

**SOUTHERN CALIFORNIA LOGISTICS  
AIRPORT AUTHORITY AGENDA**

REGULAR MEETING  
AUGUST 15, 2006  
7:00 P.M.

MOJAVE DESERT AIR QUALITY  
MANAGEMENT DISTRICT - BOARDROOM  
14306 PARK AVENUE  
[www.ci.victorville.ca.us](http://www.ci.victorville.ca.us)

NOTICE TO THE PUBLIC: PERSONS WHO WISH TO ADDRESS THE AUTHORITY ON AN AGENDA ITEM ARE REQUESTED TO COMPLETE ONE OF THE **WHITE CARDS** WHICH HAVE BEEN PLACED ON THE AGENDA STAND IN THE COUNCIL CHAMBERS LOBBY AND GIVE IT TO THE BOARD SECRETARY FOR THE RECORD

ANY INDIVIDUAL WITH A DISABILITY WHO REQUIRES REASONABLE ACCOMMODATION TO PARTICIPATE IN A SCLAA MEETING MAY REQUEST ASSISTANCE AND/OR RECEIVE THE AGENDA IN AN ALTERNATIVE FORMAT BY CONTACTING THE VICTORVILLE CITY CLERK'S OFFICE (760) 955-5026 NO LATER THAN 72 HOURS PRIOR TO THE MEETING

CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

**PUBLIC COMMENT**

1. PUBLIC COMMENT ON ITEMS OF INTEREST TO THE PUBLIC

**WRITTEN COMMUNICATIONS**

2. PRESENTATION OF REQUEST TO AUTHORIZE THE SCLA EXECUTIVE DIRECTOR TO ACCEPT, ON BEHALF OF THE AIRPORT AUTHORITY, AN AIRPORT IMPROVEMENT GRANT FOR CONSTRUCTION OF A NEW FUEL FARM AT SCLA
  3. PRESENTATION OF REQUEST TO AWARD A CONTRACT TO AT SYSTEMS SECURITY, INC. FOR AIRPORT SECURITY SERVICES FOR SCLA IN THE AMOUNT OF \$294,669.48
-

4. PRESENTATION OF REQUEST TO APPROVAL FOR AN ADDITIONAL APPROPRIATION OF \$500,000.00 FOR FABRICATION AND DELIVERY OF WATER TANK FOR DELUGE PUMP HOUSE #2 PROJECT AT SCLA

**CLOSED SESSION**

5. CLOSED SESSION PURSUANT TO GOVERNMENT CODE SECTION 54956.9 (B)  
CONFERENCE WITH LEGAL COUNSEL: THREATENED LITIGATION - ONE POTENTIAL CASE
6. CONFERENCE WITH REAL PROPERTY NEGOTIATORS PURSUANT TO GOVERNMENT CODE SECTION 54956.8  
CONFERENCE WITH REAL PROPERTY NEGOTIATOR:  
NEGOTIATING PARTIES: STIRLING / AIRPORT AUTHORITY  
PROPERTY LOCATION: SCLA

\*\*\*\*\*ADJOURNMENT

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AGENDA ITEM

SCLAA MEETING OF: AUGUST 15, 2006

SUBMITTED BY: Carolee Bates  
Authority Secretary

DATE: 8/7/06

SUBJECT: PUBLIC COMMENT ON ITEMS OF INTEREST TO THE PUBLIC

RECOMMENDATION: N/A

FISCAL IMPACT: N/A

Budget Amount:  
Budget Acct. No.:

--Finance Department Use Only--  
Additional Appropriation:

No  
 Yes/\$ Amt.:

Finance Director Review and Approval \_\_\_\_\_

DISCUSSION: State law requires that each agenda of a governing body provide an opportunity for members of the public to address the legislative body on items of interest to the public within the body's subject matter of jurisdiction.

Accordingly, this item has been placed on the agenda to afford an opportunity for public comment at this time.

CB/dl

SOUTHERN CALIFORNIA LOGISTICS AIRPORT AUTHORITY  
18374 PHANTOM, VICTORVILLE, CA 92394  
TEL 760.246.6115 FAX 760.246.3108  
www.logisticsairport.com

Public Comment  
#1  
8-15-06

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**AGENDA ITEM**

**SOUTHERN CALIFORNIA LOGISTICS AIRPORT AUTHORITY**

**MEETING OF: August 15, 2006**

**SUBMITTED BY:** Peter Soderquist  
Airport Director

**DATE: August 7, 2006**

**SUBJECT:** AUTHORIZE THE SCLA EXECUTIVE DIRECTOR TO ACCEPT AN FAA AIRPORT IMPROVEMENT GRANT FOR CONSTRUCTION OF A NEW FUEL FARM AT SCLA

**RECOMMENDATION:** Accept this report and authorize the Executive Director to accept, on behalf of the Airport Authority, an Airport Improvement Grant for construction of a new fuel farm at SCLA.

**FISCAL IMPACT:** \$130,000 – City’s Matching Share

**BUDGETED AMOUNT:** \$7,350,000  
**BUDGET ACCT:** Fund 52900 - FAA - \$7,000,000  
Fund 76944 - Bond Proceeds - \$350,000

**Finance Dept. Use Only**  
Additional Appropriation  
 No  
 Yes/\$Amount \_\_\_\_\_  
Finance Director Review  
\$ Approval     *GS*    

**DISCUSSION**

In cooperation with the Federal Aviation Administration (FAA), SCLA has completed preliminary engineering associated with the construction of a new fuel farm at the airport. To date, the FAA has set aside over \$3 million to support the construction of this new essential facility.

It is expected FAA will award an additional grant of approximately \$3.6 million within the next two weeks for this project. According to FAA rules, this new grant must be formally accepted prior to the end of August 2006. Inasmuch as acceptance must occur before the Airport Authority’s next regularly scheduled meeting (September 5, 2006), it is requested the Authority authorize the Executive Director to accept this grant on their behalf.

SOUTHERN CALIFORNIA LOGISTICS AIRPORT AUTHORITY  
18484 PHANTOM, VICTORVILLE, CA 92394  
TEL 760.246.6115 FAX 760.246.3108  
www.logisticsairport.com

Written  
#2  
8-15-06

Fund 76944 (Non-Housing) & Fund 76945 (Housing)		Budget			Actual		TOTAL AS OF 7/24/06
Prog #	Program	Private Participation	Other	Total	Expended as of 7/24/06	Encumbered as of 7/24/06	
<b>TOTAL AVAILABLE/NON-HOUSING FOR SERIES 2003</b>		<b>4,391,000.00</b>	<b>21,072,211.12</b>	<b>25,463,211.12</b>			<b>25,463,211.12</b>
<b>TOTAL AVAILABLE/HOUSING FOR SERIES 2003</b>			<b>13,673,982.80</b>	<b>13,673,982.80</b>			<b>13,673,982.80</b>
<b>Projects Completed</b>							
96049	Tail End Enclosures (756 and 676)	3,075,624.15		3,075,624.15	3,075,624.15		3,075,624.15
96048	Foam Suppression (756 & 676)	1,028,557.76		1,028,557.76	1,028,557.76		1,028,557.76
96054	HVAC (Hangar 756)	523,000.00		523,000.00	523,000.00		523,000.00
96053	Aircraft Tools (Hangars 676 & 683)	58,185.00		58,185.00	58,185.00		58,185.00
90081	Eng Cost of Fabric Hangar Const)		962,937.90	962,937.90	962,937.90		962,937.90
90082	New Roof (Bldg 728)		68,750.00	68,750.00	68,750.00		68,750.00
90095	New Roof & HVAC (Bldg 733)		75,650.00	75,650.00	75,650.00		75,650.00
90601	Rail Right of Way Acquisition		1,523,478.72	1,523,478.72	1,523,478.72		1,523,478.72
96037	2000' R/W Ext-Install & Land Purchase		363,118.44	363,118.44	363,118.44		363,118.44
96043	Taxiway Charlie		10,908.04	10,908.04	10,908.04		10,908.04
96050	SCLA Rail Alignment Land Survey		261,217.90	261,217.90	261,217.90		261,217.90
96052	Reroofing Hangars 676 & 683		15,784.07	15,784.07	15,784.07		15,784.07
96056	SCLA Fire Apparatus Equipment		290,278.50	290,278.50	290,278.50		290,278.50
96057	New Hangar Site Preparation		390,148.96	390,148.96	390,148.96		390,148.96
96059	Wind Sock Installations		3,579.45	3,579.45	3,579.45		3,579.45
00000	Air Traffic Control Tower - Voice Recorder		15,268.22	15,268.22	15,268.22		15,268.22
00000	Install Fiber Cable on Ramp (Bldgs 728 & 723)		12,025.52	12,025.52	12,025.52		12,025.52
	Transfer to General Fund		7,000,000.00	7,000,000.00	7,000,000.00		7,000,000.00
	<b>Total Projects Completed</b>	<b>4,685,366.91</b>	<b>10,993,145.72</b>	<b>15,678,512.63</b>	<b>15,678,512.63</b>		<b>15,678,512.63</b>
<b>Council Approved - Work in Progress</b>							
70708	SCLA Power Plant #1		2,524,650.00	2,524,650.00	1,139,736.00	1,384,650.02	2,524,386.02
80421	Ice Bears for Bldg 728		40,000.00	40,000.00		30,538.00	30,538.00
96044	Taxiway Bravo Reconstruction*		50,000.00	50,000.00	614.73		
96045	Airport Master Plan*		22,000.00	22,000.00	10,389.68	7,149.30	17,538.98
96055	Engine Run-Up Area - Installation*		402,756.00	402,756.00	245,839.13	136,029.35	381,868.48
96058	Fuel Farm Relocation*		350,000.00	350,000.00	24,772.55	9,694.89	34,467.44
96060	Airfield Lighting System*		418,000.00	418,000.00	130,726.33	183,651.69	314,378.02

Fund 76944 (Non-Housing) & Fund 76945 (Housing)		Budget			Actual		TOTAL AS OF 7/24/06
Prog #	Program	Private Participation	Other	Total	Expended as of 7/24/06	Encumbered as of 7/24/06	
96062	Permit for Hybrid Power Plant		5,000,000.00	5,000,000.00	2,181,932.46		2,181,932.46
96064	Fire Sprinkler System		216,473.00	216,473.00	173,481.20	4,817.30	178,298.50
	Total Work in Progress		9,023,879.00	9,023,879.00	3,907,492.08	1,756,530.55	5,664,022.63
	<b>Possible Projects</b>						
	2000' R/W Ext Glide & Treshold Relocation		10,000.00	10,000.00			
	HVAC for Bldg 728		75,000.00	75,000.00			
	Airport Security		80,000.00	80,000.00			
	Security Lights on Ramp - Replacement		25,000.00	25,000.00			
	Modify Pedestrian Entry Gate at Hgr 756		7,500.00	7,500.00			
	Total Possible Projects		197,500.00	197,500.00			
	TOTAL PROGRAMMED	4,685,366.91	20,214,524.72	24,899,891.63	19,586,004.71	1,756,530.55	21,342,535.26
	Remaining Amount for Fund 76944 & 76945	-294,366.91	14,531,669.20	14,237,302.29			17,794,658.66

\*Matching Portion; balance from grant

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**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

SUBMITTED BY: Adair Patterson *AP*  
Director of Finance

DATE: August 7, 2006

SUBJECT: **Airport Security Services for SCLA, # JM06-054**

RECOMMENDATION: That the Honorable City Council award a contract to AT Systems Security, Inc. in the amount of \$294,669.48 for the above referenced project.

FISCAL IMPACT: \$294,669.48

BUDGETED AMOUNT: \$300,000.00  
521009-30913-90055-90509-52193

DISCUSSION: The City of Victorville received twelve (12) qualified proposal submittals on May 18, 2006. The Review Committee concluded that the top three (3) firms needed to participate in interview sessions. The Interview Panel conducted interview sessions on July 5, 2006 and ranked/rated each firm based on their qualifications, experience and personnel. Here are the ranking results of the four (4) members:

--Finance Dept. Use Only--	
Additional Appropriation:	
<input checked="" type="checkbox"/>	No
<input type="checkbox"/>	Yes/\$Amount:
Finance Director Review and Approval <i>AP</i>	

<u>Company</u>	<u>Member rankings</u>
<b>AT Systems Security, Inc.</b>	1 - 1 - 1 - 2
The Wackenhut Corporation	2 - 2 - 2 - 1
U.S. Security Associates, Inc.	3 - 3 - 3 - 3

Purchasing Division and the Airport Department have reviewed the rankings and negotiated fees and recommend Council award a contract to AT Systems Security, Inc. for the annual security services.

Sufficient funding is available to cover the costs.

AMP/jvm

c:/my documents/projects/JM06-054AirportSecurityRFP/AgendaItemJM06-054

cc: Peter Soderquist, Airport Director

**CITY OF VICTORVILLE  
SECTION 3 - FORMS**

**PROPOSAL SHEET**

Proposers shall fully complete this Proposal Sheet and return it with their submittal. All proposal costs shall include respective itemized costs associated with all labor, equipment, materials, transportation, overhead, travel, profit, insurance, sales and other taxes, licenses, incidentals and all related costs necessary to provide the Airport Security Services for Southern California Logistics Airport. At any time, the City may require that these costs be itemized.

<b>Job Description</b> "ON-AIRPORT"	<b>Estimated Hours</b> Per Month	<b>Guard's hourly pay rate</b>	<b>*Proposed Hourly Bill rate</b>
Security Officers	1,283	\$9.00 - \$9.50	\$16.77
Security Supervisor	173	\$10.00 - \$10.50	\$17.57

**Airport Security Services (est.) \$ 24,555.79 (per month)**

<b>Job Description</b> "OFF-AIRPORT"	<b>Estimated Hours</b> Per Month	<b>Guard's hourly pay rate</b>	<b>*Proposed Hourly Bill rate</b>
Security Officers	468	\$9.00 - \$9.50	\$18.52

**Airport Security Services (est.) \$ 8,667.36 (per month)**

*\*Note: Proposed Hourly Bill rate should include any costs associated with maintenance of vehicles, fuel, communication equipment, etc.*



AT Systems Security, Inc.  
Company Name

Proposer's Signature

Michael Shetler

Printed Name

President

Title

5/15/06

Date

Each proposal should be identified on the outside of the envelope as **"Airport Security Services for Southern California Logistics Airport"**.

PLEASE NOTE - THIS PAGE NEEDS TO BE SUBMITTED SEPARATELY IN A SEALED ENVELOPE CLEARLY IDENTIFIED AS "PROPOSAL SHEET ONLY - Airport Security Services for Southern California Logistics Airport."

CITY OF VICTORVILLE  
SECTION 3 - FORMS

PROPOSAL SHEET

Proposers shall fully complete this Proposal Sheet and return it with their submittal. All proposal costs shall include respective itemized costs associated with all labor, equipment, materials, transportation, overhead, travel, profit, insurance, sales and other taxes, licenses, incidentals and all related costs necessary to provide the Airport Security Services for Southern California Logistics Airport. At any time, the City may require that these costs be itemized.

Additionally, Proposer shall include with their proposal, an itemized "Fee Schedule," in conjunction with this Proposal Sheet.

TOTAL NOT-TO-EXCEED FEE to provide Airport Security Services for Southern California Logistics Airport, as required by Request for Proposal number JM06-054:

\$ 33,223.15 (per month)

TOTAL NOT-TO-EXCEED FEE in words:

Thirty Three Thousand Two Hundred Twenty Three Dollars & Fifteen Cents

 _____ Proposer's Signature	<u>AT Systems Security, Inc.</u> _____ Company Name
<u>Michael D. Shetler</u> _____ Printed Name	_____
<u>President</u> _____ Title	<u>5/15/06</u> _____ Date

Each proposal should be identified on the outside of the envelope as "Airport Security Services for Southern California Logistics Airport".

PLEASE NOTE - THIS PAGE NEEDS TO BE SUBMITTED SEPARATELY IN A SEALED ENVELOPE CLEARLY IDENTIFIED AS "PROPOSAL SHEET ONLY - Airport Security Services for Southern California Logistics Airport."



CITY OF  
VICTORVILLE



760-955-5000  
FAX 760-245-7243  
email: vville@ci.victorville.ca.us  
14343 Civic Drive  
P.O. Box 5001  
Victorville, California 92393-5001

June 12, 2006

Mr. Tony Strickroth  
FIRE & PUMP SERVICE GROUP  
1513 Del Amo Boulevard  
Carson, California 90746

Subject: Promise to Pay for Construction and Delivery of Water Tank  
Deluge Pump House #2 Project/Invoice: 05253-C1 (rev1)

Dear Mr. Strickroth:

Please allow this letter to serve as the city of Victorville's promise to pay Fire & Pump Service Group approximately Four Hundred Seventy-Five Thousand Dollars (\$475,000.00) in consideration for the fabrication and delivery of the water storage tank referenced in your invoice dated June 2, 2006 (Invoice#05253-C1(rev1)). Such payment will be remitted to Fire & Pump Service Group within thirty (30) days following the delivery to Southern California Logistics Airport.

Please do not hesitate to contact me should you have any questions regarding this matter.

Very truly yours,

A handwritten signature in cursive script, appearing to read 'Jon B. Roberts'.

Jon B. Roberts, City Manager  
City of Victorville

cc: Adair Patterson, Director of Finance

# Fire & Pump Service Group

1513 Del Amo Blvd.

Carson, CA 90746

310.223.3990 Tele - Fax 310.223.3960

Email: [info@broidyfire.com](mailto:info@broidyfire.com)

Website: [BroidyFire.com](http://BroidyFire.com) Lic. No. C16-786946

## INVOICE

05253 -C2

August 1, 2006

Billing No. C2

**City of Victorville**  
14343 Civic Drive  
Victorville, CA 92392

Subject: **Fire and Pump invoice for 1 million gallon water storage tank.**

Ref.: **Deluge Pump House #2 Project**

Fire and Pump Service Group has delivered the one (1) million gallon water tank. See attached bill of lading. Also attached is a letter of the agreed upon terms from the COV.

Tank fabrication & delivery	\$470,823.00
See attached	

<b>Due this Invoice</b>	<b><u>\$470,823.00</u></b>
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**"Invoice due upon receipt"**

**"Please Pay From This Invoice"**

**"THIS IS THE ONLY INVOICE YOU WILL RECEIVE"**



Revision  
1 \_\_\_\_\_  
2 \_\_\_\_\_  
3 \_\_\_\_\_

**155389.1, Victorville #1**

Foreman	0
P.M.	TF
C.S.	GT

(2) 1.000 MG, 78"D x 31'-8"H FBCRT (Sec.14, 4R, 1B)

Load Date	7/28/06
OnSite Date	7/31/06

Load # 1

Load Weight	45738
-------------	-------

Qty Shipped	Qty	Component	Description	Piece Weight	Weight
14	14	Bottom Plate	0.25 x 96 x 480, A36	3267	45738

REC'D  
ONSITE IN  
VICTORVILLE, CA  
*[Signature]*  
7/31/06



Revision

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2 \_\_\_\_\_  
3 \_\_\_\_\_

**155389.1, Victorville #1**

Foreman	0
P.M.	TF
C.S.	GT

(2) 1.000 MG, 78'D x 31'-8"H FBCRT (Sec.14, 4R, 1B)

Load Date	7/28/06
OnSite Date	7/31/06

Load # 2

Load Weight	32325
-------------	-------

Qty Shipped	Qty	Component	Description	Piece Weight	Weight
1	1	Bottom Plate Partial	Verify	1300	1300
7	7	Annular Ring	1/4" x 28-1/2" x 160"	323	2261
7	7	A-ring Backup Bars	1/8 x 1.5 x 32" flatbar	2	14
7	7	Ring 1	.3195 x 95 x 422, A36	3633	25431
40	40	Rafter Clips	per template R5-10-100	2	80
40	40	Outer Rafter Ties	42" Finish	7	280
1	1	Painters Post		49	49
65	65	Exp. Jt. Material	5 per sheet, 13 sheets	3	195
2	2	Manway	30" Monobolt	400	800
1	1	Roof Hatch	39" sq standard	163	163
1	1	24" Nozzle	w/ doghouse doubler	471	471
1	1	4" Nozzle		4	4
1	1	24" Suction Nozzle	w/ vortex breaker, flange, doubler	1196	1196
1	1	Nameplate Bracket	STD-S.S.	2	2
1	1	Nameplate		1	1
2	2	1/4 X 2" Bolt Nut & Washer		1	2
1	1	S Hook (Level Gage)		1	1
1	1	Pully (Level Gage)		1	1
3	3	Cables for Target (Level Gage)		1	3
1	1	Roof Vent Screen W/ Banding		1	1
10	10	Crimps for Banding		1	10
5	5	Bolts & Nuts for Roof Vent		1	5

LOAD #2 CONTINUED

1	(1)	Roof Manway Gasket W/ Bolts & Nuts		1	1
2	(2)	30" Manway Gasket		1	2
1	(1)	Plastic Cap for Painters Post		1	1
1	(1)	Safety Harness & Sleeve		1	1
1	(1)	Float & Target (Level Gage)		1	1
2	(2)	Springs (Level Gage)		1	2
2	(2)	1/4" threaded Pipe Caps (SS)		1	2
2	(2)	Safety Climb Slide		1	2
1	(1)	Rubbver Bumper for Ladder Door		1	1
33	(33)	Guardrail tabs		1	33
4	(4)	Guard rail transition Bars		1	4
4	(4)	Inside Leg Stiffners		1	4
<del>1</del>	<del>(1)</del>	Roof Manway	24" w/ cover	120	0
<del>1</del>	(1)	Gage Board Kit		1	1
1	(1)	1" Coupl		0	0

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IN VICTORVILLE, CA



7/31/06



Revision  
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**155389.1, Victorville #1**

Foreman	0
P.M.	TF
C.S.	GT

(2) 1.000 MG, 78'D x 31'-8"H FBCRT (Sec.14, 4R, 1B)

Load Date	7/28/06
OnSite Date	7/31/06

Load # 3

Load Weight	45526
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Qty Shipped	Qty	Component	Description	Piece Weight	Weight
7	7	Ring 2	1/4 x 95 x 422, A36	2842	19894
7	7	Ring 3	1/4 x 95 x 422, A36	2842	19894
14	14	Compression Ring	3/8" x 3" x 20' fb Roll to 39' 1/4" Radius	77	1078
1	1	Center Column Baseplates	(1) @ 1" x 86-3/4 x 86-3/4, (1) @ 1" x 27-1/2 x 27-1/2	2349	2349
1	1	Center Column	Cone, 106" dia w/40 sets of 11/16" holes	2311	2311

