tim Sawala
NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE
MY COMMISSION EXPIRES March 3, 1984

CITY ENGINEER'S CERTIFICATE OF IMPROVEMENTS REQUIRED

THE FOLLOWING REQUIREMENTS FOR THE CONSTRUCTION OF OFF-SITE AND ON-SITE IMPROVEMENTS ARE A CONDITION TO THE APPROVAL OF THIS PARCEL MAP. IN ACCORDANCE WITH THE PROVISIONS OF SECTION 66436 OF THE SUBDIVISION MAP ACT, THE FOLLOWING SHALL BE INSTALLED AT SUCH TIME AS A PERMIT OR OTHER GRANT OF APPROVAL FOR DEVELOPMENT OF THE PARCELS WITHIN THIS SUBDIVISION IS ISSUED BY THE CITY OF VICTORVILLE.

1. THE SUBDIVIDER OR ANY SUCCESSOR IN INTEREST SHALL BE RESPONSIBLE FOR ANY COSTS INCURRED IN THE RELOCATION OF EXISTING UTILITY FACILITIES WHERE SUCH FACILITIES CONFLICT WITH THE IMPROVEMENTS REQUIRED WHEN SAID IMPROVEMENTS ARE INSTALLED.
2. THAT THE SUBDIVIDER OR SUCCESSOR IN INTEREST SHALL BE REQUIRED TO PROVIDE UNDERGROUND ELECTRICAL, TELEPHONE AND TELEVISION CABLE TO EACH PARCEL CREATED BY THIS SUBDIVISION.
3. THAT THE SUBDIVIDER OR SUCCESSOR IN INTEREST SHALL PROVIDE SEWER SERVICE TO EACH PARCEL CREATED BY THIS LAND DIVISION IN ACCORDANCE WITH THE REQUIREMENTS OF THE VICTORVILLE SANITARY DISTRICT AND THE CITY ENGINEER.
4. THAT THE SUBDIVIDER OR SUCCESSOR IN INTEREST SHALL INSTALL STREET LIGHTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE MASTER STREET LIGHTING PLAN OF THE CITY OF VICTORVILLE, THE SOUTHERN CALIFORNIA EDISON CO., AND AS RECOMMENDED BY THE CITY ENGINEER.
5. THAT THE SUBDIVIDER OR SUCCESSOR IN INTEREST SHALL PROVIDE WATER SERVICE TO EACH PARCEL CREATED BY THIS LAND DIVISION IN ACCORDANCE WITH REQUIREMENTS OF VICTOR VALLEY COUNTY WATER DISTRICT AND THE CITY ENGINEER.
6. THAT THE SUBDIVIDER OR SUCCESSOR IN INTEREST SHALL INSTALL FIRE HYDRANTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE VICTORVILLE FIRE DEPARTMENT AND THE CITY ENGINEER.
7. THAT THE SUBDIVIDER OR SUCCESSOR IN INTEREST SHALL PROVIDE NATURAL GAS SERVICE TO EACH PARCEL CREATED BY THIS LAND DIVISION.
8. THAT THE SUBDIVIDER OR SUCCESSOR IN INTEREST SHALL INSTALL CURBS & GUTTERS, SIDEWALKS, PAVEMENT WIDENING AND DRAINAGE FACILITIES IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS OF THE CITY OF VICTORVILLE.

CITY ENGINEER'S CERTIFICATE

THIS MAP CONFORMS WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE.

DATE Feb 22, 1984 *Edmund S. Aquilino*
EDMUND S. AQUILINO, CITY ENGINEER R.C.E. 28436
CITY OF VICTORVILLE, CALIFORNIA

SURVEYOR'S CERTIFICATE

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF ROBERT W. & DOROTHY C. DOOSSEN IN AND OF 1984. I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP IF ANY.