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 7/31/06



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**155389.1, Victorville #1**

Foreman	0
P.M.	TF
C.S.	GT

(2) 1.000 MG, 78'D x 31'-8"H FBCRT (Sec.14, 4R, 1B)

Load Date	7/28/06
OnSite Date	7/31/06

Load # 4

Load Weight	38911
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Qty Shipped	Qty	Component	Description	Piece Weight	Weight
7	7	Ring 4	1/4 x 95 x 422, A36	2842	19894
48	40	Outer Rafters	10WF12 x 35'-0"	420	16800
1	1	Inside Ladder	w/ legs, lateral braces	338	338
1	1	Outside Ladder		340	340
1	1	Ladder Door	10'	355	355
1	1	6" Fill Line		904	904
200	200	5/8"x 1-1/2" Nuts & Bolts	Galv	1	200
80	80	5/8" Washers	Galv	1	80

RECEIVED ONSITE  
IN VICTORVILLE, CA  
*[Signature]*  
7/31/06



Revision  
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**155389.1, Victorville #1**

Foreman	0
P.M.	TF
C.S.	GT

(2) 1.000 MG, 78'D x 31'-8"H FBCRT (Sec.14, 4R, 1B)

Load Date	7/28/06
OnSite Date	7/31/06

Load # 5

Load Weight	45193
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Qty Shipped	Qty	Component	Description	Piece Weight	Weight
16	16	Roof Plate	3/16 x 96 x 480, A36	2450	39200
1	1	Roof Plate Partial	Verify	974	974
1	1	Roof vent	84" Standard	210	210
1	1	Guardrail	32-7' sections, 1-3'3" section w/trans. Flatbars. tabs(33)	2592	2592
1	1	Level Gage	Half Scale	100	100
1	1	Overflow	16" w/ doubler, standoffs	2117	2117

2

RELIEVED ONSITE  
IN VICTORVILLE, CA

*[Signature]* 7/31/06

SOUTHERN CALIFORNIA INTERNATIONAL AIRPORT AUTHORITY

MEETING OF: JUNE 6, 2006

SUBMITTED BY: ANDRE DE BORTNOWSKY DATE: June 1, 2006

TO: SOUTHERN CALIFORNIA LOGISTICS AIRPORT AUTHORITY BOARD OF DIRECTORS

SUBJECT: RESOLUTION OF THE SOUTHERN CALIFORNIA LOGISTICS AIRPORT AUTHORITY APPROVING THE ACQUISITION OF CERTAIN FIRE SUPPRESSION EQUIPMENT AND APPURTENANCES NECESSARY TO FABRICATE AND CONSTRUCT A CENTRALIZED FIRE SUPPRESSION AND DELUGE SYSTEM TO SERVE BUILDINGS LOCATED AT THE SOUTHERN CALIFORNIA LOGISTICS AIRPORT AUTHORITY

**BACKGROUND**

There is currently located at SCLA certain fire suppression hardware and appurtenances, as more specifically enumerated in Exhibit "A", incorporated herein by this reference (the "Fire Equipment"). The Fire Equipment was originally brought to SCLA by Fire & Pump Service Group for the benefit of a current SCLA tenant. However, the Fire Equipment was never installed as the tenant no longer had a need for it. Nonetheless, there does exist a current need for another centralized fire suppression and deluge system at SCLA which would serve many of the buildings located thereon, and it has been determined that the Fire Equipment can be used in the construction of such centralized fire suppression and deluge system. As such, the Authority desires to purchase the Fire Equipment from Fire & Pump Service Group ("Fire & Pump").

As a general rule, such purchase would be required to be publicly bid under Chapter 2.28 of Title 2 of the City's Municipal Code. However, there are exceptions under California law to this rule. One exception is where the nature of the subject of the contract is such that competitive proposals would be unavailing or would not produce an advantage, and the advertisement for competitive bids would thus be undesirable, impractical or impossible. The rationale for adoption of the above exception is found in the purposes of the provisions requiring competitive bidding (such as those found in VMC Chapter 2.28) in letting public contracts. Those purposes are to guard against favoritism, improvidence, extravagance, fraud and corruption, to prevent the waste of public funds and to obtain the best economic result for the public.

Here, it appears that the justifications for purchasing the Fire Equipment from Fire & Pump implicate the above-mentioned exception. First, the current fire suppression and deluge system at SCLA was constructed by and is being maintained by Fire & Pump. Moreover, the Authority has experienced a good working relationship with Fire & Pump with regard to the existing fire suppression and deluge system. Therefore, Fire & Pump would easily qualify as a responsible

bidder.

Additionally, the Fire Equipment is already located at SCLA. As such, the typical costs associated with the ordering and delivery of such equipment does not present itself. Also, because the Fire Equipment is immediately available, the Authority will not have to endure the long lead time typically involved in the ordering and delivery of this type of equipment. Moreover, the Fire Equipment and equipment used in the existing fire suppression and deluge system are substantially identical, and such standardization in the design, engineering, installation, repair, and maintenance of both fire suppression and deluge systems will result in further cost savings to the Authority. Finally, the delay caused by undergoing a public bidding process may jeopardize certain business opportunities currently available to the Authority which require the immediate construction of a second fire suppression and deluge system.

As such, the best economic result to the Authority would more likely be had by purchasing the Fire Equipment from Fire & Pump, rather than by undertaking a public bidding process. Stated differently, the Authority stands to lose more economically by publicly bidding the equipment purchase, rather than allowing the purchase to be from Fire & Pump.

#### **STAFF RECOMMENDATION**

Staff recommends adoption of the attached RESOLUTION and authorization to proceed with the purchase of the above referenced Fire Equipment.

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**VICTORVILLE REDEVELOPMENT AGENCY  
AGENDA**

REGULAR MEETING  
AUGUST 15, 2006  
7:00 P.M.

MOJAVE DESERT AIR QUALITY  
MANAGEMENT DISTRICT - BOARDROOM  
14306 PARK AVENUE  
[www.ci.victorville.ca.us](http://www.ci.victorville.ca.us)

THE REDEVELOPMENT AGENCY MEETING IS SCHEDULED TO BEGIN AT  
7:00 P.M. OR AS SOON THEREAFTER AS POSSIBLE UPON THE  
CONCLUSION OF THE MEETING OF THE SOUTHERN CALIFORNIA  
LOGISTICS AIRPORT AUTHORITY

ANY INDIVIDUAL WITH A DISABILITY WHO REQUIRES REASONABLE  
ACCOMMODATION TO PARTICIPATE IN A RDA MEETING MAY REQUEST  
ASSISTANCE AND/OR RECEIVE THE AGENDA IN AN ALTERNATIVE FORMAT BY  
CONTACTING THE VICTORVILLE CITY CLERK'S OFFICE (760) 955-5026 NO  
LATER THAN 72 HOURS PRIOR TO THE MEETING

CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

**PUBLIC COMMENT**

1. PUBLIC COMMENT ON ITEMS OF INTEREST TO THE PUBLIC

**WRITTEN COMMUNICATIONS**

2. PRESENTATION OF REQUEST TO ADOPT RESOLUTION NO. R-06-008  
ENTITLED:

RESOLUTION OF THE VICTORVILLE REDEVELOPMENT AGENCY  
APPROVING A MARKETING PROGRAM AGREEMENT BY AND BETWEEN  
THE VICTORVILLE REDEVELOPMENT AGENCY AND INLAND EMPIRE  
ECONOMIC PARTNERSHIP

\*\*\*ADJOURNMENT

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VICTORVILLE  
*California*

AGENDA ITEM

RDA MEETING OF: AUGUST 15, 2006

SUBMITTED BY: Carolee Bates  
Agency Secretary

DATE: 8/7/06

SUBJECT: PUBLIC COMMENT ON ITEMS OF INTEREST TO THE PUBLIC

RECOMMENDATION: N/A

FISCAL IMPACT: N/A  
Budget Amount:  
Budget Acct. No.:

--Finance Department Use Only--  
Additional Appropriation:

No  
 Yes/\$ Amt.:

Finance Director Review and Approval \_\_\_\_\_

DISCUSSION: State law requires that each agenda of a governing body provide an opportunity for members of the public to address the legislative body on items of interest to the public within the body's subject matter of jurisdiction.

Accordingly, this item has been placed on the agenda to afford an opportunity for public comment at this time.

CB/dl

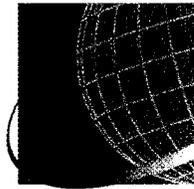
Public Comment  
#1  
8-15-06

CITY OF VICTORVILLE  
14343 Civic Drive • Victorville, CA 92392 • 760.955.5032 760.955.5042 Fax

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# VICTORVILLE

California

## VICTORVILLE REDEVELOPMENT AGENCY MEETING OF: August 15, 2006

**SUBMITTED BY:**

Keith C. Metzler  
Director, Economic Development

**DATE:** August 3, 2006

**SUBJECT:**

Inland Empire Economic Partnership (IEEP)  
Marketing Program Agreement

**RECOMMENDATION:**

That Your Honorable Board of Directors adopts Resolution No. R-06-008 approving a Marketing Program Agreement by and between the Inland Empire Economic Partnership and the Victorville Redevelopment Agency for fiscal year 2006-2007.

**FISCAL IMPACT:**

\$25,689.15

**--FINANCE DEPARTMENT USE ONLY--**

**Budget:**

Budget Account No.: VH039/VB039/VW039

Additional Appropriation:

No

Yes/\$Amount \_\_\_\_\_

Approved \_\_\_\_\_

**DISCUSSION:** For the last five fiscal years, Your Honorable Board of Directors has approved a Marketing Program Agreement by and between the Inland Empire Economic Partnership (IEEP) and the Victorville Redevelopment Agency. The agreement creates a marketing partnership for the purposes of promoting the Inland Empire, and more specifically, Victorville as the Inland Empire North. The Inland Empire North campaign established by the IEEP promotes this region and the City of Victorville as an ideal business location.

The fiscal year 2006-2007 agreement being provided for your consideration allows for the continued participation with the IEEP as a Community Partner. Staff is requesting your favorable consideration of the Marketing Program Agreement, subject to minor, non-substantive modifications.

Staff is available for questions or comments.

KCM:drc  
Attachments

Written  
#2  
8-15-06

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**VICTORVILLE REDEVELOPMENT AGENCY**

**RESOLUTION NO. R-06-008**

**RESOLUTION OF THE VICTORVILLE REDEVELOPMENT AGENCY  
APPROVING A MARKETING PROGRAM AGREEMENT  
BY AND BETWEEN THE VICTORVILLE REDEVELOPMENT AGENCY  
AND INLAND EMPIRE ECONOMIC PARTNERSHIP**

**WHEREAS**, the Victorville Redevelopment Agency (the "Agency") has been duly created and activated pursuant to the provisions of Section 33100, et seq. of the Health and Safety Code of the State of California by a duly adopted Ordinance of the City of Victorville, California; and

**WHEREAS**, Inland Empire Economic Partnership ("IEEP") is seeking to provide certain marketing services on behalf of the Agency to promote the Inland Empire as a positive business environment; and

**WHEREAS**, IEEP will provide marketing information to finance and real estate industries and potential employers to promote the Inland Empire as a location for business and investment which could foster employment opportunities and thereby aid in eliminating blighting conditions which currently exist within Redevelopment Project Areas in the City of Victorville; and

**WHEREAS**, the Agency has deemed it desirable to enter into a Marketing Program Agreement (the "Agreement") with the IEEP in the form attached hereto as Exhibit "A" and incorporated herein by this reference.

**NOW, THEREFORE, THE VICTORVILLE REDEVELOPMENT AGENCY DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:**

Section 1. The foregoing Recitals are true and correct and are incorporated herein by this reference.

Section 2. The Agency hereby finds and determines that the Agreement is within the redevelopment goals and objectives of the Agency in that it will help eliminate blighting conditions.

Section 3. The Agency hereby approves the form of the Agreement as attached hereto as Exhibit "A" and authorizes the Agency Chairman and Secretary to execute the Agreement with such

changes as may be deemed appropriate by the Agency Chairman and Agency Counsel.

Section 4. The Agency authorizes the expenditure of funds in the amounts provided in the Agreement in order to facilitate the provision of marketing services as provided in the Agreement.

Section 5. This Resolution shall take effect upon its adoption.

PASSED, APPROVED AND ADOPTED this \_\_\_\_ day of \_\_\_\_\_, 2006.

\_\_\_\_\_  
MAYOR/CHAIRPERSON  
VICTORVILLE REDEVELOPMENT AGENCY

ATTEST:

\_\_\_\_\_  
AGENCY SECRETARY

APPROVED AS TO FORM AND CONTENT:

\_\_\_\_\_  
AGENCY GENERAL COUNSEL

VICTORVILLE REDEVELOPMENT AGENCY

AGENDA

August \_\_, 2006

Item:                   **RESOLUTION OF THE VICTORVILLE REDEVELOPMENT  
AGENCY APPROVING A MARKETING PROGRAM AGREEMENT BY  
AND BETWEEN THE VICTORVILLE REDEVELOPMENT AGENCY  
AND INLAND EMPIRE ECONOMIC PARTNERSHIP**

Exhibit "A" - Marketing Program Agreement

Action to  
be Taken:           Adopt Resolution append Exhibit "A"

Certified copy of Resolution to be returned to Green, de Bortnowsky  
& Quintanilla, LLP.

EXHIBIT A

MARKETING PROGRAM AGREEMENT  
(INLAND EMPIRE ECONOMIC PARTNERSHIP)

**INLAND EMPIRE ECONOMIC PARTNERSHIP  
COMMUNITY PARTNERS  
MARKETING PROGRAM AGREEMENT**

This COMMUNITY PARTNERS MARKETING PROGRAM AGREEMENT ("Agreement") is made and entered into this \_\_\_ day of August, 2006, by and between the Inland Empire Economic Partnership, a non-profit mutual benefit corporation (hereinafter referred to as "IEEP") and the Victorville Redevelopment Agency (hereinafter referred to as "SPONSOR").

**RECITALS**

**WHEREAS**, SPONSOR desires to obtain certain marketing services from IEEP and IEEP desires to provide certain marketing services on behalf of SPONSOR,

**WHEREAS**, the marketing services to be provided by IEEP pursuant to this Agreement shall be hereinafter referred to and known as the "Community Partners Marketing Program" or "MARKETING PROGRAM;"

**WHEREAS**, MARKETING PROGRAM is designed to emphasize the economic, demographic and life-style facts and images of those certain geographic areas included within the boundaries of San Bernardino and Riverside counties, including the five eastern-most cities of Los Angeles County, hereinafter collectively referred to as the "Inland Empire" in order to:

- (1) Increase information available in the finance and real estate industries about the Inland Empire economy;
- (2) Increase the potential pool of employers interested in locating in the Inland Empire;
- (3) Reposition SPONSOR as being geographically located within the Inland Empire North (herein after referred to as IEN).

**WHEREAS**, SPONSOR recognizes the benefits it may obtain through the attraction of new business and investment to the Inland Empire and IEN;

**WHEREAS**, SPONSOR recognizes the need to promote the Inland Empire and IEN as a positive business environment; and

**WHEREAS**, IEEP desires to provide, and SPONSOR desires to fund the MARKETING PROGRAM in accordance with the terms and conditions set forth in this Agreement.

**NOW THEREFORE**, in consideration of the mutual covenants and promises contained herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, IEEP and SPONSOR agree as follows:

## SECTION I

### SERVICES OF IEEP; TERM

1.1 Community Partners Marketing Program. During the term of this Agreement, IEEP shall furnish all technical and professional services, including labor, material facilities, equipment, transportation, supervision and expertise, necessary to fully and adequately perform the following services, which shall constitute the Community Partners Marketing Program (MARKETING PROGRAM):

A. MARKETING PROGRAM for Finance and Real Estate Industries and Potential Employers. IEEP shall, in good faith and based on its discretionary determination that the following persons or entities exhibit some potential for conducting business in the Inland Empire, use its best efforts to contact and provide information on the Inland Empire and IEN to: (1) finance and real estate industry executives, (2) Southern California and other regional businesses, and (3) executives of national and international corporations.

B. Trade Shows. IEEP shall attend trade shows, conventions and other meetings directly related to the purposes of this Agreement. IEEP shall prepare, transport and staff, as required, a trade show exhibit promoting the advantages of the Inland Empire to select markets, companies and industries.

C. Other Terms. IEEP shall generally prepare, acquire and/or disseminate information to promote the Inland Empire and IEN as a location for business and investment, and shall carry out such other activities as may be reasonably necessary to achieve the purposes of this Agreement. The frequency of materials provided and the specific individuals and entities to be targeted by MARKETING PROGRAM pursuant to this Agreement shall be subject to IEEP's sole and absolute discretion. Except as set forth above, the IEEP's marketing efforts will include display advertising materials in publications chosen at the discretion of the IEEP.

D. Schedule of Services. IEEP shall devote such time to the performance of the services under this Agreement as may be reasonably necessary for the satisfactory and timely performance of IEEP's obligations hereunder.

E. MARKETING PROGRAM Performance Measures. IEEP shall monitor and report the results of MARKETING PROGRAM in accordance with the standards set forth in Exhibit "A" (IEEP Marketing Plan) attached hereto and incorporated herein by this reference.

1.2 Term of Agreement. Subject to the terms and conditions set forth in this Agreement, the term of this Agreement shall commence on July 1, 2006, and shall continue thereafter through and including July 31, 2007. From and after July 31, 2007, this Agreement shall terminate and the parties hereto shall have no further debt or obligation hereunder.

1.3 Representation. SPONSOR hereby grants to IEEP the right to provide MARKETING PROGRAM on the terms and conditions set forth in this Agreement. IEEP, from time to time and pursuant to its sole and absolute discretion, may appoint and retain the services of employees and independent contractors, all at IEEP's cost and expense with funds provided by SPONSOR hereunder, to assist IEEP in the performance of its obligations under this Agreement.

## SECTION II

### COMPENSATION

2.1 Payments by Sponsor. IEEP shall receive compensation, for all services rendered under this Agreement. The total compensation shall not exceed Nineteen Thousand Five Hundred Seventy-Five Dollars (\$19,575.00) without written approval of SPONSOR's Representative ("Total Compensation").

2.2 Payment of Compensation. IEEP shall submit to SPONSOR an invoice pursuant to this Agreement. SPONSOR shall within thirty (30) days of receiving such invoice pay the Total Compensation indicated in Paragraph 2. 1.

2.3 Additional Funding. SPONSOR agrees that the IEEP is authorized to seek additional funding for MARKETING PROGRAM from other regional governmental bodies including, but not limited to, the San Bernardino Association of Governments, the Western Riverside Council of Governments, and the Inland Valley Development Agency.

## SECTION III

### GENERAL CONDITIONS

3.1 Sponsor's Representative. SPONSOR hereby designates Keith C. Metzler, Deputy Director of Redevelopment, or his designee, as SPONSOR's Representative to IEEP. SPONSOR's Representative shall have the authority to act on behalf of SPONSOR for all purposes under this Agreement and shall coordinate all phases of MARKETING PROGRAM on behalf of SPONSOR, including, without limitation, the delivery of materials requested by the IEEP for distribution to respondents in accordance with the terms of this Agreement. SPONSOR shall work closely and cooperate fully with IEEP's Representative and any other agencies, which may have jurisdiction over or an interest in MARKETING PROGRAM. SPONSOR's Representative shall be available to IEEP's staff at all reasonable times. SPONSOR shall notify IEEP in writing of any substitution in SPONSOR's Representative.

3.2 IEEP's Representative. IEEP's President/Chief Executive Officer, or his or her designee, shall serve as IEEP's Representative and shall have the authority to act on behalf of IEEP for all purposes under this Agreement.

3.3 Oversight. To facilitate reasonable oversight of MARKETING PROGRAM by SPONSOR, IEEP agrees, during the term of this Agreement only, that SPONSOR shall be

eligible to have representatives selected by the IEEP Board of Directors for membership on the IEEP Board of Directors.

3.4 Independent Contractor. SPONSOR retains IEEP on an independent contractor basis and IEEP is not an employee, agent or representative of SPONSOR. Any personnel performing the services under this Agreement on behalf of IEEP shall at all times be under IEEP's exclusive direction and control. IEEP shall have the right to appoint or otherwise designate suitable and desirable employees, agents, independent contractors and representatives to perform services under this Agreement ("IEEP's Representatives"). IEEP's Representatives shall be subordinate to IEEP and subject to each and all of the terms, provisions, and conditions applying to IEEP hereunder. IEEP shall pay all wages, salaries, and other amounts due IEEP Representatives in their performance of services under this Agreement and as required by law. IEEP shall be responsible for all reports and obligations respecting IEEP Representatives, including, but not limited to, social security taxes, income tax withholdings, unemployment insurance, and workers' compensation insurance. SPONSOR is interested only in the results obtained by IEEP and MARKETING PROGRAM, and the IEEP shall have sole control of the manner and means of performing its obligations under this Agreement. Except as expressly set forth herein, SPONSOR shall not have the right to require IEEP to periodically report to SPONSOR, conform to any fixed or minimum number of hours devoted to IEEP's obligations hereunder, follow prescribed itineraries, keep records of business transacted, make adjustments, bind SPONSOR, conform to particular policies of SPONSOR, or do anything else which would jeopardize the relationship of independent contractor between SPONSOR and IEEP. SPONSOR shall have no right or authority to commit IEEP in any matter, cause, or thing whatsoever, without the prior written consent of IEEP either hereunder or otherwise, or to use IEEP's name in any way not specifically authorized by this Agreement.

3.5 Termination. IEEP and SPONSOR shall have the right to terminate this Agreement and suspend their performance hereunder upon the occurrence of any of the following events:

A. Breach of Agreement. Breach or default by SPONSOR or IEEP of any of the material terms, obligations, covenants, representations or warranties under this Agreement which is not waived in writing by the non-defaulting party. In such case, however, the non-defaulting party shall first notify the other of such alleged breach or default and provide the other party with a period of thirty (30) days to cure the alleged breach or default. If the breach or default is not capable of being cured within a thirty (30) day period, then the defaulting party must commence a reasonable good faith effort to cure such breach or default within the thirty (30) day period and shall thereafter diligently pursue such cure to completion.

B. Bankruptcy or Insolvency. IEEP or SPONSOR is declared insolvent or bankrupt, makes an assignment for the benefit of creditors, has a receiver appointed or any proceeding is demanded by, for or against IEEP or SPONSOR under any provision of the federal Bankruptcy Act or any amendment thereof.

3.6 Continuation of Services to other Participating Agencies. In the event this Agreement is terminated in whole or in part as provided in paragraph 3.5, IEEP may continue, upon such terms and in such manner as it has or may determine appropriate, to provide services similar to those provided to other Participating Agencies.

3.7 Indemnification. Each party shall defend, indemnify and hold the other party, its officials, officers, employees and agents free and harmless from any and all liability

from loss, damage, or injury to property or persons, including wrongful death, in any manner arising out of or incident to its negligent acts, omissions or willful misconduct arising out of or in connection with its performance of this Agreement, including without limitation the payment of attorneys' fees. Further, each party shall defend at its own expense, including attorneys' fees, the other party, its officials, officers, employees, and agents in any legal action based upon such negligent acts, omissions or willful misconduct.

3.8 Notices and Requests. Any notice, demand, or request required or permitted to be given hereunder shall be in writing and shall be deemed to have been duly delivered and effective on the third business day after having been deposited in the United States mail, postage prepaid, registered or certified, and addressed to the addressee as set forth below. If delivered by facsimile machine to such addressee, such notice shall be deemed to have been duly delivered and effective on the date transmitted. If delivered via overnight courier to such addressee, such notice shall be deemed to have been duly delivered and effective on the next business day. Any party may change its address for purposes of this Agreement by written notice given in accordance herewith.

**IIEP:** INLAND EMPIRE ECONOMIC PARTNERSHIP  
1201 Research Park Drive  
Riverside, CA 92507  
Attention: Teri Ooms  
Phone: 909-779-6700

**SPONSOR:** VICTORVILLE REDEVELOPMENT AGENCY  
14343 Civic Drive  
Victorville, CA 92392  
Attention: Keith C. Metzler  
Phone: 760-955-5032  
Fax: 760-245-7243

3.9 Assignment Without Consent Prohibited. The rights or obligations of any of the parties hereto may not be assigned or delegated, respectively, without the prior written consent of the other party hereunder, which consent may be withheld in such party's sole and absolute discretion. Any assignment by either party hereunder shall not release such party from any of its obligations hereunder. Except as specifically provided above, neither party to this Agreement may, voluntarily or by operation of law, assign or otherwise transfer any of its rights or obligations under this Agreement.

3.10 Exhibit. Exhibit "A" attached hereto is hereby incorporated by reference in this Agreement. Nothing contained in any such exhibit shall supersede or annul the terms and provisions of this Agreement, unless the matter set forth in the exhibit shall explicitly so provide to the contrary. In the event of any ambiguity in meaning or understanding between the provisions of this Agreement and the appended exhibit, the provisions of this Agreement shall control.

3.11 Entire Agreement. This Agreement, including the exhibit attached hereto, shall constitute the entire Agreement between SPONSOR and IIEP concerning the subject

matter hereof and shall supersede all prior and contemporaneous Agreements between the parties.

3.12 No Joint Venture or Partnership. SPONSOR and IEEP shall not, by virtue of this Agreement, in any way or for any reason, be deemed to be or have become a partner of the other in the conduct of its business or otherwise, or a joint venture.

3.13 Gender and Number. The use herein of the neutered-gender includes the masculine and the feminine and the singular number includes the plural, whenever the context so requires.

3.14 Captions. The captions and headings provided in this Agreement are inserted for convenience of reference only and do not define, describe or limit the scope or the intent of this Agreement or any of the terms hereof.

3.15 Counterparts. This Agreement may be executed in counterparts, each of which shall be deemed a fully executed original.

3.16 Attorneys' Fees. In the event either party commences litigation for the judicial interpretation, enforcement, termination, cancellation or rescission hereof, or for damages for the breach hereof, then, in addition to any and all other relief awarded in such litigation, the prevailing party therein shall be entitled to a judgment against the other for an amount equal to reasonable attorneys' fees and court and other costs incurred.

3.17 Choice of Law. This Agreement shall be construed and enforced in accordance with the laws of the State of California.

3.18 Modification and Waiver. No modification, waiver, amendment, discharge or change of this Agreement shall be valid unless the same is in writing and signed by the party against which the enforcement of such modification, waiver, amendment, discharge or change is or may be sought.

3.19 Severability. In the event any term, covenant, condition, provision or agreement herein contained is held to be invalid, void or otherwise unenforceable by any court of competent jurisdiction, the fact that such term, covenant, condition, provision or agreement is invalid, void or otherwise unenforceable, shall in no way effect the validity or enforceability of any other term, covenant, condition, provision or agreement herein contained.

3.20 Binding Agreement. Subject to any limitation on assignment elsewhere set forth herein, all terms of this Agreement shall be binding upon, ensure to the benefit of and be enforceable by the parties hereto and their respective legal representatives, successors and assigns.

3.21 Time of Essence. Time is of the essence for each and every provision of this Agreement.

3.22 Prohibited Interests.

A. Solicitation. IEEP maintains and warrants that it has not employed nor retained any company or person, other than a bona fide employee working solely

for IEEP, to solicit or secure this Agreement. Further, IEEP warrants that it has not paid nor has it agreed to pay any company or person, other than a bona fide employee working solely for IEEP, any fee, commission, percentage, brokerage fee, gift or other consideration contingent upon or resulting from the award or making of this Agreement. For breach or violation of this warranty, SPONSOR shall have the right to rescind this Agreement without liability.

B. Conflict of Interest. For the term of this Agreement, no member, officer or employee of SPONSOR, during the term of his or her service with SPONSOR, shall have any direct interest in this Agreement, or obtain any present or anticipated material benefit arising therefrom.

3.23 Equal Opportunity Employment. IEEP represents that it is an equal opportunity employer and it shall not discriminate against any employee or applicant for employment because of race, religion, color, national origin, ancestry, sex or age. Such non-discrimination shall include, but not be limited to, all activities related to initial employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination.

**IN WITNESS WHEREOF**, the parties hereto have caused this Agreement to be executed on the day and year first above written.

INLAND EMPIRE  
ECONOMIC PARTNERSHIP

VICTORVILLE REDEVELOPMENT AGENCY

By: \_\_\_\_\_  
Paul Hiller  
President & CEO

By: \_\_\_\_\_  
Chairman

ATTEST:

\_\_\_\_\_  
City Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
Agency Attorney

**CITY OF VICTORVILLE  
CITY COUNCIL  
AGENDA**

REGULAR MEETING  
AUGUST 15, 2006  
7:00 P.M.

MOJAVE DESERT AIR QUALITY  
MANAGEMENT DISTRICT - BOARDROOM  
14306 PARK AVENUE  
[www.ci.victorville.ca.us](http://www.ci.victorville.ca.us)

THE CITY COUNCIL MEETING IS SCHEDULED TO BEGIN AT 7:00 P.M.  
OR AS SOON THEREAFTER AS POSSIBLE UPON THE CONCLUSION OF THE  
MEETING OF THE VICTORVILLE REDEVELOPMENT AGENCY

ANY INDIVIDUAL WITH A DISABILITY WHO REQUIRES REASONABLE  
ACCOMMODATION TO PARTICIPATE IN A CITY COUNCIL MEETING MAY  
REQUEST ASSISTANCE AND/OR RECEIVE THE AGENDA IN AN ALTERNATIVE  
FORMAT BY CONTACTING THE VICTORVILLE CITY CLERK'S OFFICE  
(760) 955-5026 NO LATER THAN 72 HOURS PRIOR TO THE MEETING

CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

**PRESENTATION**

PROCLAMATION – TO JOE ISKANDAR AND REY BANTUG FOR THEIR HEROIC  
ACTIONS IN RESCUING A WOMAN AND CAPTURING A SERIAL MURDERER

PROCLAMATION – DESERT VALLEY HOSPITAL – ACCEPTED BY LOUIS LEON,  
ADMINISTRATOR

**PUBLIC COMMENT**

1. PUBLIC COMMENT ON ITEMS OF INTEREST TO THE PUBLIC

**PUBLIC HEARINGS**

2. A PUBLIC HEARING CALLED TO HEAR ARGUMENTS FOR OR AGAINST  
THE ADOPTION OF RESOLUTION NO. 06-135 ENTITLED:

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE,  
CALIFORNIA, MAKING DETERMINATION AND CONFIRMING ASSESSMENTS

AND PROCEEDINGS FOR UNPAID RUBBISH COLLECTION, SEWER USE FEES, STORM DRAIN FEES, HAZARDOUS WASTE FEES AND ASSEMBLY BILL 939 RECYCLING FEES

3. A PUBLIC HEARING CALLED TO HEAR ARGUMENTS FOR OR AGAINST THE ADOPTION OF RESOLUTION NOS. 06-124 AND 06-125

A. RESOLUTION NO. 06-124 ENTITLED:

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE APPROVING THE ENGINEER'S REPORT FILED IN SUPPORT OF THE FORMATION OF THE LANDSCAPE MAINTENANCE ASSESSMENT DISTRICT NO. 6, AN ASSESSMENT DISTRICT PROPOSED TO BE FORMED UNDER THE LANDSCAPING AND LIGHTING ACT OF 1972

B. RESOLUTION NO. 06-125 ENTITLED:

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE ORDERING FORMATION OF THE LANDSCAPE MAINTENANCE ASSESSMENT DISTRICT NO. 6, UNDER THE ASSESSMENT DISTRICT PROPOSED TO BE FORMED UNDER THE LANDSCAPING AND LIGHTING ACT OF 1972 AND AUTHORIZING THE LEVY AND COLLECTION OF ASSESSMENTS FROM SAID DISTRICT IN ORDER TO FUND THE ONGOING MAINTENANCE OF LANDSCAPE MAINTENANCE ASSESSMENT DISTRICT NO. 6 REQUIRED BY THE CITY TO BE INSTALLED BY THE DEVELOPER AS A CONDITION OF APPROVAL OF TRACTS 17089 AND 17599

4. A PUBLIC HEARING CALLED TO HEAR ARGUMENTS FOR OR AGAINST THE ADOPTION OF RESOLUTION NO. 06-141, THE INTRODUCTION OF ORDINANCE NO. 2170 AND THE ADOPTION OF NEGATIVE DECLARATION

A. RESOLUTION NO. 06-141 ENTITLED:

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE FOR APPROVING TENTATIVE TRACT TT-06-013, TO ALLOW FOR THE DEVELOPMENT OF A 286-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION IN CONJUNCTION WITH PLANNED UNIT DEVELOPMENT PUD-06-001 ON PROPERTY LOCATED NORTH OF SENECA ROAD, SOUTH OF HOOK BOULEVARD, EAST OF TOPAZ ROAD AND WEST OF DIAMOND ROAD – BRENTWOOD INVESTORS, LP AND TAGGART INVESTMENTS, INC.

B. ORDINANCE NO. 2172 ENTITLED:

AN ORDINANCE OF THE CITY OF VICTORVILLE ADOPTING A PLANNED UNIT DEVELOPMENT PUD-06-001 TO ALLOW FOR THE DEVELOPMENT OF

A 286-LOT SINGLE-FAMILY PLANNED RESIDENTIAL DEVELOPMENT AND A TENTATIVE TRACT TO ALLOW FOR THE DEVELOPMENT OF A 286-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION ON PROPERTY LOCATED NORTH OF SENECA ROAD, SOUTH OF HOOK BOULEVARD, EAST OF TOPAZ ROAD AND WEST OF DIAMOND ROAD, - BRENTWOOD INVESTORS, LP AND TAAGGART INVESTMENTS, INC.

**C. NEGATIVE DECLARATION**

**5. PUBLIC HEARING CALLED TO HEAR ARGUMENTS FOR OR AGAINST THE INTRODUCTION OF ORDINANCE NO. 2171 AND THE ADOPTION OF A MITIGATED NEGATIVE DECLARATION**

**A. ORDINANCE NO. 2171 ENTITLED:**

AN ORDINANCE OF THE CITY OF VICTORVILLE GRANTING A SIXTEENTH AMENDMENT TO SPECIFIC PLAN 2-88 (MESA VERDE) TO: A) REVISE THE CIRCULATION ELEMENT; AND B) TO REVISE THE LAND USE OVERLAY DESIGNATION IN PLANNING AREA 22 FROM MULTI-FAMILY RESIDENTIAL (HIGH DENSITY) AND SINGLE-FAMILY RESIDENTIAL (MEDIUM DENSITY) TO SINGLE-FAMILY RESIDENTIAL (MEDIUM DENSITY) – OVERLAND OPPORTUNITY FUND, LLC

**B. MITIGATED NEGATIVE DECLARATION**

**CONSENT CALENDAR**

**6. PRESENTATION OF REQUEST TO APPROVE THE CONSENT CALENDAR AS FOLLOWS:**

**A. PRESENTATION OF REQUEST FOR APPROVAL OF COMMERCIAL DEMAND SCHEDULE NO. 3 IN THE AMOUNT OF \$5,375,261.78 COVERING WARRANT NOS. 576519, 276974, AND 576879 THROUGH 577329 INCLUSIVE**

**B. PRESENTATION OF REQUEST FOR APPROVAL OF PAYROLL DEMAND SCHEDULE NO. 1A FOR PAYROLL PERIOD JUNE 17, 2006 THROUGH JUNE 30, 2006, IN THE AMOUNT OF \$1,195,335.17 COVERING WARRANT NOS. 20181 THROUGH 20241 AND ADVICE NOS. 101702 THROUGH 102243 INCLUSIVE**

**C. PRESENTATION OF REQUEST FOR APPROVAL OF PAYROLL DEMAND SCHEDULE NO. 1B FOR PAYROLL PERIOD JULY 1, 2006 THROUGH JULY 14, 2006 IN THE AMOUNT OF \$1,505,150.63**

COVERING WARRANT NOS. 20242 THROUGH 20491 AND ADVICE NOS. 102244 THROUGH 102772 INCLUSIVE

- D. PRESENTATION OF REQUEST FOR APPROVAL OF PAYROLL DEMAND SCHEDULE NO. 2A FOR PAYROLL PERIOD JULY 15, 2006 THROUGH JULY 28, 2006 IN THE AMOUNT OF \$1,325,052.38 COVERING WARRANT NOS. 20492 THROUGH 20570 AND ADVICE NOS. 102773 THROUGH 103316 INCLUSIVE AND VOID/ADJUSTMENT OF ADVICE NOS. 98895 AND 102451
- E. PRESENTATION OF REQUEST TO ACCEPT THE FOLLOWING DEPARTMENT STAFF REPORTS:
  - 1. COMMUNITY SERVICES DEPARTMENT – MAY 2006
  - 2. COMMUNITY SERVICES DEPARTMENT – JUNE 2006
  - 3. DEVELOPMENT DEPARTMENT – JUNE 2006
  - 4. INFORMATION SERVICES DEPARTMENT – 1<sup>ST</sup> QUARTER 2006
  - 5. INFORMATION SERVICES DEPARTMENT – 2<sup>ND</sup> QUARTER 2006
  - 6. VICTORVILLE POLICE DEPARTMENT – JUNE 2006
- F. PRESENTATION OF SECOND READING AND ADOPTION BY CITY COUNCIL FOR ORDINANCE NO. 2170 ENTITLED:

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE AMENDING SECTION 2.20.200(A) OF THE VICTORVILLE MUNICIPAL CODE RELATING TO PUBLIC PARTICIPATION IN CITY COUNCIL MEETINGS
- G. PRESENTATION OF REQUEST TO AWARD A CONTRACT TO AMERIPRIDE UNIFORM SERVICES FOR THE UNIFORMS, TOWELS AND FLOOR MATS SERVICES IN AN AMOUNT NOT TO EXCEED \$45,000.00
- H. PRESENTATION OF REQUEST TO AWARD A CONTRACT TO FISHER SAFETY FOR THE PIGGYBACK PURCHASE OF THIRTY-ONE (31) SETS OF TURNOUTS IN THE AMOUNT OF \$44,631.41
- I. PRESENTATION OF REQUEST TO AWARD A ONE-YEAR CONTRACT EXTENSION ON THE ANNUAL SUPPLY AGREEMENT TO AMERICAN ROTARY BROOM IN AN AMOUNT NOT TO EXCEED \$27,000.00
- J. PRESENTATION OF REQUEST TO APPROVE APPROPRIATIONS FROM THE EQUIPMENT RESERVE FUNDS AND AWARD A PIGGYBACK PURCHASE TO SUNLAND FORD IN THE AMOUNT OF \$31,446.97

- K. PRESENTATION OF REQUEST TO APPROVE THE FULL RELEASE OF BOTH PERFORMANCE AND LABOR AND MATERIAL BONDS FOR TRACT 16244-1 – PORTRAIT HOMES
- L. PRESENTATION OF REQUEST TO ACCEPT THE NOTICE OF COMPLETION FOR THE SCLA TENANT IMPROVEMENTS TO HANGAR 676
- M. PRESENTATION OF REQUEST TO ACCEPT THE NOTICE OF COMPLETION FOR THE REPAVING OF THE EVA DEL PARK PARKING LOT
- N. PRESENTATION OF REQUEST TO ACCEPT THE NOTICE OF COMPLETION FOR THE CARPET AND FLOORING PROJECT AT THE WESTWINDS GOLF COURSE
- O. PRESENTATION OF REQUEST TO ACCEPT THE NOTICE OF COMPLETION FOR THE INSTALLATION OF PLAYGROUND EQUIPMENT AT THE OLD VICTOR SCHOOL

#### **WRITTEN COMMUNICATIONS**

- 7. PRESENTATION OF REQUEST TO RE-AWARD A CONTRACT TO F.E.C. ELECTRIC FOR FURNISHING, DELIVERING AND INSTALLING THE DORIS DAVIES PARK PARKING & SECURITY LIGHTING IN THE AMOUNT OF \$93,213.00 AND APPROVE ADDITIONAL APPROPRIATIONS IN THE AMOUNT OF \$82,828.00 FROM THE RECREATION DISTRICT FUNDS (20200) AND \$10,385.00 FROM THE RECREATION DIF FUND (60500)
- 8. PRESENTATION OF REQUEST TO AWARD THE CITY'S ANNUAL ASPHALT PREVENTATIVE MAINTENANCE CONTRACT TO VALLEY SLURRY SEAL CO. IN THE AMOUNT OF \$3,364,197.69 AND APPROVE ADDITIONAL APPROPRIATIONS IN THE AMOUNT OF \$2,868,827.34 WHICH INCLUDES A FIFTEEN (15) PERCENT CONTINGENCY
- 9. PRESENTATION OF REQUEST FOR COUNCIL TO APPROVE THE DEVELOPMENT IMPACT FEE CREDIT AGREEMENTS WITH LB/L SUNCAL II, VICTOR VALLEY, LLC IN THE AMOUNT OF \$2,172,063.00 FOR TRACTS 16968 (PENDING FUTURE ASSIGNMENTS TO TRACTS 17130 THROUGH 17135) AND TRACT 17083
- 10. PRESENTATION OF REQUEST FOR COUNCIL, ACTING AS THE BOARD OF DIRECTORS FOR THE VICTORVILLE SANITARY DISTRICT, APPROVE THE SEWER FEE CREDIT AGREEMENTS WITH LB/L SUNCAL II, VICTOR

CITY COUNCIL AGENDA

AUGUST 15, 2006

Page 6 of 7

VALLEY, LLC IN THE AMOUNT OF \$167,250.00 FOR TRACTS 16968  
(PENDING FUTURE ASSIGNMENTS TO TRACTS 17130 THROUGH 17135)  
AND TRACT 17083

11. PRESENTATION OF REQUEST TO ADOPT RESOLUTION NO. 06-131  
ENTITLED:  
  
A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE  
OBJECTING TO THE SALE OF CERTAIN TAX DEEDED PROPERTY WITHIN  
THE CITY OF VICTORVILLE
12. PRESENTATION OF REQUEST TO ADOPT RESOLUTION NO. 06-142  
ENTITLED:  
  
A RESOLUTION OF THE VICTORVILLE CITY COUNCIL, COUNTY OF SAN  
BERNARDINO, STATE OF CALIFORNIA, SUPPORTING THE CONCEPT AND  
EFFORTS OF THE VICTORVILLE POLICE DEPARTMENT NEEDED TO  
CONDUCT A DRIVING UNDER THE INFLUENCE (DUI) TRAFFIC SAFETY  
PROJECT
13. PRESENTATION OF REQUEST TO ADOPT RESOLUTION NO. 06-143  
ENTITLED:  
  
A RESOLUTION OF THE VICTORVILLE CITY COUNCIL, COUNTY OF SAN  
BERNARDINO, STATE OF CALIFORNIA, SUPPORTING THE CONCEPT AND  
EFFORTS OF THE VICTORVILLE POLICE DEPARTMENT NEEDED TO  
CONDUCT A DRIVING UNDER THE INFLUENCE (DUI) TRAFFIC SAFETY  
PROJECT
14. PRESENTATION OF REQUEST TO APPROVE ADDITIONAL  
APPROPRIATION FOR THE PURCHASE OF TWO (2) CNG TRAINING VIDEO  
MODULES IN THE AMOUNT OF \$19,600.00
15. PRESENTATION OF REQUEST TO AWARD A CONTRACT TO DEO  
ENTERPRISE FOR A PROFESSIONAL SERVICES AGREEMENT IN THE  
AMOUNT OF \$250,000.00
16. PRESENTATION TO COUNCIL OF PLAN FOR SERVICES FOR THE  
DISSOLUTION OF SANITARY, FIRE PROTECTION, AND RECREATION AND  
PARK SUBSIDIARY DISTRICTS
17. PRESENTATION OF REQUEST TO DENY CLAIM AGAINST THE CITY NO. 06-  
07- (JASON PRICE) WITH REFERRAL TO STAFF

**COUNCIL REPORTS**

**18. PRESENTATION OF REPORTS FROM COUNCIL MEMBERS**

**CLOSED SESSION**

**19. CLOSED SESSION AGENDA ITEM PURSUANT TO GOVERNMENT CODE SECTION 54956.9 (A)**

CONFERENCE WITH LEGAL COUNSEL: EXISTING LITIGATION  
SUBJECT OF CASE: JOHN MARTIN – CASE NO. CV 06-03288

**20. CLOSED SESSION AGENDA ITEM PURSUANT TO GOVERNMENT CODE SECTION 54956.9 (A)**

CONFERENCE WITH LEGAL COUNSEL: EXISTING LITIGATION  
SUBJECT OF CASE: JOHN DUBASIK (EMPLOYEE)– CASE NO.  
VCVVS042478

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AGENDA ITEM

CITY COUNCIL MEETING OF: AUGUST 15, 2006

SUBMITTED BY: Carolee Bates  
City Clerk

DATE: 8/7/06

SUBJECT: PUBLIC COMMENT ON ITEMS OF INTEREST TO THE PUBLIC

RECOMMENDATION: N/A

FISCAL IMPACT: N/A  
Budget Amount:  
Budget Acct. No.:

--Finance Department Use Only--  
Additional Appropriation:

\_\_\_ No  
\_\_\_ Yes/\$ Amt.:

Finance Director Review and Approval \_\_\_\_\_

DISCUSSION: State law requires that each agenda of a governing body provide an opportunity for members of the public to address the legislative body on items of interest to the public within the body's subject matter of jurisdiction.