Ronald A. Kabalin
RONALD A. KABALIN L.S. 5880

CITY COUNCILS ACCEPTANCE CERTIFICATE

I HEREBY CERTIFY THAT THE CITY COUNCIL OF THE CITY OF VICTORVILLE BY RESOLUTION NO. 78-15 ADOPTED THE 17TH DAY OF FEB., 1978 HAS AUTHORIZED ME ACTING ON THEIR BEHALF TO ACKNOWLEDGE THE FOREGOING OFFERS OF DEDICATION AND ACCEPT ALL PUBLIC WAYS AND DRAINAGE EASEMENTS SUBJECT TO THEIR IMPROVEMENT IN ACCORDANCE WITH CITY OF VICTORVILLE STANDARDS.

DATE February 23, 1984
Paula Parker
CITY CLERK
CITY OF VICTORVILLE, CALIF.

AUDITOR'S CERTIFICATE

I HEREBY CERTIFY THAT ACCORDING TO THE RECORDS OF THIS OFFICE, AS OF THIS DATE, THERE ARE NO LIENS AGAINST THE REAL PROPERTY SHOWN UPON THE ANNEXED MAP FOR UNPAID STATE, COUNTY, MUNICIPAL, OR LOCAL TAXES OR SPECIAL ASSESSMENTS COLLECTED AS TAXES. NET TAXES ESTIMATED TO BE \$400.00

DATED: March 19, 1984
COUNTY AUDITOR
COUNTY OF SAN BERNARDINO
Janet F. Hill
DEPUTY

BOARD OF SUPERVISORS CERTIFICATE

I HEREBY CERTIFY THAT A BOND IN THE SUM OF \$ 7,600.00 HAS BEEN EXECUTED AND FILED WITH THE BOARD OF SUPERVISORS OF THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, CONDITIONED UPON PAYMENT OF ALL TAXES, STATE, COUNTY, MUNICIPAL, OR LOCAL, AND ALL SPECIAL ASSESSMENTS, COLLECTED AS TAXES, WHICH AT THE TIME OF FILING OF THE ANNEXED MAP WITH THE COUNTY RECORDER ARE A LIEN AGAINST SAID PROPERTY, BUT NOT PAYABLE AND THAT THE SUBDIVIDER HAS FILED WITH ME A CERTIFICATE BY THE PROPER OFFICER GIVING HIS ESTIMATE OF THE AMOUNT OF SAID TAXES AND ASSESSMENTS, AND SAID BOND HAS BEEN DULY APPROVED BY SAID BOARD OF SUPERVISORS.

DATED: March 19, 1984
CLERK OF THE BOARD OF SUPERVISORS
OF THE COUNTY OF SAN BERNARDINO
BY: *Robby Massey* DEPUTY

SIGNATURE OMISSION

THE SIGNATURES OF SOUTHWEST GAS CORPORATION, THE OWNERS OF AN EASEMENT FOR PIPE LINES AS DISCLOSED IN BOOK 4373, PAGE 208, OFFICIAL RECORDS OF SAN BERNARDINO COUNTY HAVE BEEN OMITTED UNDER THE PROVISIONS OF SECTION 66436(K) OF THE SUBDIVISION MAP ACT.

SIGNATURE OMISSION

THE SIGNATURES OF CALIFORNIA ELECTRIC POWER COMPANY, THE OWNERS OF AN EASEMENT FOR POLE LINES AS DISCLOSED IN BOOK 3624, PAGE 118, OFFICIAL RECORDS OF SAN BERNARDINO COUNTY HAVE BEEN OMITTED UNDER THE PROVISIONS OF SECTION 66436(K) OF THE SUBDIVISION MAP ACT.

84-065508
FILED REQUEST OF
Theor. Title Ins. Co.
March 22, 1984
11:21 A.M.
Page 39/40
OF Parcel map
SAN BERNARDINO COUNTY RECORDER
FEE \$ 8.00

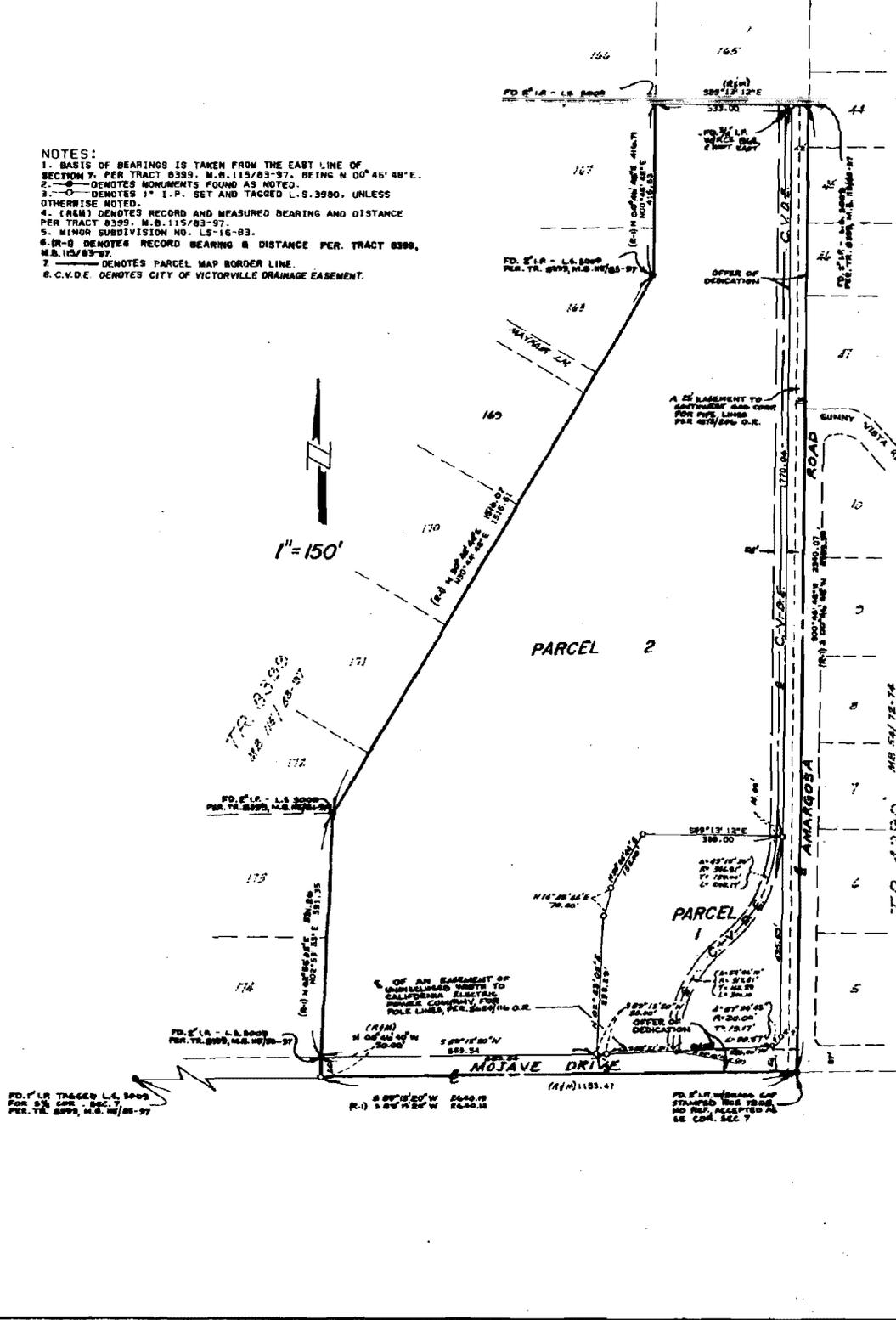
PARCEL MAP NO. 8167

SHEET 2 OF 2

BEING A DIVISION OF A PORTION OF THE SE 1/4 OF SECTION 7,
T5N R4W, SAN BERNARDINO MERIDIAN, IN THE CITY OF VICTORVILLE
IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA
INLAND ENGINEERING CORPORATION