Accordingly, this item has been placed on the agenda to afford an opportunity for public comment at this time.

CB/dl

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**AGENDA ITEM**

**CITY COUNCIL MEETING OF:** August 15, 2006

**SUBMITTED BY:** Adair M. Patterson *amp*  
Director of Finance

**DATE:** August 7, 2006

**SUBJECT:** PUBLIC HEARING - UNPAID RUBBISH COLLECTION, SEWER USE FEES, STORM DRAIN FEES, HAZARDOUS WASTE FEES, AND ASSEMBLY BILL 939 RECYCLING FEES - RESOLUTION NO. 06-135

**RECOMMENDATION:** That the Honorable City Council adopt Resolution No. 06-135 confirming the assessments for the unpaid rubbish collection, sewer use fees, storm drain fees, hazardous waste fees, and Assembly Bill 939 recycling fees at the close of the Public Hearing.

**FISCAL IMPACT:** \$88,073.20

Budget Amount: -0-  
Budget Account No.: 419702-30100-30500-00000

**DISCUSSION:** Attached please find the list of property owners delinquent in their rubbish collection, sewer use fees, storm drain fees, hazardous waste fees, and Assembly Bill 939 recycling fees. These property owners have been notified of their delinquency, and of the public hearing. As of this date, the balances shown remain unpaid.

--Finance Dept. Use Only--  
Additional Appropriation:

No  
 Yes/\$Amount:

Finance Director Review and  
Approval *amp*

Per Victorville Municipal Code Section 6.36.085, this list is submitted to confirm liens on the properties, which shall be included on the tax roll for taxes levied against the said properties.

AMP/pka  
c:\files\amm\lien agenda item

Attachments (2)

**RESOLUTION NO. 06-135**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE, CALIFORNIA, MAKING DETERMINATION AND CONFIRMING ASSESSMENTS AND PROCEEDINGS FOR UNPAID RUBBISH COLLECTION, SEWER USE FEES, STORM DRAIN FEES, HAZARDOUS WASTE FEES AND ASSEMBLY BILL 939 RECYCLING FEES**

WHEREAS, the Finance Director of the City of Victorville, California, has heretofore filed in the office of the City Clerk of said City, an assessment for certain unpaid rubbish collection, sewer use fees, storm drain fees, hazardous waste fees and Assembly Bill 939 recycling fees in said City, done under and pursuant to Section 6.36.085 of the Victorville Municipal Code; and

WHEREAS, after the filing of said assessment, the City Clerk has, as required by law, given notice of the filing of said assessment and of the time fixed in said notice for hearing by this City Council; and

WHEREAS, all property owners involved in this assessment have been duly notified of the time and place of said hearing fifteen (15) days prior to said hearing; and

WHEREAS, a Public Hearing was held before the City Council of the City of Victorville at 7:00 p.m., August 15, 2006, in the Mojave Desert Air Quality Management District Boardroom, 14306 Park Avenue, California, Victorville, California, the time and place fixed in such notice; and

WHEREAS, during the aforementioned Public Hearing, all appeals, protests or objections, if any, were duly presented and all persons desiring to be heard thereon were heard and the City Council gave all persons present an opportunity to be heard in respect to any matter relating to said work, to any act or determination of the Finance Director of said City in relation thereto, to the correctness of said assessment, or to any matter relating to said work, or the proceedings therefor; and

WHEREAS, all such persons desiring to be heard have been heard by the City Council and are fully informed in the premises.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY FIND, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1. That said hearing has been duly held; that each and every step in the proceedings prior to and including the hearing has been duly and regularly taken; that this City Council is satisfied with the correctness of the assessment; the proceedings and all matters relating thereto; and that all protests, objections, or appeals be and the same are hereby overruled and denied, and the City Council does hereby confirm said proceedings and said assessment.

SECTION 2. That the fees for the rubbish collection, sewer use, storm drain, hazardous waste and Assembly Bill 939 recycling shall be assessed against the benefiting property and shall be assured as a lien on the property benefited thereby, which lien shall be included on the tax roll for the taxes levied against the said property unless said lien is paid within five (5) days after the adoption of this resolution.

SECTION 3. That all liens not paid within one year from the adoption of this resolution shall bear interest on the unpaid balance at the rate of ten percent (10%) per annum on the unpaid balance.

SECTION 4. That the parcels to be liened and the amount of said lien are set forth on Exhibit "A" attached hereto and made a part hereof.

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

MCMICAN, JULIE  
MCMICAN, MONTE  
14184 AUBURN CT.  
VICTORVILLE, CA  
92394  
14184 AUBURN CT.  
39421122  
\$216.48

GRIDER, CARLOS  
GRIDER, LISA  
16558 O'DELL AVE.  
VICTORVILLE, CA  
92392  
16558 O'DELL AVE.  
39507516  
\$140.04

TOUMA, MARILU  
4439 MURIETTA AVE. #20  
SHERMAN OAKS, CA  
91423  
14439 CHAMBERLAIN DR.  
39448123  
\$246.24

VALLEJO, NEOLI S TRUST  
15994 CALANDRIA WAY  
VICTORVILLE, CA  
92394  
15994 CALANDRIA WAY  
39510411  
\$236.24

GEORGE, PAUL  
GEORGE, KIMBERLY  
14430 FONTAINE WAY  
VICTORVILLE, CA.  
92394  
14430 FONTAINE WAY  
39448165  
\$278.94

PATTERSON, ROBERT  
15446 CONDOR RD.  
VICTORVILLE, CA  
92394  
15446 CONDOR RD.  
39513906  
\$216.48

LEDESMA, PATRICIA  
PO BOX 2459  
VICTORVILLE, CA  
92393  
14315 TAWNEY RIDGE LN.  
39449141  
\$278.94

VILLASENOR, MARTHA  
VILLASENOR, LORENZO  
15587 CALGO LN.  
VICTORVILLE, CA  
92395  
15587 CALGO LN.  
39514911  
\$216.48

WEATHERFORD, JAMES  
14850 MANNING LN.  
VICTORVILLE, CA  
92394  
14850 MANNING LN.  
39501424  
\$140.04

ROACH, DOLORES  
15474 JAY POST RD.  
VICTORVILLE, CA.  
92394  
15474 JAY POST RD.  
39514914  
\$202.50

METEER, MARTHA LETICIA  
14711 PRENDA ST.  
VICTORVILLE, CA  
92392  
14711 PRENDA ST.  
39502228  
\$190.35

VALENZUELA, CARLOS  
VALENZUELA, LAURA  
15772 NO. CULVER RD.  
VICTORVILLE, CA  
92394  
15772 NO. CULVER RD.  
39515408  
\$216.48

GODINEZ, ARMANDO  
14701 CLOVIS ST  
VICTORVILLE, CA  
92394  
14701 CLOVIS ST  
39503320  
\$80.95

YOUNG, ABRAHAM  
15978 HEATHERDALE RD.  
VICTORVILLE, CA  
92394  
15978 HEATHERDALE RD.  
39517212  
\$278.94

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

CASTILLO, HECTOR  
CASTILLO, GUADALUPE  
15299 SAN JOSE DR  
VICTORVILLE, CA  
92394  
15299 SAN JOSE DR  
39530116  
\$247.28

CABRERA, WILFREDY  
CABRERA, MAYDA  
14383 CHAMBERLAIN DR.  
VICTORVILLE, CA  
92394  
15053 CHUPAROSA ST.  
39539174  
\$216.48

VILLASENOR, MARTHA  
VILLASENOR, LORENZO  
15587 CALGO LN.  
VICTORVILLE, CA  
92392  
15757 LA JOYA PL.  
39533415  
\$216.48

CAMARGO, ANTONIO C.  
15022 CHUPAROSA ST.  
VICTORVILLE, CA  
92394  
15022 CHUPAROSA ST.  
39539184  
\$216.24

MARDON, DEBORAH  
14996 JORDAN PL.  
VICTORVILLE, CA.  
92394  
14996 JORDAN PL.  
39534321  
\$216.48

BELTRAM, MIGUEL  
BELTRAM, ISABEL  
15535 CHAPARRAL ST.  
VICTORVILLE, CA  
92394  
15535 CHAPARRAL ST.  
39543106  
\$216.48

AGUIRRE, TERESA/AGUIRRE,  
EDMUND % WEBB, TOM  
19347 ABERT ST.  
ROWLAND HIEGHTS, CA.  
91748  
15116 WHITEKIRK DR.  
39538136  
\$216.48

BLANCHARD, SANDRA  
15545 CHAPARRAL ST.  
VICTORVILLE, CA  
92394  
15545 CHAPARRAL ST.  
39543107  
\$216.48

HUERTA, JESUS  
HUERTA, MELINDA  
15146 DAKOTA WAY  
VICTORVILLE, CA  
92394  
15146 DAKOTA WAY  
39539144  
\$216.48

OLSEN-RAMOS, DEBRA A.  
15566 CHAPARRAL ST.  
VICTORVILLE, CA.  
92394  
15566 CHAPARRAL ST.  
39543124  
\$216.48

BEECH, DICKIE  
15164 WILDROSE ST.  
VICTORVILLE, CA.  
92394  
15164 WILDROSE ST.  
39539158  
\$216.48

ACEVES, ERIC  
15310 MESQUITE AVE.  
VICTORVILLE, CA  
92394  
15310 MESQUITE AVE.  
39547111  
\$216.48

SMITH, HEATHER  
COLLINS, GARY  
15192 MESQUITE CIRCLE  
VICTORVILLE, CA  
92394  
15192 MESQUITE CIRCLE  
39547143  
\$216.48

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

COLEMAN, SHAWN  
COLEMAN, CLAUDIA  
15473 AMBER POINT DR.  
VICTORVILLE, CA  
92394  
15473 AMBER POINT DR.  
39547151  
\$216.48

RODRIGUEZ, RAMONA  
15507 MORRO BAY LN.  
VICTORVILLE, CA.  
92394  
15507 MORRO BAY LN.  
39549112  
\$276.40

GONZALES, SHIRLEY  
16339 SALINAS ST.  
VICTORVILLE, CA.  
92394  
16339 SALINAS ST.  
39551117  
\$216.48

LOCKE, LORISE  
15507 DOHENY LN.  
VICTORVILLE, CA.  
92394  
15507 DOHENY LN.  
39551121  
\$223.56

PERAZA, CATALINA  
MARTINEZ, GILBERTO  
9414 BANDERA ST.  
LOS ANGELES  
90002  
15591 NAPLES LN.  
39553126  
\$216.48

GREEN-GILLIAM, CHARLOTTE  
GREEN, LETRON  
15540 NAPLES LN.  
VICTORVILLE, CA  
92394  
15540 NAPLES LN.  
39554110  
\$216.48

PHILLIPS, SONSURAY  
PHILLIPS, ELIJAH  
14843 ROSEMARY DR.  
VICTORVILLE, CA  
92394  
14843 ROSEMARY DR.  
39555108  
\$216.48

INGLES, BILL  
%FOSTER REALTY  
18026 JOHNATHAN  
ADELANTO, CA.  
92301  
14854 ANN DR.  
39555128  
\$216.48

SOLORIO, FRANK  
SOLORIO, SOCORRO  
14611 PHOENIX ST.  
VICTORVILLE, CA  
92394  
14611 PHOENIX ST.  
39556177  
\$240.69

MACKLIN, MILDRED  
13231 IDYLLWILD ST  
HESPERIA, CA  
92344  
14622 CAROB ST.  
39557126  
\$216.48

ANTOINE, RICHARD JR.  
14567 GRAHAM AVE.  
VICTORVILLE, CA.  
92394  
14567 GRAHAM AVE.  
39558112  
\$204.48

GEORGE, LORI  
14558 CAROB ST.  
VICTORVILLE, CA.  
92394  
14558 CAROB ST.  
39558130  
\$216.48

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

CEBALLOS, HECTOR  
CEBALLOS, ELVIA  
14566 STONECRESS ST  
VICTORVILLE, CA  
92394  
14566 STONECRESS ST  
39558204  
\$216.48

WILLIS, RONALD  
14531 NELSON AVE.  
VICTORVILLE, CA  
92394  
14531 NELSON AVE.  
39558229  
\$216.48

KNOTT, ALBERT  
14807 HONEYSUCKLE ST.  
VICTORVILLE, CA.  
92394  
14807 HONEYSUCKLE ST.  
39558235  
\$216.48

RODRIGUEZ, JESSIE  
RODRIGUEZ, ANNA  
15533 AMBER POINT DR.  
VICTORVILLE, CA  
92394  
15533 AMBER POINT DR.  
39562122  
\$216.48

BONILLA, APRIL D./BONILLA,  
ROBERT/SAAVEDRA, DAVID JR.  
15243 SAPPHIRE CT.  
VICTORVILLE, CA  
92394  
15243 SAPPHIRE CT.  
39565111  
\$278.94

SPRING, YOLANDA  
SPRING, HAL  
14640 AZTEC ST.  
VICTORVILLE, CA  
92394  
14640 AZTEC ST.  
39569120  
\$216.48

ROY, WENDELIN  
ROY, DONALD  
14859 TOTEM POLE ST  
VICTORVILLE, CA  
92394  
14859 TOTEM POLE ST  
39573107  
\$214.36

GARIBAY, GURBAKSH  
15574 BOW STRING ST.  
VICTORVILLE, CA  
92394  
15574 BOW STRING ST.  
39573145  
\$216.48

COLES, DOYLE  
COLES, JACQUELINE  
14246 ARROWHEAD DR  
VICTORVILLE, CA  
92392  
15084 ANACAPA RD  
39605114  
\$321.39

ANDERSON, WIL JR.  
9390 SEQUOIA RD.  
VICTORVILLE, CA.  
92392  
14328 EL DORADO DR.  
39622302  
\$216.48

LEHMANN, CARL TR.  
LEHMANN, LYDIA TR.  
3303 N. ELMCROFT TERR.  
PEORIA, IL  
61604  
14303 7TH ST.  
39623510  
\$338.07

PYRGOS, INC.  
6774 CHURCH ST.  
HIGHLAND, CA  
92346  
14096 GREEN TREE BLVD.  
39623520  
\$428.52

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

PYRGOS, INC.  
C/O GEORGE THANOS  
6774 CHURCH ST.  
HIGHLAND, CA  
92346  
14269 7TH ST.  
39623521  
\$706.98

KEESEE, RICHARD  
KEESEE, NANCY  
13722 OAKMONT DR.  
VICTORVILLE, CA  
92395  
13722 OAKMONT DR.  
39637107  
\$216.48

DIAZ, JOHN  
14242 OXFORD PL.  
VICTORVILLE, CA  
92395  
14242 OXFORD PL.  
39625209  
\$216.48

HUNNIFORD, SHEILA  
HUNNIFORD, DARRYL  
12979 OASIS RD.  
VICTORVILLE, CA  
92392  
12979 OASIS RD.  
45554117  
\$247.70

JENSON, JOHN  
P.O. BOX 40  
RANCHO CUCAMONGA, CA.  
91739  
14155 WIMBLETON DR.  
39628115  
\$216.48

FERGUSON, GENEVA  
17390 JUPITER AVE.  
VICTORVILLE, CA  
92395  
17390 JUPITER AVE.  
47208107  
\$216.48

GOMEZ,HERBERT/GOMEZ,FRANC  
CAULKINS, ANGELA  
9183 APRICOT AVE.  
ALTA LOMA, CA.  
91701  
13761 BURNING TREE DR.  
39630301  
\$278.94

GONZALEZ, VAL  
GONZALEZ, BETTY  
15021 HIGHLANDER DR.  
VICTORVILLE, CA  
92394  
17173 ABBEY LN.  
47218165  
\$278.94

VIEIRA, CHARLES  
VIERA, SANDRA  
15552 ELMWOOD DR.  
VICTORVILLE, CA  
92395  
15552 ELMWOOD DR.  
39631102  
\$216.48

CONTRERAS, JOSE  
12672 HICKORY AVE  
VICTORVILLE, CA  
9295  
12672 HICKORY AVE  
47506805  
\$172.40

JENKINS, RAYMOND  
JENKINS, JANET  
13760 BEL AIR DR.  
VICTORVILLE, CA  
92395  
13760 BEL AIR DR.  
39633305  
\$211.24

LOPEZ, SYLVIA  
1948 W ST. GERTRUDE PL  
SANTA ANA, CA  
92704  
14594 KING CANYON RD  
47555264  
\$233.49

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

RECTOR, THOMAS  
RECTOR, LINDA  
16161 DEL NORTE DR.  
VICTORVILLE, CA  
92395  
16161 DEL NORTE DR.  
47701208  
\$278.94

MEDINA, DANIEL  
15229 REDONDO DR.  
VICTORVILLE, CA  
92395  
15229 REDONDO DR.  
47701229  
\$327.71

NOBLE, CELINA  
15054 TATUM RD.  
VICTORVILLE, CA  
92395  
15054 TATUM RD.  
47702424  
\$264.32

MORALES, ADALBERTO  
326 E. SOUTH ST.  
RIALTO, CA  
92376  
16651 TRACY ST. ABCD  
47705102  
\$396.96

BENITEZ, R. FAM. TRS.  
(HELEODORO, LOREDO)  
P.O. BOX 10368  
MORENO VALLEY, CA.  
92552  
15224 7TH ST. 34  
47705119  
\$313.86

WIMBERLY, MIRIAN  
LUKE, DENIKA  
16766 VERDE AVE.  
VICTORVILLE, CA  
92395  
16766 VERDE AVE.  
47706218  
\$99.32

CORONA, MARIA R.  
16830 TRACY ST.  
VICTORVILLE, CA  
92395  
16830 TRACY ST.  
47707121  
\$216.48

VALADEZ, REY  
16738 MERRILL ST.  
VICTORVILLE, CA.  
92395  
16738 MERRILL ST.  
47709526  
\$216.48

RUBALCABA, MARIA  
RUBALCABA, RAMIRO  
12614 LAZARD ST.  
SYLMAR, CA  
91342  
16273 VICTOR ST. A,B  
47710531  
\$204.48

DAY, SANDRA  
C/O 15055 REDONDO DR.  
VICTORVILLE, CA  
92392  
15055 REDONDO DR.  
47711310  
\$216.48

TARIN, LAWRENCE  
15040 REDONDO DR.  
VICTORVILLE, CA.  
92395  
15040 REDONDO DR.  
47711314  
\$216.48

ESCOBAR, DANIEL  
15154 PRADO CT.  
VICTORVILLE, CA  
92395  
15154 PRADO CT.  
47711324  
\$216.48

WANG, JIAN YING  
SUN, JAMES  
809 SHADY MOSS CT.  
WALNUT, CA.  
91789  
14958 7TH ST.  
47713106  
\$668.76

VASQUEZ, MARIE  
VASQUEZ, ROBERT  
14651 RODEO DR.  
VICTORVILLE, CA  
92395  
14651 RODEO DR.  
47719221  
\$231.36

# Sanitation Department

Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

MARTINEZ, TRACY  
20 BLACKBIRD LN.  
POMONA, CA  
91766  
14569 NAVARRO DR.  
47719304  
\$526.37

VELASQUEZ, DELPHINA  
16483 LORENE DR.  
VICTORVILLE, CA  
92395  
16483 LORENE DR.  
47732209  
\$278.94

TILLMAN, REGINALD  
P.O. BOX 2484  
VICTORVILLE, CA.  
92393  
14620 MESA DR. 22,24  
47720113  
\$300.72

SPENCE, ANTHONY  
5225 CANYON CREST DR.  
SUITE 71-250  
RIVERSIDE, CA.  
92507  
16486 HUGHES RD.  
47732214  
\$278.94

CASTELLUCCI, ALBERT  
CASTELLUCCI, BETTY  
16337 CABRILLO DR.  
VICTORVILLE, CA.  
92395  
16337 CABRILLO DR.  
47720614  
\$216.48

COLES, DOYLE  
COLES, JACQUELIN  
14246 ARROWHEAD DR.  
VICTORVILLE, CA  
92395  
14246 ARROWHEAD DR.  
47734106  
\$216.48

VERGARA, JUAN  
P.O. BOX 50888  
LOS ANGELES, CA.  
90050  
14290 HESPERIA RD. 8,HUGH  
47723312  
\$263.94

EDWARDS, WILLIAM/EDWARDS,  
JONATHAN, MILLS, SHARENE  
9965 8TH AVE.  
HESPERIA, CA  
92345  
16567 ZENDA ST. A,B  
47739314  
\$204.48

RIVERA, EVELYN  
16691 CITY VIEW DR.  
VICTORVILLE, CA  
92395  
16691 CITY VIEW DR.  
47723337  
\$140.04

PEYTON, RUBY  
13909 TAM O'SHANTER DR.  
VICTORVILLE, CA  
92395  
13909 TAM O'SHANTER DR.  
47745428  
\$231.48

LEE, SAMUEL REV. TR.  
LEE, JEWEL REV. TR.  
14276 HESPERIA RD.  
VICTORVILLE, CA  
92392  
14276 HESPERIA RD.  
47723348  
\$236.67

ESCOBAR, LUIS  
16205 CAMELBACK DR.  
VICTORVILLE, CA  
92395  
16205 CAMELBACK DR.  
47745503  
\$216.48

CARTER, LAWENA  
14408 MANZANITA RD.  
VICTORVILLE, CA.  
92395  
14408 MANZANITA RD.  
47729403  
\$216.48

DOBBE, JEAN  
13878 VICTORIA DR.  
VICTORVILLE, CA  
92395  
13878 VICTORIA DR.  
47747102  
\$216.48

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

CARTER, JOHN P.-LIV.TR.  
CARTER, S.-LIV.TR.  
13847 TRINIDAD DR.  
VICTORVILLE, CA  
92395  
13847 TRINIDAD DR.  
47747130  
\$216.48