NOTES:

1. BASIS OF BEARINGS IS TAKEN FROM THE EAST LINE OF SECTION 7, PER TRACT 8399, M.B. 115/83-97, BEING N 00° 46' 48" E.
2. —○— DENOTES MONUMENTS FOUND AS NOTED.
3. —○— DENOTES 1" I.P. SET AND TAGGED L.S. 3990, UNLESS OTHERWISE NOTED.
4. (R&M) DENOTES RECORD AND MEASURED BEARING AND DISTANCE PER TRACT 8399, M.B. 115/83-97.
5. MINOR SUBDIVISION NO. LS-16-83.
6. (R-0) DENOTES RECORD BEARING & DISTANCE PER TRACT 8399, M.B. 115/83-97.
7. ——— DENOTES PARCEL MAP BORDER LINE.
8. C.V.D.E. DENOTES CITY OF VICTORVILLE DRAINAGE EASEMENT.



07/19/97

07/19/97



AGENDA ITEM

CITY COUNCIL MEETING OF: 12/19/06

SUBMITTED BY: Mike Rothschild
Councilmember

DATE: 12/12/06

SUBJECT: PRESENTATION OF REQUEST TO WAIVE FURTHER READING AND
ADOPT RESOLUTION NO. 06-196 SUPPORTING BNSF'S
APPLICATION FOR A NEGATIVE DECLARATION ON THE
ENVIRONMENTAL IMPACT OF ITS PROPOSED THIRD RAIL
THROUGH CAJON PASS

RECOMMENDATION: That the City Council adopt Resolution No. 06-196.

FISCAL IMPACT: None.
Budget Amount:
Budget Acct. No.:

--Finance Department Use Only--
Additional Appropriation:

___ No
___ Yes/\$ Amt.:

Finance Director Review and Approval ___

DISCUSSION: Economist John Husing has recommended that the City Council strongly support BNSF's application for a negative declaration on the environmental impact of its proposed third rail through Cajon Pass. Resolution No. 06-196 would express that support and it is requested that the City Council adopt the resolution at this time.

/cb
Attachment

RESOLUTION NO. 06-196

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
VICTORVILLE SUPPORTING BURLINGTON NORTHERN SANTA FE'S
APPLICATION FOR A NEGATIVE DECLARATION ON THE
ENVIRONMENTAL IMPACT OF ITS PROPOSED THIRD RAIL
THROUGH CAJON PASS**

WHEREAS, the proposal by Burlington Northern Santa Fe Railroad (BNSF) for a third rail through the Cajon Pass is moving through the environmental review process; and

WHEREAS, BNSF is in formal discussions for the location of an intermodal yard in the High Desert with Victorville being the most frequently mentioned location; and

WHEREAS, the City of Victorville has decided to build a rail spur from BNSF's main line to SCLA both to encourage the railroad to select the airport location for its intermodal yard and to ready the location for development as a warehousing and distribution hub; and

WHEREAS, the San Bernardino Associated Governments (SANBAG) and Southern California Association of Governments (SCAG) have devoted resources to understanding the freeway infrastructure needed to move goods and people up Cajon Pass to the Victor Valley area; and

WHEREAS, the BNSF's third rail project should be the earliest priority of these infrastructure efforts as it will be a necessary first step in the development of an intermodal facility in the High Desert; and

WHEREAS, the development of BNSF's third rail will have a beneficial impact on the High Desert's jobs:housing balance.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Victorville strongly supports BNSF's application for a negative declaration on the environmental impact of its proposed third rail through the Cajon Pass.



AGENDA ITEM

CITY COUNCIL MEETING OF: December 19, 2006

SUBMITTED BY: John A. McGlade
City Engineer

DATE: December 12, 2006

SUBJECT: AWARD OF CONTRACT to Riverside Construction for National Trails Highway Overhead from Turner Rd to Air Expressway.

RECOMMENDATION: That City Council appropriate an amount of \$5,486,740.16 from the second issue of bond proceeds and award a contract to Riverside Construction Company for the low bid price of \$4,534,496.00.