BECK, CHARLES  
13743 GREENBRIER DR.  
VICTORVILLE, CA.  
92395  
13743 GREENBRIER DR.  
47748208  
\$216.48

VARELA, RUBEN  
P.O. BOX 1021  
VICTORVILLE, CA.  
92393  
15756 RIVER ST.  
47804108  
\$216.48

VARELA, SALLY  
%VARELA, RUBEN  
16541 E. ST.  
VICTORVILLE, CA.  
92395  
15733 COTTONWOOD ST. 39  
47804116  
\$204.48

WALKER, PAUL  
C/O VARELA, RUBEN  
16541 E ST.  
VICTORVILLE, CA  
92395  
16541 E ST.  
47804311  
\$216.48

MACEDO, DANIEL  
MACEDO, ETEL  
16562 DON ST.  
VICTORVILLE, CA  
92395  
16562 DON ST.  
47807311  
\$216.48

HUDSON, DON  
13015 BENDER DR.  
MORENO VALLEY, CA  
92553  
16883 LYNN ST. 16687 ABC  
47808322  
\$170.00

GALAVIZ, JORGE  
16765 YUCCA AVE.  
VICTORVILLE, CA  
92395  
16765 YUCCA AVE.  
47808401  
\$255.04

BURNS, STEPHEN  
9557 CAMULOUS AVE  
MONTCLAIR, CA  
91763  
15463 3RD ST 15469  
47809309  
\$204.48

ALVARENGA, HELEN  
2516 CINNICINATI ST  
LOS ANGELES, CA  
90033  
15472 5TH ST.  
47809407  
\$216.48

EALY, CHYRAIL  
9557 CAMULOS AVE.  
MONTCLAIR, CA  
91763  
15442 5TH ST.  
47809504  
\$216.48

PERUCHO, JOSE  
18866 ARMSTEAD ST.  
AZUSA, CA.  
91702  
16715 FORREST AVE.  
47809513  
\$216.48

CASTRO, DANIEL  
520 N ACACIA AVE  
RIALTO, CA  
92376  
16853 FORREST AVE.  
47810206  
\$215.64

# Sanitation Department

Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

CARLON, JOHN  
7807 SVL BOX  
VICTORVILLE, CA.  
92395  
15474 HESPERIA RD. 15476  
47811106  
\$204.48

ZALEWSKI, CARL  
15376 6TH ST.  
VICTORVILLE, CA.  
92395  
15376 6TH ST. 15376A  
47813219  
\$204.48

PADILLA, ABEL  
16162 CHULA VISTA ST.  
VICTORVILLE, CA.  
92395  
16162 CHULA VISTA ST.  
47814313  
\$216.48

VERMILLO, LEO  
6456 CRABTREE ST.  
SAN DIEGO, CA  
92114  
15533 HESPERIA RD.  
47820105  
\$216.48

DEL RIO, MIGUEL  
2104 E. MAIN ST. #843  
VENTURA, CA  
93001  
15625 7TH ST. A-H  
47821605  
\$762.84

NEW BEGINNING CHRIST CENT  
ANGEL, EDWARD  
11955 LOCUST LANE  
APPLE VALLEY, CA  
92308  
15552 6TH ST.  
47822307  
\$313.86

SOLORZANO, CLAUDIA  
16246 LAGUNA ST.  
VICTORVILLE, CA  
92395  
16246 LAGUNA ST.  
47825416  
\$241.48

EWEH, OKOLI  
%OCCUPANT  
15616 GAZELLE ST.  
VICTORVILLE, CA.  
92395  
15616 GAZELLE ST.  
47825727  
\$216.48

MEANS, FLORENCE  
MEANS, LEONARD  
15525 DEL REY DR.  
VICTORVILLE, CA  
92395  
15525 DEL REY DR.  
47826416  
\$218.48

HERNANDEZ, MANUEL  
12601 SILVER SADDLE WAY  
VICTORVILLE, CA.  
92392  
16443 DON CT.  
47826634  
\$216.48

LUNA, FRANK  
15668 INYO ST.  
VICTORVILLE, CA  
92395  
15668 INYO ST.  
47827110  
\$216.48

GARZON, ROBERT  
15939 LA VERIDA CT.  
VICTORVILLE, CA  
92395  
15939 LA VERIDA CT.  
47828102  
\$216.48

CHAVEZ, LEVINA/CHAVEZ, JOE  
15914 FRESNO ST.  
VICTORVILLE, CA  
92395  
15914 FRESNO ST.  
47828208  
\$216.48

GUERRERO, PETER  
BUSTAMANTEZ, MINNIE  
15803 FRESNO ST.  
VICTORVILLE, CA  
92395  
15803 FRESNO ST.  
47830106  
\$216.48

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

HALL,KEVIN/HALL,ANITA  
16219 TAWNEY RIDGE LN.  
VICTORVILLE, CA.  
92394  
16219 TAWNEY RIDGE LN.  
47832108  
\$216.48

BROWN, DEON  
16981 MOLINO DR.  
VICTORVILLE, CA  
92395  
16981 MOLINO DR.  
48005312  
\$216.68

PACHECO, MARISELA  
PACHECO, ROSENDO  
16120 GREEN HILL DR.  
VICTORVILLE, CA  
92394  
16120 GREEN HILL DR.  
47832611  
\$100.00

FLORES, ROSA  
17041 MOLINO DR.  
VICTORVILLE, CA.  
92395  
17041 MOLINO DR.  
48005315  
\$216.48

LOZANO, GILBERT  
16745 KAYUGA ST.  
VICTORVILLE, CA.  
92395  
16745 KAYUGA ST.  
47833502  
\$140.04

SMITH, CYNTHIA  
CHILDRESS, CHRISTIAN  
17067 CRESTVIEW DR.  
VICTORVILLE, CA  
92395  
17067 CRESTVIEW DR.  
48005504  
\$140.04

CHAMBERS, THELMA  
16021 CORONADO DR.  
VICTORVILLE, CA  
92394  
16021 CORONADO DR.  
47833801  
\$148.60

PROVENZANO, DOROTHY  
PROVENZANO, JERRY  
16967 ELMHURST ST.  
VICTORVILLE, CA  
92395  
16967 ELMHURST ST.  
48006213  
\$278.94

CLEMONS, CRISCA C.  
BEASLEY, NATHAN J.  
13558 SANDSTONE DR.  
VICTORVILLE, CA  
92392  
16278 GREEN HILL DR.  
47837404  
\$278.94

JACKSON,JOY/JACKSON,TONY  
112 N 7TH AVE.  
BARSTOW, CA.  
92311  
14172 MONTECITO PL.  
48008111  
\$216.48

CLAUSEN, KENNETH  
CLAUSEN, KAREN  
16330 VICTORIA DR.  
VICTORVILLE, CA  
92394  
16330 VICTORIA DR.  
47838310  
\$216.48

WILLIAMS, WILBERT  
14208 BRENTWOOD DR.  
VICTORVILLE, CA  
92395  
14208 BRENTWOOD DR.  
48008209  
\$112.52

JOHNSON, WILLIAM  
17057 LORENE DR.  
VICTORVILLE, CA.  
92395  
17057 LORENE DR.  
48004506  
\$278.94

RIZO, CHRISS (KRIS)  
RIZO, DAVID H.  
14251 MONTECITO DR.  
VICTORVILLE, CA  
92395  
14251 MONTECITO DR.  
48009101  
\$216.48

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

CARUSO, ROBERT  
14246 APPLE CREEK DR.  
VICTORVILLE, CA  
92395  
14246 APPLE CREEK DR.  
48009106  
\$239.36

LOWE, ANTHONY  
13920 MONTECITO DR.  
VICTORVILLE, CA.  
92395  
13920 MONTECITO DR.  
48012502  
\$216.48

PONCE, EDUARD  
PONCE, MARIA  
13930 APPLE CREEK DR.  
VICTORVILLE, CA  
92395  
13930 APPLE CREEK DR.  
48012606  
\$216.48

RODRIGUEZ, JULIO  
RODRIGUEZ, EMMA  
13761 TROPICANA DR.  
VICTORVILLE, CA  
92395  
13761 TROPICANA DR.  
48015201  
\$157.16

EUSEBIO, JUAN  
EUSEBIO, BRENDA  
11511 HOLLYVALE AVE.  
VICTORVILLE, CA  
92392  
11511 HOLLYVALE AVE.  
307158109  
\$140.04

PECK, ELIZABETH  
11354 NEWLAND CT.  
VICTORVILLE, CA.  
92392  
11354 NEWLAND CT.  
307160117  
\$265.90

JOHNSON, GREGORY  
%DAY, PATRICIA  
12860 LAUREL OAK RD.  
VICTORVILLE, CA  
92392  
12860 LAUREL OAK RD.  
307163105  
\$140.04

LAFFERTY, KEVIN  
MAGOON, JEFFREY  
11933 CRANDALL CT.  
VICTORVILLE, CA.  
92392  
11933 CRANDALL CT.  
307175134  
\$216.48

MONAHAN, VIRGINIA  
MONAHAN, FRANK  
11947 GARRETT LANE  
VICTORVILLE, CA  
92392  
11947 GARRETT LANE  
307175147  
\$216.48

RIVAS, VICTOR  
11984 CLAYTON LANE  
VICTORVILLE, CA  
92392  
11984 CLAYTON LANE  
307176135  
\$216.48

QUIJEDA, ARTHUR  
QUIJEDA, AMBUR  
12223 SIERRA RD.  
VICTORVILLE, CA.  
92392  
12223 SIERRA RD.  
307177102  
\$214.26

HOLT, PAUL  
12281 SIERRA RD.  
VICTORVILLE, CA.  
92392  
12281 SIERRA RD.  
307177106  
\$255.76

# Sanitation Department

Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

REYNOLDS FAM. LIV. TRUST  
REYNOLDS, DERWOOD/BARBARA  
11747 BIRCHWOOD AVE.  
VICTORVILLE, CA  
92392  
11747 BIRCHWOOD AVE.  
307206108  
\$140.04

PARKER, JOLENE  
PARKER, DARREL  
16316 SHOLIC ST.  
VICTORVILLE, CA  
92395  
16316 SHOLIC ST.  
309014115  
\$140.04

MOORE, MARILYN  
11841 OLD RANCH RD.  
VICTORVILLE, CA.  
92392  
11841 OLD RANCH RD.  
307209116  
\$140.04

HEADDING, MARK  
HEADDING, DARLENE  
13654 ROSE PL.  
VICTORVILLE, CA  
92395  
13654 ROSE PL.  
309018126  
\$216.53

HARRIS, MATTHEW  
HARRIS, MARIA  
12987 BIRCH GLEN CT.  
VICTORVILLE, CA  
92392  
12987 BIRCH GLEN CT.  
307214119  
\$188.60

FRIEDL, DIANE  
13565 DEAN AVE.  
VICTORVILLE, CA  
92395  
13565 DEAN AVE.  
309020115  
\$290.34

SCHULTZ, MICHELLE  
SCHULTZ, JOHNATHAN  
11596 LOW CHAPARRAL DR.  
VICTORVILLE, CA  
92392  
11596 LOW CHAPARRAL DR.  
307216129  
\$202.50

INMAN, CINDY  
FINLEY, DAN  
16887 SHIVERS ST.  
VICTORVILLE, CA  
92395  
16887 SHIVERS ST.  
309020124  
\$268.64

MATHIS, RICHARD  
MATHIS, DOROTHY  
13153 RED CEDAR AVE.  
VICTORVILLE, CA  
92392  
13153 RED CEDAR AVE.  
307218117  
\$140.04

GARCIA, FAUSTINO  
13455 DEAN AVE  
VICTORVILLE, CA  
92395  
13455 DEAN AVE  
309022126  
\$216.48

WATSON, KEVIN  
13213 CLOVERLY AVE.  
VICTORVILLE, CA  
92392  
13213 CLOVERLY AVE.  
307218121  
\$140.04

HAZELWOOD, GINA  
16883 LAMBERT LANE  
VICTORVILLE, CA.  
92395  
16883 LAMBERT LANE  
309022127  
\$140.04

CATO, KATRINA  
16761 OTTAWA ST  
VICTORVILLE, CA  
92395  
16761 OTTAWA ST  
309026104  
\$319.04

# Sanitation Department

Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

KATABYAN, ARAKSIYA  
16576 WINONA ST.  
VICTORVILLE, CA  
92395  
16576 WINONA ST.  
309029105  
\$205.90

FACIO, SYLVIA  
16707 WINONA ST.  
VICTORVILLE, CA  
92395  
16707 WINONA ST.  
309030101  
\$140.04

STERLING, DANNY  
STERLING, DIANNA  
12929 1ST AVE.  
VICTORVILLE, CA  
92395  
12929 1ST AVE.  
309032134  
\$216.48

MORKEN, RHONDA  
ROSE, KENNETH  
13517 LAKESIDE DR.  
VICTORVILLE, CA  
92395  
13517 LAKESIDE DR.  
309052104  
\$216.48

COOK, MARILYN  
17657 ELECTRA DR.  
VICTORVILLE, CA.  
92392  
17657 ELECTRA DR.  
309054242  
\$216.00

SPENCE, DEBRA  
17576 DAYTON ST.  
VICTORVILLE, CA  
92395  
17576 DAYTON ST.  
309054313  
\$216.24

FERRERS, CYNTHIA  
FERRERS, JON C.  
17643 HIGH BLUFF CT.  
VICTORVILLE, CA.  
92395  
17643 HIGH BLUFF CT.  
309061157  
\$216.48

OSBORNE, LYANN  
(AKA OSBORNE, MARTHA L.)  
15081 QUICKSILVER DR.  
VICTORVILLE, CA  
92394  
12866 SAN JUAN ST.  
309103120  
\$278.94

LUCERO, GUISELA  
LUCERO, MICHAEL  
12828 SIERRA CREEK DR.  
VICTORVILLE, CA  
92395  
12828 SIERRA CREEK DR.  
309104122  
\$278.94

KELLEY, DREW F.  
C/O COLE, BATINA  
12829 1ST AVE.  
VICTORVILLE, CA  
92395  
12829 1ST AVE.  
309105124  
\$286.24

HOLLAND, CHRISTINA  
16946 MONACO DR.  
VICTORVILLE, CA  
92395  
16946 MONACO DR.  
309105131  
\$246.24

CHERRY, MICHAEL  
16238 HIAWATHA ST.  
VICTORVILLE, CA  
92395  
16238 HIAWATHA ST.  
309106114  
\$140.04

MORALES, DIANE  
16553 SANTIAGO ST.  
VICTORVILLE, CA.  
92395  
16553 SANTIAGO ST.  
309108109  
\$216.48

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

TAYLOR, GLENN  
TAYLOR, GAIL  
16774 HIDDEN CREEK DR.  
VICTORVILLE, CA  
92395  
16774 HIDDEN CREEK DR.  
309109156  
\$278.94

HAWKINS, TRAVIS  
12727 1ST AVE.  
VICTORVILLE, CA  
92395  
12727 1ST AVE.  
309110113  
\$216.48

SHAH, JAMES  
17025 TIVOLLI LN.  
VICTORVILLE, CA  
92395  
17025 TIVOLLI LN.  
309110151  
\$216.48

RUBALCAVA, MACEDONIO  
17003 LIDO CIRCLE  
VICTORVILLE, CA  
92392  
17003 LIDO CIRCLE  
309110185  
\$216.48

KEOBOUALA, BOUNKHAM  
KEOBOUALA, PHETMANY  
16400 FIELD ST.  
VICTORVILLE, CA  
92395  
16400 FIELD ST.  
309112132  
\$216.48

TURNAGE, TOLANI  
15032 ESCALANTE CT.  
VICTORVILLE, CA  
92395  
16658 COUNTRY RANCH CT.  
309114108  
\$250.34

FOROOGHI, PEYMAN  
2922 SANTA MONICA #A  
SANTA MONICA, CA  
90404  
16671 COUNTRY RANCH CT.  
309114120  
\$216.48

DUONG, DANIEL  
12419 BASSWOOD LN.  
VICTORVILLE, CA.  
92395  
12419 BASSWOOD LN.  
309120123  
\$216.48

MOSLEY, DOROTHY  
12426 3RD AVE.  
VICTORVILLE, CA  
92395  
12426 3RD AVE.  
309121170  
\$216.48

AGUILERA, DANIEL  
AGUILERA, MARIA  
16766 HIGHGATE CT.  
VICTORVILLE, CA  
92395  
16766 HIGHGATE CT.  
309124118  
\$216.48

WAJS, MARK  
WAJS, MARIA  
16145 HIDDENWOOD LN.  
VICTORVILLE, CA  
92395  
16145 HIDDENWOOD LN.  
309130210  
\$216.48

ALVARADO, LUIS  
ALVARADO, ALMA  
12548 VALEWOOD DR.  
VICTORVILLE, CA  
92395  
12321 WEDGEWOOD LN.  
309130257  
\$216.48

ARNOLD, SHAWN  
16262 RODELL PL.  
VICTORVILLE, CA.  
92395  
16262 RODELL PL.  
309132269  
\$216.48

# Sanitation Department

Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

ANASTASI, GLORIA  
ANASTASI, VICTOR  
C/O 14730 LA MESA RD.  
VICTORVILLE, CA  
92392  
14730 LA MESA RD.  
309224117  
\$278.94

LOUIS, HERNS  
13141 KEOKUK ST.  
VICTORVILLE, CA.  
92395  
13141 KEOKUK ST.  
309246133  
\$216.48

CORMACI, GARY  
CORMACI, LINDA  
13262 CABAZON PL.  
VICTORVILLE, CA.  
92395  
13262 CABAZON PL.  
309247111  
\$216.48

FEDELE, JOHN  
330 W HIGHLAND AVE  
SAN BERNARDINO, CA  
92405  
13159 QUIET CANYON DR  
309248101  
\$271.96

CARLISLE, DANIEL  
14619 CHOKE CHERRY DR.  
VICTORVILLE, CA  
92392  
14619 CHOKE CHERRY DR.  
309301131  
\$216.48

NAVARRO, DANIEL  
14601 OAK BRANCH RD.  
VICTORVILLE, CA  
92392  
14601 OAK BRANCH RD.  
309302162  
\$219.09

HARDWICK, LASANDRA  
(AKA HARDWICK, LA SONDRRA)  
14576 PONY TRAIL  
VICTORVILLE, CA  
92392  
14576 PONY TRAIL  
309304150  
\$216.24

KELLEY, LILLIAN  
14531 GOLDEN TRAIL  
VICTORVILLE, CA.  
92392  
14531 GOLDEN TRAIL  
309304157  
\$216.48

DOWNS, NEDRA/CAMPBELL  
HARRY/CAMPBELL, JOHN  
14545 OREGON TRAIL  
VICTORVILLE, CA  
92392  
14545 OREGON TRAIL  
309304181  
\$216.48

LANGFORD, RICK  
14768 CHOKE CHERRY DR.  
VICTORVILLE, CA  
92392  
14768 CHOKE CHERRY DR.  
309305106  
\$216.48

GURROLA, JAIME  
GURROLA, MARTHA  
14782 CHOKE CHERRY DR.  
VICTORVILLE, CA  
92392  
14782 CHOKE CHERRY DR.  
309305107  
\$216.48

LOVE, LA SHAWN  
12799 PONDEROSA RANCH RD.  
VICTORVILLE, CA.  
92392  
12799 PONDEROSA RANCH RD.  
309305131  
\$222.29

LOWRY, LOY  
LOWRY, ANNA  
12734 RED RIVER RD.  
VICTORVILLE, CA.  
92392  
12734 RED RIVER RD.  
309306112  
\$231.36

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

PARILLA, JOHN  
PARILLA, LINDA  
1914 E. HAWTHORNE CT.  
ONTARIO, CA.  
91764  
12785 KING CANYON RD.  
309306146  
\$215.64

VALENCIA, SUSAN  
VALENCIA, RICHARD  
14681 PONDEROSA RANCH RD  
VICTORVILLE, CA  
92392  
14681 PONDEROSA RANCH RD  
309307107  
\$296.17

FERNANDEZ, MARGARITO  
15393 NISQUALLI RD.  
VICTORVILLE, CA  
92395  
15393 NISQUALLI RD.  
309330106  
\$140.04

SUNERO, NAOMI  
(AKA CISNEROS, NAOMI)  
15341 SITTING BULL ST.  
VICTORVILLE, CA  
92395  
15341 SITTING BULL ST.  
309330127  
\$140.04

DUNFORD, EUGENE JR.  
15410 LITTLE BEAVER ST.  
VICTORVILLE, CA  
92395  
15410 LITTLE BEAVER ST.  
309331106  
\$140.04

MALDONADO, MICHELLE  
MALDONADO, MARTIN  
12670 GERONIMO AVE.  
VICTORVILLE, CA  
92395  
12670 GERONIMO AVE.  
309332111  
\$140.04

HOTCHKISS, JOHN  
15686 LITTLE BEAVER RD.  
VICTORVILLE, CA  
92395  
15686 LITTLE BEAVER RD.  
309335101  
\$140.04

SERRANO, JACKIE  
15514 LITTLE BEAVER ST.  
VICTORVILLE, CA.  
92395  
15514 LITTLE BEAVER ST.  
309335111  
\$140.04

ARENAS, GUILLERMO  
12780 CYPRESS AVE.  
VICTORVILLE, CA.  
92395  
12780 CYPRESS AVE.  
309339101  
\$140.04

MORINO, JAYRO  
MORINO, RAFAEL  
15771 LITTLE BEAVER ST.  
VICTORVILLE, CA  
92395  
15771 LITTLE BEAVER ST.  
309339122  
\$220.72

ESCOBIDO, MARIA  
16000 LITTLE BEAVER ST  
VICTORVILLE, CA  
92395  
16000 LITTLE BEAVER ST  
309345121  
\$212.99

FLORES, ROBERT  
12486 SUNNY VISTA AVE.  
VICTORVILLE, CA.  
92395  
12486 SUNNY VISTA AVE.  
309346123  
\$140.04

QUESADA, PHILIP JR.  
QUESADA, IRENE  
15346 LINDERO ST.  
VICTORVILLE, CA  
92395  
15346 LINDERO ST.  
309347108  
\$140.04

# Sanitation Department

Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

NUNEZ, GERALDINE  
NUNEZ, ALFRED  
15361 LINDERO ST.  
VICTORVILLE, CA  
92395  
15361 LINDERO ST.  
309347124  
\$167.70