FISCAL IMPACT: \$ 5,486,740.16

Requested Budget: \$

Actual Budget: \$

Budget Acct. No.:

Tax Increment Bond Proceeds

Finance Dept. Use Only
Additional Appropriation

No

Yes/\$ Amount \$5,486,740.16

Finance Director Review

\$ Approval ap

DISCUSSION: On December 12, 2006, the Engineering Department opened bids for the National Trails Highway Overhead from Turner Road to Air Expressway. A total of six bids were received ranging from \$4,534,496.00 to \$6,657,054.00. The low bid price is 9.3% lower than the Engineer's Estimate.

1. Riverside Construction	\$4,534,496.00
2. MCM Construction	\$4,592,897.00
3. Ortiz Enterprises	\$4,666,018.00
4. Yeager-Skanska	\$5,145,194.00
5. CC Myers, Inc.	\$5,332,761.00
6. Granite Construction	\$6,657,054.00

The total estimated project cost is as follows:

Construction Contract	\$4,534,496.00
Contingencies, 10%	<u>453,449.60</u>
Construction Sub-Total	\$4,987,945.60
Construction Engineering	<u>498,794.56</u>
Project Total	\$5,486,740.16

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AGENDA ITEM

CITY COUNCIL MEETING OF DECEMBER 19, 2006

SUBMITTED BY: John A. McGeehan
City Engineer 

DATE: 12/12/06

SUBJECT: AWARD OF CONTRACT to Sierra Pacific Electrical Contracting for the El Evado/Seneca Rd signal and Seneca/Civic Dr. signal.

RECOMMENDATION: That City Council award a contract to Sierra Pacific Electrical Contracting for the low bid price of \$440,014.40.

FISCAL IMPACT: \$489,990.84

Required Budget Amt: \$500,000.00
Existing Budget Amt: \$500,000.00
Budget Acct.No. 60300-65000-70426
Budget Acct.No. 40510-65000-70428

Finance Dept. Use Only
Additional Appropriation
No
Yes/\$ Amount _____
Approval  _____

DISCUSSION: On December 12, 2006, the Engineering Department opened bids for the El Evado Road and Seneca Road Traffic Signal Installation and Seneca Road and Civic Drive Traffic Signal Installation, Roy Rogers Drive and I-15 Ramps Signal Interconnect Cable Installation and Amargosa Road and N.E. Mall Entrance Signal Pole Replacement Project. A total of four bids were received ranging from \$440,014.40 to \$567,200.00. The low bid price is 3% lower than the Engineer's Estimate.

1. Sierra Pacific Electrical Contracting	\$440,014.40
2. Steiny and Company, Inc.	\$537,529.00
3. Terno, Inc.	\$556,039.00
4. Freeway Electric	\$567,200.00

Engineer's Estimate \$453,900.00

The total estimated project cost is as follows:

Construction Contract	\$440,014.40
Contingencies, 10%	\$ 44,001.44
Construction Sub-Total	\$484,015.84
Construction Engineering	\$ 5,975.00
Project Total	<u>\$489,990.84</u>

This project was approved as part of 06/07 Fiscal Year Capital Improvement Program to be funded with Measure I Street Arterial/Local Fund.

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AGENDA ITEM

CITY COUNCIL MEETING OF; DECEMBER 19, 2006

SUBMITTED BY: Carolee Bates
City Clerk

DATE: 12/12/06

SUBJECT: PRESENTATION OF REPORTS BY COUNCIL MEMBERS

RECOMMENDATIONS: N/A

FISCAL IMPACT: N/A

Budget Amount:
Budget Account No.:

DISCUSSION: In the event Councilmembers have matters on which they wish to report, or desire direction from Council, those matters may be discussed at this time.

--Finance Dept. Use Only--
Additional Appropriation:

_____ No
_____ Yes/\$Amount

Finance Director Review and
Approval _____

CB/dl

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