LOPEZ, FELIX  
LOPEZ, RACHAEL  
12499 CYPRESS AVE.  
VICTORVILLE, CA  
92395  
12499 CYPRESS AVE.  
309350106  
\$30.04

CEDILLOS, ALBERTO  
CEDILLOS, DAVID  
15639 LINDERO ST.  
VICTORVILLE, CA  
92395  
15639 LINDERO ST.  
309351122  
\$140.04

BUCKHALTER, REGINA  
BUCKHALTER, NICK  
12366 9TH AVE.  
VICTORVILLE, CA.  
92395  
12366 9TH AVE.  
309355129  
\$150.69

PEREZ, JESUS  
MUGICA, GLORIA  
15758 JASMINE ST.  
VICTORVILLE, CA  
92395  
15758 JASMINE ST.  
309356103  
\$140.04

ROBINSON, LYONELL  
16002 LINDERO ST.  
VICTORVILLE, CA  
92395  
16002 LINDERO ST.  
309359118  
\$140.04

HERRERA, DRENA  
13584 MONTEREY WAY  
VICTORVILLE, CA  
92392  
13584 MONTEREY WAY  
309414128  
\$241.48

JANCYS, VALENTINE  
13423 MONTEREY WAY  
VICTORVILLE, CA.  
92392  
13423 MONTEREY WAY  
309415130  
\$216.48

MCDEVITT, JODY  
13309 FOX RUN RD.  
VICTORVILLE, CA.  
92392  
13309 FOX RUN RD.  
309416128  
\$216.48

NAVARRO, LETICIA  
HERNANDEZ, SERGIO C.  
13395 MONTEREY WAY  
VICTORVILLE, CA  
92392  
13395 MONTEREY WAY  
309416167  
\$216.48

GONZALES, LUPE  
13334 MONTEREY WAY  
VICTORVILLE, CA  
92392  
13334 MONTEREY WAY  
309416195  
\$216.48

REYES, JOE  
13278 CORNELL CIRCLE  
VICTORVILLE, CA.  
92392  
13278 CORNELL CIRCLE  
309417145  
\$216.48

AULTMAN, CHRISTOPHER  
13077 BENNINGTON DR.  
VICTORVILLE, CA.  
92392  
13077 BENNINGTON DR.  
309419107  
\$236.24

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

CRUZ, MARK/CRUZ, JENNIE  
12992 LEHIGH CT.  
VICTORVILLE, CA.  
92392  
12992 LEHIGH CT.  
309419134  
\$271.56

JOSEPH, VERNESSIE  
BURBANK III, JOSEPH  
13174 PRINCETON DR.  
VICTORVILLE, CA  
92392  
13174 PRINCETON DR.  
309422103  
\$278.94

SMITH, PATRON  
SMITH, ANTONY  
13052 MARQUETTE CT  
VICTORVILLE, CA  
9392  
13052 MARQUETTE CT  
309419143  
\$272.97

BARO, LIANA/BARO, GUIDO  
13043 SPELMAN DR.  
VICTORVILLE, CA  
92392  
13043 SPELMAN DR.  
309423145  
\$216.48

DAY, JACK  
DAY, PATRICIA  
13066 YALE CT.  
VICTORVILLE, CA.  
92394  
13066 YALE CT.  
309420112  
\$414.68

MARTINEZ, HILARIO  
MARTINEZ, JESUS  
13496 PROSPECTOR RD.  
VICTORVILLE, CA  
92392  
13496 PROSPECTOR RD.  
309426111  
\$216.48

ESCOBAR, JOHN  
13035 YALE CT.  
VICTORVILLE, CA.  
92392  
13035 YALE CT.  
309420121  
\$216.48

TRUJILLO, RAFAEL  
121 S RAMPART BLVD #4  
LOS ANGELES, CA  
90057  
13657 LUNA RD  
309429104  
\$235.03

CERULLI, LARRY  
13278 PRINCETON DR.  
VICTORVILLE, CA  
92392  
13278 PRINCETON DR.  
309421140  
\$216.48

LLAMAS, MICHAEL  
13519 LUNA RD.  
VICTORVILLE, CA.  
92392  
13519 LUNA RD.  
309429136  
\$256.00

CORONA, VINCENT  
CORONA, HEATHER  
13116 CLAREMONT AVE.  
VICTORVILLE, CA  
92392  
13116 CLAREMONT AVE.  
309421166  
\$216.48

RUSSELL, MICHELLE  
13451 PROSPECTOR CT.  
VICTORVILLE, CA  
92392  
13451 PROSPECTOR CT.  
309430146  
\$216.48

TREVIZU, CHRISTINA  
13806 SALADO WAY  
VICTORVILLE, CA.  
92392  
13806 SALADO WAY  
309434110  
\$245.58

# Sanitation Department

Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

ROY, DONALD  
ROY, WENDELIN  
P.O. BOX 1112  
VICTORVILLE, CA.  
92393  
13748 SARRACINO WAY  
309435109  
\$216.48

BREWER, PATRICIA  
BREWER, ALFRED  
14150 AMERICANA ST.  
VICTORVILLE, CA.  
92392  
14150 AMERICANA ST.  
309454140  
\$216.48

DIBENEDELTO, JOE  
13474 FOXBOROUGH WAY  
VICTORVILLE, CA  
92392  
13474 FOXBOROUGH WAY  
309435313  
\$198.16

MORTENSEN,JEFF/RHONDA,TR.  
MORTENSEN, JAMES/CHARLENE  
13179 HERITAGE DR.  
VICTORVILLE, CA  
92392  
13179 HERITAGE DR.  
309455114  
\$216.48

TILLMAN, REGINALD  
P.O. BOX 2484  
VICTORVILLE, CA.  
92393  
13323 DOS LOMAS WAY  
309436136  
\$216.48

RICHARDS, BEN H.  
P.O. BOX 291124  
PHELAN, CA.  
92329  
14132 LIBERTY WAY  
309455133  
\$216.48

LANDRETH, WALTER  
LANDRETH, ANNA  
13359 DOS LOMAS WAY  
VICTORVILLE, CA  
92392  
13359 DOS LOMAS WAY  
309436139  
\$216.48

UGOLINI, GABRIEL A.  
9008 MESA VISTA ST.  
VICTORVILLE, CA.  
92398  
14159 MANZANO RD.  
309456133  
\$211.24

HAMILTON, VIRGINIA  
HAMILTON, BRIAN  
13311 CIBOLA CT.  
VICTORVILLE, CA  
92392  
13311 CIBOLA CT.  
309436150  
\$216.48

RENTERIA, CARLOS SR.  
14200 WHISPERING SANDS DR  
VICTORVILLE, CA  
92392  
14200 WHISPERING SANDS DR  
309456141  
\$216.48

HAMILTON, KIM  
13831 DODIE AVE.  
VICTORVILLE, CA.  
92392  
13831 DODIE AVE.  
309450172  
\$200.00

CAMACHO,ROLANDO/CAMACHO,  
MARIA DEL ROSARIO  
4467 TWEEDY BLVD.  
SOUTH GATE, CA.  
90280  
14111 WHISPERING SANDS DR  
309456149  
\$286.24

PRICE, OTHA MAYE  
14033 ROGERS LN.  
VICTORVILLE, CA  
92392  
14033 ROGERS LN.  
309452144  
\$216.48

FORST, JOHN  
13159 AURORA AVE.  
VICTORVILLE, CA  
92392  
13159 AURORA AVE.  
309459111  
\$278.94

# Sanitation Department

Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

DOTSON, BRITTANY  
C/O DICKSON, ALTON  
13189 ECLIPSE AVE.  
VICTORVILLE, CA  
92392  
13189 ECLIPSE AVE.  
309459129  
\$216.48

ZELLIN, JULIANNE  
AKA KOSTER, JULIE  
13132 AURORA AVE.  
VICTORVILLE, CA  
92392  
13132 AURORA AVE.  
309459135  
\$216.48

STANFORD, MICHAEL  
STANFORD, SANDRA  
14422 MANZANO RD.  
VICTORVILLE, CA  
92392  
14422 MANZANO RD.  
309460106  
\$216.48

PAGE, STEPHEN  
C/O MAIL MASTERS PLUS #D3  
13782 BEAR VALLEY RD.#131  
VICTORVILLE, CA.  
92392  
13021 PETALUMA RD.  
309460156  
\$216.48

KIRKSEY, LAVOUR  
12915 PETALUMA RD  
VICTORVILLE, CA  
92392  
12915 PETALUMA RD  
309461106  
\$216.48

RODRIGUEZ, DANIEL  
8128 CROCKETT BLVD  
LOS ANGELES, CA  
90001  
13157 ACACIA AVE.  
309467112  
\$216.48

SIACUNCO, RAYMOND T.  
P.O. BOX 1026  
WALNUT, CA  
91788  
13868 MISTY PATH RD.  
309469142  
\$278.94

ARRIOLA, HUGO  
3919 ACAPULCO AVE.  
SAN BERNARDINO, CA.  
92407  
12358 SAN JOAQUIN CT.  
309505131  
\$216.48

WILLIAMS, MARGARET  
P.O. BOX 2069  
VICTORVILLE, CA.  
92393  
12640 COBALT RD.  
309507159  
\$216.48

HOWE, BRUCE  
HOWE, VIKKIE  
13434 NORTH STAR AVE.  
VICTORVILLE, CA  
92392  
13434 NORTH STAR AVE.  
309509124  
\$216.48

ETHERIDGE, JASPER  
13591 IRONSTONE AVE.  
VICTORVILLE, CA.  
92392  
13591 IRONSTONE AVE.  
309510122  
\$216.48

BRACAMONTES, SYLVIA  
BRACAMONTES, PEDRO  
13475 NORTH STAR AVE.  
VICTORVILLE, CA  
92392  
13475 NORTH STAR AVE.  
309511142  
\$244.32

ROBLEDO, KIM  
ROBLEDO, MICHAEL  
13496 BIG SKY CT.  
VICTORVILLE, CA  
92392  
13496 BIG SKY CT.  
309512101  
\$216.48

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

BASKRON, ASHWAK  
BASKRON, ROSHDY  
13540 LIMESTONE CIRCLE  
VICTORVILLE, CA  
92392  
13540 LIMESTONE CIRCLE  
309514110  
\$216.48

LILLARD, JAY  
13677 SANDSTONE DR.  
VICTORVILLE, CA  
92392  
13677 SANDSTONE DR.  
309514220  
\$216.48

ROBLES, CONSUELO  
ROBLES, DAMASO  
13675 AGATE CIRCLE  
VICTORVILLE, CA.  
92392  
13675 AGATE CIRCLE  
309515103  
\$278.94

HERRERA, FERNANDO  
ALLEN, ROXANNE  
12236 STONEGATE DR.  
VICTORVILLE, CA.  
92392  
12236 STONEGATE DR.  
309515125  
\$216.48

GUEVARA, MARIO  
114321 2ND ST  
HESPERIA, CA  
92345  
12122 COBBLESTONE DR  
309515156  
\$208.00

GREEN, DON  
13871 NORTH STAR AVE.  
VICTORVILLE, CA  
92392  
13871 NORTH STAR AVE.  
309520149  
\$216.48

BURKS, TYREEL  
12401 SAN JACINTO DR.  
VICTORVILLE, CA.  
92392  
12401 SAN JACINTO DR.  
309520166  
\$278.94

FERRON, JACK  
175 S LENA RD  
SAN BERNARDINO, CA  
92415  
12476 CRESTLINE RD.  
309520217  
\$216.48

AUDET, SUZANNE  
13739 GEMINI ST.  
VICTORVILLE, CA  
92392  
13739 GEMINI ST.  
309521207  
\$215.04

WALKER, SHANNON  
GUE-WALKER, TAMMARA  
12233 GALAXY ST.  
VICTORVILLE, CA  
92392  
12233 GALAXY ST.  
309523114  
\$278.94

GARCIA, IVAN  
MARTINEZ, YSENIA  
13864 STARSHINE DR.  
VICTORVILLE, CA  
92392  
13864 STARSHINE DR.  
309523152  
\$214.36

LAPLANT, ROGER  
LAPLANT, HEIDI  
3919 GATEWAY CT  
INDIANAPOLIS, IN  
46254  
13748 HELENA DR.  
309523232  
\$204.83

RAHMAN, MAKSUOUR  
13757 ARTHUR DR.  
VICTORVILLE, CA  
92395  
13757 ARTHUR DR.  
309523238  
\$240.14

WILLIAMS, CARL  
12550 PACOIMA RD.  
VICTORVILLE, CA  
92392  
12550 PACOIMA RD.  
309528103  
\$216.48

# Sanitation Department

Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

RODRIGUEZ, SUSAN  
12488 CLEARVIEW DR.  
VICTORVILLE, CA.  
92392  
12488 CLEARVIEW DR.  
309529116  
\$265.90

CANDELARIA, DELFINA  
12865 PACOIMA RD.  
VICTORVILLE, CA  
92392  
12865 PACOIMA RD.  
309533178  
\$278.94

GEORGE, RICHARD  
12345 TRIPLE TREE TERRACE  
VICTORVILLE, CA.  
92392  
12345 TRIPLE TREE TERRACE  
309530111  
\$140.04

JONES, VIOLA  
12805 PACOIMA RD.  
VICTORVILLE, CA  
92392  
12805 PACOIMA RD.  
309533184  
\$216.48

TATUM-FLOYD, DOROTHY  
P.O. BOX 922814  
SYLMAR, CA  
91392  
12368 TRIPLE TREE TERRACE  
309530128  
\$140.60

AGUILAR, ADRIAN  
12717 PACOIMA RD.  
VICTORVILLE, CA  
92392  
12717 PACOIMA RD.  
309534146  
\$278.94

RICHARDSON, ROBERT  
12826 PORTOLA ST.  
VICTORVILLE, CA  
92392  
12826 PORTOLA ST.  
309533107  
\$241.48

CORNELIOUS, YVETTE  
(AKA HOUSTON, YVETTE)  
14249 FT. APACHE CT.  
VICTORVILLE, CA  
92392  
14249 FT. APACHE CT.  
309536109  
\$140.04

PATTERSON, YVETTE  
12816 PORTOLA ST.  
VICTORVILLE, CA.  
92392  
12816 PORTOLA ST.  
309533108  
\$504.07

MCTIER, LONNELL F.  
14148 CALLE DOMINGO  
VICTORVILLE, CA.  
92392  
14148 CALLE DOMINGO  
309537117  
\$303.94

ROMO, IDOLINA  
ROMO, RICHARD  
12835 PETALUMA RD.  
VICTORVILLE, CA  
92392  
12835 PETALUMA RD.  
309533113  
\$216.48

PASILLAS, KRISTOPHER  
PASILLAS, SANDRA  
12448 PETALUMA RD.  
VICTORVILLE, CA  
92392  
12448 PETALUMA RD.  
309537174  
\$216.48

RUDY, KIMBERLY  
RUDY, WILLIAM  
14240 PETALUMA CT.  
VICTORVILLE, CA  
92392  
14240 PETALUMA CT.  
309533149  
\$216.48

WITHERSPOON, DARYL  
P.O. BOX 1153  
VICTORVILLE, CA  
92393  
14420 LAS FLORES DR.  
309540142  
\$216.48

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

CARRAGHER, MICHAEL  
CARRAGHER, REBECCA  
13530 ARROWEED CIRCLE  
VICTORVILLE, CA  
92392  
13530 ARROWEED CIRCLE  
309542125  
\$216.48

PFANNENSTIEL, MARGARET  
12805 JADE RD.  
VICTORVILLE, CA  
92392  
12805 JADE RD.  
309543128  
\$215.76

ROBERTSON, VERRETTA  
13323 PURPLE SAGE DR.  
VICTORVILLE, CA  
92392  
13323 PURPLE SAGE DR.  
309544118  
\$216.48

SERAPHIN, KRISTINA  
P.O. BOX 60099  
PASADENA, CA.  
91116  
12819 COBALT RD.  
309544153  
\$278.94

ALLEN, RONNIE/MARSHA  
PO BOX 843  
VICTORVILLE, CA  
92393  
13401 DESERT PRIMROSE LN.  
309546122  
\$213.24

GARIDO, CARLOS  
13270 SPRING WAY  
VICTORVILLE, CA  
92392  
13270 SPRING WAY  
309547110  
\$219.91

THOMPSON, RICHARD  
THOMPSON, SUZANN  
13235 PARADISE CT.  
VICTORVILLE, CA  
92392  
13235 PARADISE CT.  
309548102  
\$216.48

MCELROY, MORRIS  
MCELROY, LISA  
13219 NORTH STAR AVE.  
VICTORVILLE, CA  
92392  
13219 NORTH STAR AVE.  
309549105  
\$278.94

MATUGUINA, DAVID  
13229 ALTARIDGE CIRCLE  
VICTORVILLE, CA  
92392  
13229 ALTARIDGE CIRCLE  
309549128  
\$216.48

BENSON, YUNIKA  
BENSON, BILLY JR.  
12488 DEL AMO WAY  
VICTORVILLE, CA  
92392  
12488 DEL AMO WAY  
309552226  
\$216.48

HERNANDEZ, IRMA  
14418 NORTH STAR AVE.  
VICTORVILLE, CA.  
92392  
14418 NORTH STAR AVE.  
309553110  
\$216.48

GONZALEZ, DAVID  
GONZALEZ, GUADALUPE  
14416 DEL AMO DR.  
VICTORVILLE, CA  
92392  
14416 DEL AMO DR.  
309553128  
\$216.48

BARAJAS, REFUGIO  
14461 VIA PUENTE  
VICTORVILLE, CA.  
92392  
14461 VIA PUENTE  
309553145  
\$216.48

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

RAYMOND, JAMES A. III  
RAYMOND, HAYDE  
14447 PONDEROSA RANCH RD.  
VICTORVILLE, CA  
92395  
14447 PONDEROSA RANCH RD.  
309554116  
\$216.48

KNIGHT, HEATHER  
CAPUZZI, NICHOLAS  
13112 BANNING ST.  
VICTORVILLE, CA  
92392  
13112 BANNING ST.  
309607211  
\$216.48

JUAREZ, JIM/JUAREZ, ANGELES  
13680 CREOSOTE ST.  
VICTORVILLE, CA.  
92392  
13680 CREOSOTE ST.  
309555137  
\$216.48

STEWART-BARNES, LAWANNA  
12435 FIREFLY WAY  
VICTORVILLE, CA.  
92392  
12435 FIREFLY WAY  
309612234  
\$216.48

STEPHENS, JANET  
STEPHENS, LEE  
13628 GLEN HAVEN WAY  
VICTORVILLE, CA.  
92392  
13628 GLEN HAVEN WAY  
309557239  
\$216.48

STONER, LARRY  
SIBLEY-STONER, DAYNA  
12701 PALAMAR ST.  
GARDEN GROVE, CA  
92845  
12340 FREEPORT DR.  
309612323  
\$216.48

RIZZO, ADAM  
12737 BISCAYNE AVE.  
VICTORVILLE, CA.  
92392  
12737 BISCAYNE AVE.  
309559108  
\$216.48

GIL, MANUEL  
13619 BRYNWOOD ST.  
VICTORVILLE, CA.  
92392  
13619 BRYNWOOD ST.  
309616207  
\$142.04

DUNLAP, DONALD M.  
DUNLAP, LINDA L.  
12270 PRIMAVERA WAY  
VICTORVILLE, CA  
92392  
12270 PRIMAVERA WAY  
309602226  
\$216.48

RIOS, MARCOS  
C/O 13643 BRYNWOOD ST.  
VICTORVILLE, CA  
92392  
13643 BRYNWOOD ST.  
309616211  
\$216.48

SELVIN, DENIECE  
12290 CHACOMA WAY  
VICTORVILLE, CA.  
92392  
12290 CHACOMA WAY  
309603227  
\$216.48

BAKER, TRACY  
11718 HARWOOD ST.  
VICTORVILLE, CA  
92392  
11718 HARWOOD ST.  
309616236  
\$216.48

TELLEZ, FRANCISCO  
610 S. CAMPBELL DR.  
ANAHEIM, CA.  
92804  
13687 ASHMONT ST.  
309617215  
\$216.48

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

SINGH, SARBJIT  
12315 ALCORN DR.  
VICTORVILLE, CA  
92392  
12315 ALCORN DR.  
309619215  
\$236.19

ELLIOTT, SHANNON  
ELLIOTT, MICHAEL  
12307 FREEPORT DR.  
VICTORVILLE, CA.  
92392  
12307 FREEPORT DR.  
309619248  
\$225.90

DAVENPORT, VEDAMARIE  
DAVENPORT, LASHAWN  
11886 FORREST PARK LN.  
VICTORVILLE, CA.  
92392  
11886 FORREST PARK LN.  
309621209  
\$219.07

BEZEK, SHANNON  
11859 PEPPERWOOD ST.  
VICTORVILLE, CA.  
92392  
11859 PEPPERWOOD ST.  
309636101  
\$241.48

HUNT, MARK  
13300 GATEWOOD CT  
VICTORVILLE, CA  
92392  
13300 GATEWOOD CT  
309636101  
\$232.43

BYRD,JENNIFER/BYRD,DANIEL  
13198 SNOWVIEW RD.  
VICTORVILLE, CA  
92392  
13198 SNOWVIEW RD.  
309647110  
\$256.70

FORD, LOUIS  
FORD, DEBORAH  
12812 CARDINAL RD.  
VICTORVILLE, CA  
92392  
12812 CARDINAL RD.  
309647121  
\$216.24

YBARRA, VERONICA  
YBARRA, DANIEL  
13117 SNOWVIEW RD.  
VICTORVILLE, CA  
92392  
13117 SNOWVIEW RD.  
309647147  
\$290.94

DELGADO, RICC  
DELGADO, KIMBERLY  
12726 BELLROSE CT.  
VICTORVILLE, CA  
92392  
12726 BELLROSE CT.  
309656166  
\$283.72

CERVANTES, MAURICO  
12289 HONEYBEAR LN.  
VICTORVILLE, CA  
92392  
12289 HONEYBEAR LN.  
309666119  
\$216.28

TZEC, CLAUDIA  
TZEC, ALBERTO  
12333 HONEYBEAR LN.  
VICTORVILLE, CA  
92392  
12333 HONEYBEAR LN.  
309666124  
\$216.48

FELIX, DELCI  
12341 WESTERN SKIES WAY  
VICTORVILLE, CA.  
92392  
12341 WESTERN SKIES WAY  
309667116  
\$216.48

DESIMONI, CORINNA  
12431 SANTIAGO DR.  
VICTORVILLE, CA.  
92392  
12431 SANTIAGO DR.  
309668140  
\$279.82

# Sanitation Department

Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

GLASPIE, JOE JR.  
12404 MADERA ST.  
VICTORVILLE, CA  
92392  
12404 MADERA ST.  
309670141  
\$216.48

VALDEZ, CHRISTINA  
VALDEZ, MARCOS  
12401 MADERA ST.  
VICTORVILLE, CA.  
92392  
12401 MADERA ST.  
309670144  
\$216.48

WELCH, RONNIE  
12391 RUSTIC OAK TRAIL  
VICTORVILLE, CA  
92392  
12391 RUSTIC OAK TRAIL  
309671142  
\$246.24

DOUGLAS, SAMUEL  
12766 MESA VERDE DR.  
VICTORVILLE, CA.  
92392  
12766 MESA VERDE DR.  
309672122  
\$278.94

MARTINEZ, REGINA  
MARTINEZ, JUAN  
12772 HESTON ST.  
VICTORVILLE, CA  
92392  
12772 HESTON ST.  
309676176  
\$72.16

MENDOZA, DEBRA  
SAILOR, BRENTON  
12744 GIFFORD WAY  
VICTORVILLE, CA  
92392  
12744 GIFFORD WAY  
309676239  
\$216.48

PADILLA, ISMAEL  
PADILLA, ROSEMARIE  
12511 BLAZING STAR LN.  
VICTORVILLE, CA  
92392  
12511 BLAZING STAR LN.  
309679143  
\$278.94

ROJAS, ELBA  
12649 MESA LINDA AVE.  
VICTORVILLE, CA  
92392  
12649 MESA LINDA AVE.  
309680137  
\$216.48

CERDA JR., JOSEPH  
12548 BERMUDA CT.  
VICTORVILLE, CA  
92392  
12548 BERMUDA CT.  
309681221  
\$216.48

HODGE, MARGE  
12329 FOUR WINDS DR.  
VICTORVILLE, CA  
92392  
12329 FOUR WINDS DR.  
309682109  
\$216.48

LUCERO, HARRIET  
12303 DURANGO CT.  
VICTORVILLE, CA  
92392  
12303 DURANGO CT.  
309682156  
\$216.48

ENGLISH, CEDRIC  
MAJORS-ENGLISH, ANTHEA  
12843 CAESAR LN.  
VICTORVILLE, CA.  
92392  
12843 CAESAR LN.  
309683135  
\$216.48

BOOKER, KEVIN  
12664 EATON LN.  
VICTORVILLE, CA.  
92392  
12664 EATON LN.  
309684110  
\$216.48

# Sanitation Department

Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

VERT, MICHELLE/VERT, JASON  
12525 EL DORADO CT.  
VICTORVILLE, CA.  
92392  
12525 EL DORADO CT.  
309687105  
\$216.48

SANDERS, VICTORIA  
12874 FENCERIDER WAY  
VICTORVILLE, CA.  
92392  
12874 FENCERIDER WAY  
309691126  
\$216.48

HERNANDEZ, MANUEL  
12596 SILVER SADDLE WAY  
VICTORVILLE, CA  
92392  
12596 SILVER SADDLE WAY  
309687141  
\$216.48

NARAG, JOCELYN  
NARAG, ANTHONY  
PO BOX 792  
NEWBURY PARK, CA  
91319  
12231 WOODHOLLOW ST.  
309692119  
\$216.48

HERNANDEZ, MANUEL  
CASTRUITA, FRANCES  
12601 SILVER SADDLE WAY  
VICTORVILLE, CA.  
92394  
12601 SILVER SADDLE WAY  
309687149  
\$216.48

SINGLETON FAMILY TRUST  
23811 WASHINGTON AVE.  
SUITE C 110-291  
MURRIETA, CA  
92562  
12036 HONEY OAK CT.  
309694106  
\$216.48

GABRIEL, DANNY  
12482 DURANGO WAY  
VICTORVILLE, CA.  
92392  
12482 DURANGO WAY  
309688111  
\$278.94

REED-CASEY, CHARLES  
REED-CASEY, STACEY  
13508 FERN PINE ST.  
VICTORVILLE, CA  
92392  
13508 FERN PINE ST.  
309694122  
\$215.24

RETT, MICHAEL  
12858 BOOTRIDGE LN.  
VICTORVILLE, CA.  
92392  
12858 BOOTRIDGE LN.  
309689138  
\$225.01

DELEON, MELISSA  
DELEON, JOSE  
13355 MERRY OAKS ST.  
VICTORVILLE, CA  
92392  
13355 MERRY OAKS ST.  
309696114  
\$216.48

BRADFORD, DAN  
BRADFORD, CHERYL  
12784 FENCERIDER WAY  
VICTORVILLE, CA.  
92392  
12784 FENCERIDER WAY  
309690118  
\$216.48

LOPEZ, HECTOR  
13322 BELLA PINE ST.  
VICTORVILLE, CA.  
92392  
13322 BELLA PINE ST.  
309696155  
\$216.48

BURTON, VELMA/BURTON, ERIK  
12353 BLAZING STAR LN.  
VICTORVILLE, CA  
92392  
12353 BLAZING STAR LN.  
309690132  
\$216.48

# Sanitation Department

Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

JONES, YVETTE  
11592 FERN PINE ST.  
VICTORVILLE, CA.  
92392  
11995 PEPPERWOOD ST.  
309699101  
\$216.48

CHISHOLM, GEOFFREY  
13293 THORNWOOD CT.  
VICTORVILLE, CA.  
92392  
13293 THORNWOOD CT.  
309699131  
\$216.48

VASQUEZ, CYNTHIA  
13729 DELLWOOD ST.  
VICTORVILLE, CA.  
92392  
13729 DELLWOOD ST.  
310363207  
\$108.32

FELIX, RAUL  
13710 WINEWOOD RD.  
VICTORVILLE, CA  
92392  
13710 WINEWOOD RD.  
310363218  
\$216.48

TURNAGE, TOLANI  
15032 ESCALANTE CT  
VICTORVILLE, CA  
92394  
15032 ESCALANTE CT  
310364222  
\$216.48

POOLE, THOMAS  
POOLE, STEPHANI  
15124 ZIRCON DR.  
VICTORVILLE, CA  
92394  
15124 ZIRCON DR.  
310406128  
\$216.48

LOPEZ, GUADALUPE  
13748 SUNSHINE TERRACE ST  
VICTORVILLE, CA.  
92394  
13748 SUNSHINE TERRACE ST  
310411226  
\$141.48

SANCHEZ, LINDA  
15190 HALL MARK LN.  
VICTORVILLE, CA  
92394  
15190 HALL MARK LN.  
310415138  
\$216.48

FRIDLEY, JERRY W. JR.  
FRIDLEY, CHRISTINE  
14069 AMALIA CT.  
VICTORVILLE, CA  
92394  
14069 AMALIA CT.  
310415229  
\$216.48

HARRELL JR., DANIEL  
HARRELL, SYLVIA  
14199 ROAN RD.  
VICTORVILLE, CA  
92394  
14199 ROAN RD.  
310421165  
\$216.48

MATA, ANTONETTE  
14086 GRAY LN.  
VICTORVILLE, CA.  
92394  
14086 GRAY LN.  
310422173  
\$216.48

TEALL, RENAE  
14015 GOPHER CANYON RD.  
VICTORVILLE, CA  
92394  
14015 GOPHER CANYON RD.  
310430207  
\$216.48

HENDRIX, ORQUILLA  
HENDRIX, DAVEL  
14799 ALOE ST.  
VICTORVILLE, CA  
92394  
14799 ALOE ST.  
310430228  
\$244.32

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

PETERSON, LYLE  
6015 FREMONTIA ST  
OAK HILLS, CA  
92344  
13901 CLYDESDALE RUN LN.  
310431130  
\$216.48

HATTEN, JEFFREY SR.  
HATTEN, FELECIA  
14757 ARABIAN RUN LN.  
VICTORVILLE, CA  
92392  
14757 ARABIAN RUN LN.  
310431165  
\$181.00

CARMICHAEL, TANAIA  
CARMICHAEL, JEFFREY  
14769 ARABIAN RUN LN.  
VICTORVILLE, CA  
92394  
14769 ARABIAN RUN LN.  
310431166  
\$278.94

CORONA, PEDRO JR.  
CORONA, MARISOL  
14398 HIDDEN ROCK RD.  
VICTORVILLE, CA  
92392  
14398 HIDDEN ROCK RD.  
310437103  
\$216.48

PEREZ, PEDRO  
GARCIA, ADAN  
14816 CARTER RD.  
VICTORVILLE, CA  
92394  
14816 CARTER RD.  
310437129  
\$216.48

RAY, RICHARD W./RAY, JONI S  
C/O 14703 QUEEN VALLEY RD  
VICTORVILLE, CA  
92394  
14703 QUEEN VALLEY RD.  
310438223  
\$216.48

ADAMSON, ANDREA  
GAMEZ, JOSE  
14412 GREEN RIVER RD.  
VICTORVILLE, CA  
92394  
14412 GREEN RIVER RD.  
310438243  
\$216.48

TELLEZ, CHRISTINA  
TELLEZ, JOSE  
14259 GATESIDE CT.  
VICTORVILLE, CA  
92394  
14259 GATESIDE CT.  
310439106  
\$216.48

MENDOZA, ROBERT  
MENDOZA, STEPHANIE  
15142 FOAL CT.  
VICTORVILLE, CA  
92394  
15142 FOAL CT.  
310442119  
\$216.48

SULLIVAN, BOBBY  
14014 YEARLING LN.  
VICTORVILLE, CA  
92394  
14014 YEARLING LN.  
310443136  
\$235.04

LEYVA, OLGA  
LEYVA, JOE  
13718 CAVERN CT.  
VICTORVILLE, CA  
92394  
13718 CAVERN CT.  
310444160  
\$216.48

GREER, FLORA  
2238 PUTNAM ST.  
TOLEDO, OH  
43620  
14987 LINKING LN.  
310444170  
\$216.48

# Sanitation Department

## Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

ORELLANA, EVETTE  
14979 COTTONTAIL LN.  
VICTORVILLE, CA.  
92394  
14979 COTTONTAIL LN.  
310447113  
\$216.48

PADILLA, ROBERTO  
14620 EQUESTRIAN CT.  
VICTORVILLE, CA  
92394  
14620 EQUESTRIAN CT.  
310458254  
\$311.24

ALLEN, PHILLIP  
14333 WILDCAT LN.  
VICTORVILLE, CA.  
92394  
14333 WILDCAT LN.  
310447137  
\$216.48

RIVERA, GERMAN  
13987 KICKINGHORSE CIRCLE  
VICTORVILLE, CA.  
92394  
13987 KICKINGHORSE CIRCLE  
310459110  
\$213.39

MOJICA, REBECCA  
MOJICA, MANUEL  
13930 SWALLOWTAIL LN.  
VICTORVILLE, CA  
92394  
13930 SWALLOWTAIL LN.  
310450116  
\$155.52

SMITH, MARY  
14796 SHETLAND CT.  
VICTORVILLE, CA  
92394  
14796 SHETLAND CT.  
310461207  
\$241.23

DENNIE, JEROME  
13795 WOODPECK RD  
VICTORVILLE, CA  
92394  
13795 WOODPECK RD  
310453181  
\$251.36

RODARTE, EDWARD  
RODARTE, ARLENE  
13853 FELLER LN.  
VICTORVILLE, CA  
92394  
13853 FELLER LN.  
310461251  
\$278.94

YATES, MICKEY  
13627 COPPER ST.  
VICTORVILLE, CA.  
92394  
13627 COPPER ST.  
310457145  
\$278.94

LEE, RICHARD  
C/O NULPH, LORETTA  
13612 PALMDALE RD.  
VICTORVILLE, CA  
92392  
13612 PALMDALE RD.  
310516112  
\$140.04

CONCHAS, ARTURO JR.  
CONCHAS, DARLA  
13596 COPPER ST.  
VICTORVILLE, CA  
92394  
13596 COPPER ST.  
310457164  
\$216.48

ROCA, BOGAR  
ROCA, ANGELICA  
13280 ARVILA DR.  
VICTORVILLE, CA.  
92392  
13280 ARVILA DR.  
310544102  
\$216.48

RODRIGUEZ, FRANCES  
14072 JOCKEY LN.  
VICTORVILLE, CA.  
92394  
14072 JOCKEY LN.  
310458226  
\$206.24

VERGARA, ANDRES  
13260 ARVILA DR.  
VICTORVILLE, CA.  
92392  
13260 ARVILA DR.  
310544104  
\$216.48

## Sanitation Department

Proposed Property Liens

Fiscal Year 2006-07

Name & Mailing Address  
Property Location  
Assessor's Parcel Number  
Amount of Property Lien

Exhibit A

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NIEBLA, FRANCISCO  
12939 ARVILA DR.  
VICTORVILLE, CA  
92392  
12939 ARVILA DR.  
310545159  
\$216.48

BRISSETTE, NICHOLE  
BRISSETTE, JOSEPH  
12465 PARKWOOD PL.  
VICOTRVILLE, CA.  
92392  
12465 PARKWOOD PL.  
313442138  
\$285.96

ESPINOZA, ALFREDO  
P.O. BOX 3326  
VICTORVILLE, CA.  
92393  
15573 4TH ST. 15577  
478234123  
\$128.04

TOTAL \$88,073.20

(396 PARCELS)



**AGENDA ITEM**

CITY COUNCIL MEETING OF: AUGUST 15, 2006

**SUBMITTED BY:**

Jon E. Gargan  
Director of Community Services

**DATE:** July 25, 2006

**SUBJECT:**

Resolution Number 06-124 approving the Engineer's Report and Resolution Number 06-125 ordering the annexation of Tracts 17089 and 17599 into the Landscape Maintenance Assessment District No. 6 that incorporates the areas along the arterial roads required per each tract's conditions of approval.

**RECOMMENDATION:**

It is recommended that Resolution Numbers 06-124 and 06-125 be approved at this time.

**FISCAL IMPACT:**

Budget Amount: None  
Budget Account No.

— Finance Dept. Use Only —

✓ Additional Appropriation:

No

Yes/\$Amount: \_\_\_\_\_

Finance Director Review & Approval *ap*

**DISCUSSION:** The Landscape and Lighting Act of 1972 in the Streets and Highways Code § 22500 et seq. authorizes the formation of an assessment district for the purposes of funding the perpetual maintenance of the landscape and irrigation required per the conditions of approval of each tract.

Standard Pacific Corp., the developer and owner of the subject properties, filed formal Petitions to initiate the annexation process of the above referenced tracts into Landscape Maintenance Assessment District No. 6. Following staff review, an Engineer's Report was prepared to establish the assessment fees for this district and a public hearing was scheduled per annexation procedures. It is now recommended that Resolution Numbers 06-124 and 06-125 be approved at this time.

JEG:RS:bw *bw*

**Attachments:** Resolution 06-124 / Engineer's Report  
Resolution 06-125 / Ordering Annexation  
Petitions

**RESOLUTION NO. 06-124**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE APPROVING THE ENGINEER'S REPORT FILED IN SUPPORT OF THE FORMATION OF THE LANDSCAPE MAINTENANCE ASSESSMENT DISTRICT NO. 6, AN ASSESSMENT DISTRICT PROPOSED TO BE FORMED UNDER THE LANDSCAPING AND LIGHTING ACT OF 1972.**

**WHEREAS**, the Developer submitted formal Petitions proposing the formation of Landscape Maintenance Assessment District No. 6, an assessment district proposed to be formed under the Landscaping and Lighting Act of 1972 (the "Act") in order to create a revenue source to fund the ongoing maintenance of the landscape and irrigation required by the City to be installed by the Developer as a condition of approval of Tract Numbers 17089 and 17599; and

**WHEREAS**, the Petitions caused the City Engineer to prepare a report which complies with the provision set forth at Article 4 of Chapter 1 of the Act and has filed the same with the City Clerk; and

**WHEREAS**, the City Council has reviewed and considered the City's Engineer's Report and has determined to accept and approve said Report as submitted.

**NOW THEREFORE, THE CITY COUNCIL HEREBY RESOLVES AS FOLLOWS:**

**Section 1      APPROVAL OF ENGINEER'S REPORT**

The Engineer's Report prepared in connection with the proposed formation of Landscape Maintenance Assessment District No. 6, an assessment district proposed to be formed under the Landscaping and Lighting Act of 1972 (the "Act") for the purpose of creating a revenue source to fund the ongoing maintenance of landscape and irrigation described in said Reports hereby accepted and approved containing a full and detailed description of the improvements, the boundaries of the District and any zones therein, the proposed assessments upon assessable lots and parcels of land within the District and meeting all other criteria of the Act applicable to the Engineer's Reports.

**Section 2      CITY CLERK**

The City Clerk shall certify to the passage and adoption of this Resolution; shall enter the same in the book of original Resolutions of the City; and shall make a minute of passage and adoption thereof in the records of the proceedings of the City Council, in the minutes of the meeting at which the Resolution is passed and adopted.

# **ENGINEER'S REPORT**

## **LANDSCAPE MAINTENANCE ASSESSMENT DISTRICT NO. 6**

### **PURPOSE**

The purpose of this report is to set forth the findings and the engineering analysis for the City of Victorville, Victorville Parks and Recreation District Street Lighting and Landscape Maintenance Assessment District for the subject year, in compliance with the requirements of Article 4, Chapter 1, of the Landscape and Lighting Act of 1972 (hereinafter called "1972 Act") which is Part 2, Division 15 of the California Streets and Highways Code 1972 (hereinafter called "the Act"). The Assessment District is necessary to supplement certain revenues generated by the City and finance the cost of providing the perpetual maintenance to the detention basin and landscaping to the parcel(s) within the districts boundaries.

### **BACKGROUND**

The "1972 Act" permits the establishment of assessment districts by cities for the purpose of providing for the maintenance of certain public improvements that include the facilities existing within the proposed assessment district as those improvements provide a benefit to parcels.

The district is being formed to provide funding for the maintenance of slopes, fences, walls, and landscaping within the proposed District boundaries.

The noticing and balloting requirements and other applicable provisions of Article XIII D of the California State Constitution (Proposition 218) will be followed with respect to the formation of the District. Once approved, the assessment shall be levied upon each parcel within the boundaries of the District and the assessment shall be proportionate to the improvement maintenance. A maximum assessment rate per Equivalent Dwelling Unit (EDU) will be established based on the estimated operations and maintenance costs for each year. The maximum rates imposed under the Landscape Maintenance Assessment District shall be adjusted from the yearly rate imposed by a change in the Construction Price Index Escalator.

Following the approval of this Report, the City Council will hold a Public Hearing to provide an opportunity for any interested party to be heard. At the conclusion of the Public Hearing, the City Council may adopt a Resolution confirming the formation of the District.

### **REPORT**

#### **A. PLANS AND SPECIFICATIONS**

The improvements are the operation, maintenance, rehabilitation and servicing of landscaping, lighting and appurtenant facilities including but not limited to personnel, electricity, water, contracting services, landscaping, planting, shrubbery, trees, irrigation system, hardscape, fixtures, sidewalk and walls resulting from landscaping growth and appurtenant facilities in the public right-of-way, medians, parkways, and dedicated easements within the boundaries of the Assessment District.

#### **B. ASSESSMENT ROLE**

1. Number of parcels to be assessed: **157**
  - a. Tract 17089 @ 135 \$16,800.75
  - b. Tract 17599 @ 22 \$2,737.90
2. Amount each parcel is to be assessed: **\$124.45**
3. **TOTAL ASSESSMENT \$19,538.65**
4. Diagram of the assessment district showing all parcels to be assessed is attached, as well as a list of APN's of all assessed parcels.

#### **C. METHOD OF APPORTIONMENT**

The landscaping improvements to be maintained in this District include the attached listed Tracts. The maintenance and operation of the landscaping improvements within the District provides a benefit to those parcels within the District. Therefore, one hundred percent of the costs will be apportioned to each parcel on an EDU basis.

**D. SUMMARY OF ASSESSMENTS**

As final assessor parcel maps become available, the costs will be apportioned on an EDU basis as development occurs within each Tract.

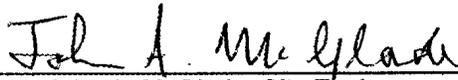
**E. PROPERTY OWNERS LIST**

The property owner list with the names and addresses of each lot or parcel, as shown on the Assessment Diagram referenced in Part F herein, is the list of property owners within the District boundaries as shown per the last equalized roll of the Assessor of the County of San Bernardino or other recorded document and is, by reference, made part of this report.

**F. ASSESSMENT DIAGRAM**

An Assessment Diagram for the Assessment District is on file in the office of the City Clerk. The lines and dimensions of each lot or parcel within the Assessment District are those lines and dimensions shown on the maps of Assessor of the County of San Bernardino, for the year when this report was prepared or are per the recorded Tract Map, and are incorporated by reference herein and made part of this Report.

**Approved and Signed By:**

  
\_\_\_\_\_  
John A. McGlade, City Engineer

8/1/06  
\_\_\_\_\_  
Date

**LEGAL DESCRIPTION**

Real property in the City of Victorville, County of San Bernardino, State of California, described as follows:

THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWNSHIP 4 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF VICTORVILLE, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL GOVERNMENT PLAT OF SAID LAND APPROVED BY THE SURVEYOR GENERAL JULY 25, 1856.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF LOS ANGELES, A MUNICIPAL CORPORATION, BY DEED DATED JANUARY 17, 1989 AND RECORDED MARCH 24, 1989, INSTRUMENT NO. 89-103944, OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

THAT PORTION OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWNSHIP 4 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, SITUATE IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND FILED IN THE DISTRICT LAND OFFICE, DESCRIBED IN DOCUMENT RECORDED ON FEBRUARY 23, 1981, INSTRUMENT NO. 81-003501, OFFICIAL RECORDS OF SAID COUNTY, LYING WITHIN THE BOUNDARIES OF THAT CERTAIN STRIP OF LAND, 450 FEET IN WIDTH, THE SIDE LINES OF SAID STRIP OF LAND BEING PARALLEL WITH AND DISTANT SOUTHEASTERLY 92.5 FEET, AND DISTANT NORTHWESTERLY 357.5 FEET, MEASURED AT RIGHT ANGLES ON EACH SIDE OF THAT CERTAIN CENTER LINE DESCRIBED IN DOCUMENT RECORDED ON MAY 21, 1934, IN BOOK 961, PAGE 356, OFFICIAL RECORDS, AND AS SAID CENTER LINE IS SHOWN ON RECORD OF SURVEY MAP RECORDED JUNE 17, 1983, IN BOOK 49, PAGE 8, RECORDS OF SURVEY OF SAID COUNTY.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND AS CONVEYED TO THE STATE OF CALIFORNIA BY GRANT DEED DATED AUGUST 29, 1995 AND RECORDED APRIL 12, 1996, INSTRUMENT NO. 96-127146, OFFICIAL RECORDS.

APN: 3071-661-02

LMAD Area:  $1,021' \times 10' = 10,210 \text{ sq}'$

TR 17599

Order Number: NHSB-2413947 (19)  
Page Number: 6

**LEGAL DESCRIPTION**

Real property in the City of Victorville, County of San Bernardino, State of California, described as follows:

THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWNSHIP 4 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF VICTORVILLE, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL GOVERNMENT PLAT OF SAID LAND APPROVED BY THE SURVEYOR GENERAL JULY 25, 1856.

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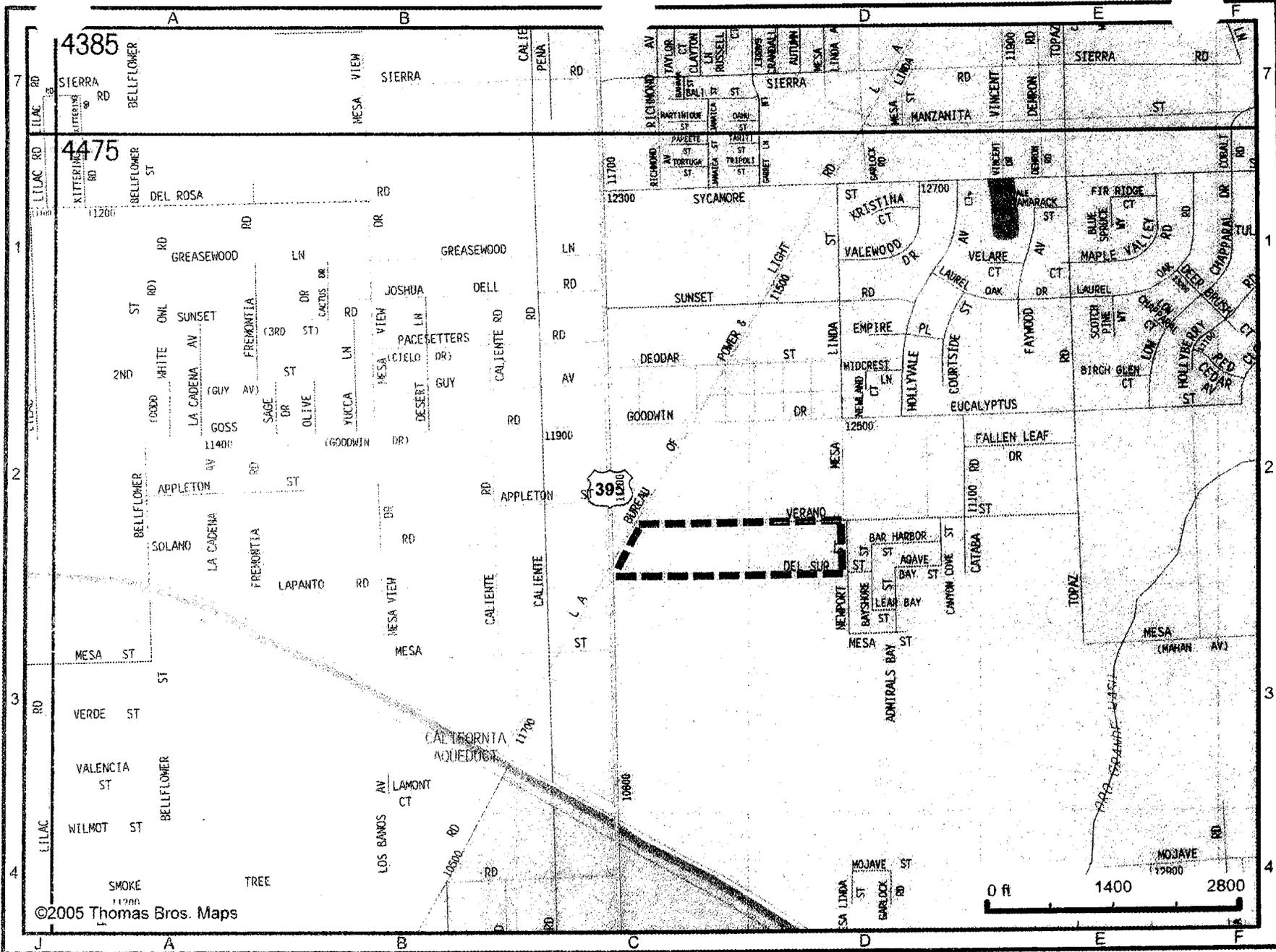
THAT PORTION OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWNSHIP 4 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, SITUATE IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND FILED IN THE DISTRICT LAND OFFICE, DESCRIBED IN DOCUMENT RECORDED ON FEBRUARY 23, 1981, INSTRUMENT NO. 81-003501, OFFICIAL RECORDS OF SAID COUNTY, LYING WITHIN THE BOUNDARIES OF THAT CERTAIN STRIP OF LAND, 450 FEET IN WIDTH, THE SIDE LINES OF SAID STRIP OF LAND BEING PARALLEL WITH AND DISTANT SOUTHEASTERLY 92.5 FEET, AND DISTANT NORTHWESTERLY 357.5 FEET, MEASURED AT RIGHT ANGLES ON EACH SIDE OF THAT CERTAIN CENTER LINE DESCRIBED IN DOCUMENT RECORDED ON MAY 21, 1934, IN BOOK 961, PAGE 356, OFFICIAL RECORDS, AND AS SAID CENTER LINE IS SHOWN ON RECORD OF SURVEY MAP RECORDED JUNE 17, 1983, IN BOOK 49, PAGE 8, RECORDS OF SURVEY OF SAID COUNTY.

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APN: 3071-661-02

LMAD Area:  $300' \times 10' = 3,000 \text{ sq}'$





4385

4475

39

©2005 Thomas Bros. Maps

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**RESOLUTION NO. 06-125**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE ORDERING FORMATION OF THE LANDSCAPE MAINTENANCE ASSESSMENT DISTRICT NO. 6, UNDER THE ASSESSMENT DISTRICT PROPOSED TO BE FORMED UNDER THE LANDSCAPING AND LIGHTING ACT OF 1972 AND AUTHORIZING THE LEVY AND COLLECTION OF ASSESSMENTS FROM SAID DISTRICT IN ORDER TO FUND THE ONGOING MAINTENANCE OF LANDSCAPE MAINTENANCE ASSESSMENT DISTRICT NO. 6 REQUIRED BY THE CITY TO BE INSTALLED BY THE DEVELOPER AS A CONDITION OF APPROVAL OF TRACTS 17089 and 17599.**

**WHEREAS,** the Landscaping and Lighting Act of 1972 (the "Act, California Streets and Highways §22500 *et seq.*) authorizes the formation of an assessment district for the purpose of funding the construction and maintenance of public improvements including landscape and irrigation; and

**WHEREAS,** the Developer submitted formal Petitions proposing the formation of the Landscape Maintenance Assessment District No. 6, an assessment district proposed to be formed under the Landscaping and Lighting Act of 1972 (the "Act") in order to create a revenue source to fund the ongoing maintenance of landscape and irrigation required by the City to be installed by the Developer as a condition of Tract Numbers 17089 and 17599; and

**WHEREAS,** the Developers own the subject property and a public hearing was scheduled with 45 days notice; and

**WHEREAS,** a public hearing was conducted and the City Council considered all objections and protests to the formation of the District and all interested persons were permitted to present written and oral testimony; and

**WHEREAS,** there being no majority protest against the proposed assessment, the City Council is authorized to order the formation of Landscape Maintenance Assessment District No. 6 for the ongoing maintenance of the landscape and irrigation described in Resolution No. 06-125.

**NOW THEREFORE, THE CITY COUNCIL HEREBY RESOLVES AS FOLLOWS:**

**Section 1 PROPOSED FORMATION OF DISTRICT**

The Landscape Maintenance Assessment District No. 6 (the "District"), an assessment district under the Landscaping and Lighting Act of 1972 (the "Act, California Streets and Highways §22500 *et seq.*), is hereby formed within the City of Victorville ("City")

**Section 2 IMPROVEMENTS**

(a) The maintenance to be funded by the assessments to be collected from the proposed assessment District (the proposed "District") are for the maintenance, rehabilitation and servicing of landscape and irrigation, including but not limited to personnel, utilities such as water and electricity, materials, contracting services, and other items necessary for the satisfactory operation of said services.

(b) Maintenance shall include furnishing of services and materials for the ordinary and usual maintenance and servicing of drainage facilities.

**Section 3      DISTRICT BOUNDARIES**

(a)      The District shall be designated as Landscape Maintenance Assessment District No. 6 and the proposed District shall have one (1) initial benefit zone, consisting of Tract Map Numbers 17089 and 17599 on file with the City.

(b)      The exterior boundaries of the proposed District shall be coterminous with the boundary of Tract Map Numbers 17089 and 17599 and shall be depicted on the Diagram of the Assessment District Boundaries, which is included as part of the Engineer's Reports for Landscape Maintenance Assessment District No. 6, copies of which shall be filed with and maintained by the City Clerk upon completion.

**Section 4      LEVY AND COLLECTION OF ASSESSMENTS**

That the assessments upon the assessable lots and parcels of land within the District shall be levied and collected as set forth in the Report filed by the City Engineer in support of the formation of the Landscape Maintenance Assessment District No. 6, a copy of which is on file with the City Clerk.

**Section 5      CITY CLERK**

The City Clerk shall certify to the passage and adoption of this Resolution; shall enter the same in the book of original Resolutions of the City; and shall make a minute of passage and adoption thereof in the records of the proceedings of the City Council, in the minutes of the meeting at which the Resolution is passed and adopted.

EXHIBIT "A"

PETITION

A PETITION TO THE CITY COUNCIL OF THE CITY OF VICTORVILLE, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, IS PETITIONING SAID COUNCIL TO INITIATE PROCEEDINGS FOR ANNEXATION TO THE VICTORVILLE **LANDSCAPE MAINTENANCE ASSESSMENT DISTRICT NO. 6**, AN ASSESSMENT DISTRICT ESTABLISHED PURSUANT TO THE "LANDSCAPING AND LIGHTING ACT OF 1972" AS SET FORTH IN PART 2 OF DIVISION 15 (SECTIONS 225500 ET SEQ.) OF THE STREETS AND HIGHWAYS CODE OF THE STATE OF CALIFORNIA.

WITNESSETH

- A. **WHEREAS**, the petitioner, **Standard Pacific Corp.** Located at 4150 E. Concourse street, Suite 200, Ontario CA, 91764 is the sole owner of that certain real property located in the City of Victorville, county of San Bernardino, State of California, more particularly described as follows:

Tract No. 17599

See Exhibit "B", attached hereto and made a part thereof, hereinafter referred to as the "Property"; and

- B. **WHEREAS**, the Developer is developing a portion of the Property as Tract 17599 (hereinafter referred to as the "Project"); and

- C. **WHEREAS**, pursuant to the "Landscaping and Lighting Act of 1972" as set forth in Part 2 of Division 15 (Sections 22500 et seq.) of the Streets and Highways Code of the State of California, the City may annex territory to an assessment district to provide for the continued maintenance, operations and servicing of the Improvement Areas and Landscape Improvements, and for the payment of the costs and expenses incurred for such maintenance, operation and servicing; and

- D. **WHEREAS**, the Developer is the owner of all the real property to be benefited by the Improvement Areas, and the maintenance, operation and servicing thereof.

**NOW, THEREFORE**, in furtherance of the foregoing recitals, the Developer does hereby petition the City as follows:

1. In order to assure the continued maintenance, operation and servicing of the Improvement Areas and Landscape Improvements, and the payment of the costs and expenses incurred for such maintenance, operation and servicing, the Developer hereby requests that the City annex the Property to Victorville Landscape Maintenance Assessment District No. 6 (hereinafter referred to as the "District") pursuant to the "Landscaping and Lighting Act of 1972", as set forth in Part 2 of Division 15 (Sections 22500 et seq.) of the Streets and Highways Code of the State of California, in accordance with this Petition.
2. The Developer requests that the territory to be annexed to the District consists of all the Property referenced in Paragraph A of the recitals hereinabove.

3. As the sole owner(s) of all the real property to be annexed into the district, the Developer hereby waives all statutory hearings of objections and protests by interested property owners to the proposed annexation.
4. In consideration of the approval of the District by the City, the Developer hereby proposes as follows:
  - a. To improve the Improvement Areas with the Landscape Improvements (including, but not limited to, ground cover, shrubbery, trees and other landscaping, irrigation equipment and separate water meters) as may be reasonably required by the City and to bear all costs of constructing or otherwise installing the Landscape Improvements;
  - b. To construct and install each phase of the Landscape Improvements as Developer improves each tentative tract within the Project contiguous to each such landscape improvement phase. Each landscape improvement phase shall be completed prior to the first close of escrow for the sale of any lot in the contiguous tentative tract, or the Developer shall have plans approved for the entire subdivision and provide a bond satisfactory to the City that will ensure construction of the improvements required for that landscape improvement phase.
  - c. To consent to the establishment and payment of an assessment for the proposed annexation of the Property into the District in an amount reasonably determined by the City to cover all costs and expenses incurred for the continued maintenance, operation and servicing of the Landscape Improvements for fiscal year .
5. The Developer hereby requests that the Property be annexed to the District as set forth hereinabove to satisfy the City's landscape condition and allow the recordation of the final tract map(s) for the Project, as referenced in Paragraph 4.b of the recitals hereinabove.
6. There will be no change of ownership of said property in Tract prior to the Public Hearing.
7. This is an overlying tract. When development occurs within the District, assessments will be levied for the individual development.
8. The Developer hereby requests that a Public Hearing be scheduled for \_\_\_\_\_.
9. This Petition is binding upon the Developer and shall be further binding upon the heirs, successors, assigns and transferee of said real property.

**ALL SIGNATURES TO BE NOTARIZED**

**Standard Pacific Corp.**

By: \_\_\_\_\_



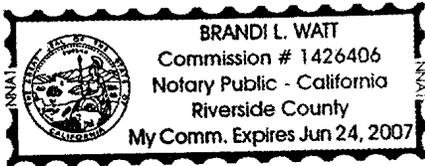
Christopher W. Willis  
Authorized Representative

**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

State of California  
County of San Bernardino } ss.

On 6-15-06 before me, Brandi L. Watt Notary Public,  
Date Name and Title of Officer (e.g., "Jane Doe, Notary Public")  
personally appeared Christopher W. Willis  
Name(s) of Signer(s)

personally known to me  
 proved to me on the basis of satisfactory evidence



to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Brandi L. Watt  
Signature of Notary Public

**OPTIONAL**

*Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.*

**Description of Attached Document**

Title or Type of Document: \_\_\_\_\_

Document Date: \_\_\_\_\_ Number of Pages: \_\_\_\_\_

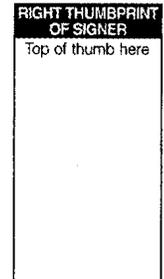
Signer(s) Other Than Named Above: \_\_\_\_\_

**Capacity(ies) Claimed by Signer**

Signer's Name: \_\_\_\_\_

- Individual
- Corporate Officer — Title(s): \_\_\_\_\_
- Partner —  Limited  General
- Attorney-in-Fact
- Trustee
- Guardian or Conservator
- Other: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_



TR 17599

Order Number: NHSB-2413947 (19)

Page Number: 6

### LEGAL DESCRIPTION

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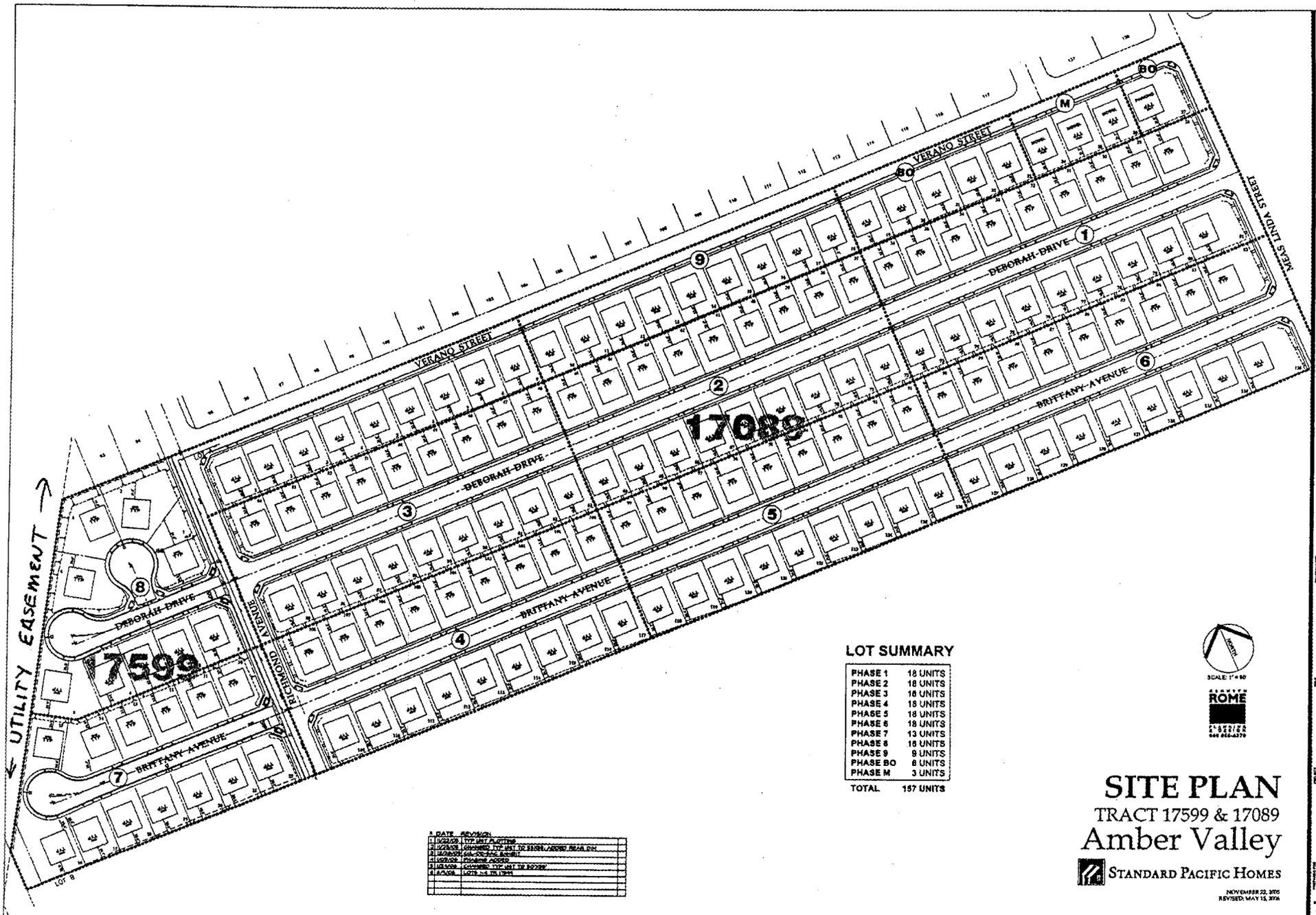
EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF LOS ANGELES, A MUNICIPAL CORPORATION, BY DEED DATED JANUARY 17, 1989 AND RECORDED MARCH 24, 1989, INSTRUMENT NO. 89-103944, OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

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EXCEPTING THEREFROM THAT PORTION OF SAID LAND AS CONVEYED TO THE STATE OF CALIFORNIA BY GRANT DEED DATED AUGUST 29, 1995 AND RECORDED APRIL 12, 1996, INSTRUMENT NO. 96-127146, OFFICIAL RECORDS.

APN: 3071-661-02

LMAD Area:  $300' \times 10' = 3,000 \text{ sq}'$



DATE	REVISION
11/22/05	TOP UNIT PLACING
11/22/05	CONCRETE TOP UNIT TO 11089/1089/1088/1087/1086/1085/1084/1083/1082/1081/1080/1079/1078/1077/1076/1075/1074/1073/1072/1071/1070/1069/1068/1067/1066/1065/1064/1063/1062/1061/1060/1059/1058/1057/1056/1055/1054/1053/1052/1051/1050/1049/1048/1047/1046/1045/1044/1043/1042/1041/1040/1039/1038/1037/1036/1035/1034/1033/1032/1031/1030/1029/1028/1027/1026/1025/1024/1023/1022/1021/1020/1019/1018/1017/1016/1015/1014/1013/1012/1011/1010/1009/1008/1007/1006/1005/1004/1003/1002/1001/1000/999/998/997/996/995/994/993/992/991/990/989/988/987/986/985/984/983/982/981/980/979/978/977/976/975/974/973/972/971/970/969/968/967/966/965/964/963/962/961/960/959/958/957/956/955/954/953/952/951/950/949/948/947/946/945/944/943/942/941/940/939/938/937/936/935/934/933/932/931/930/929/928/927/926/925/924/923/922/921/920/919/918/917/916/915/914/913/912/911/910/909/908/907/906/905/904/903/902/901/900/899/898/897/896/895/894/893/892/891/890/889/888/887/886/885/884/883/882/881/880/879/878/877/876/875/874/873/872/871/870/869/868/867/866/865/864/863/862/861/860/859/858/857/856/855/854/853/852/851/850/849/848/847/846/845/844/843/842/841/840/839/838/837/836/835/834/833/832/831/830/829/828/827/826/825/824/823/822/821/820/819/818/817/816/815/814/813/812/811/810/809/808/807/806/805/804/803/802/801/800/799/798/797/796/795/794/793/792/791/790/789/788/787/786/785/784/783/782/781/780/779/778/777/776/775/774/773/772/771/770/769/768/767/766/765/764/763/762/761/760/759/758/757/756/755/754/753/752/751/750/749/748/747/746/745/744/743/742/741/740/739/738/737/736/735/734/733/732/731/730/729/728/727/726/725/724/723/722/721/720/719/718/717/716/715/714/713/712/711/710/709/708/707/706/705/704/703/702/701/700/699/698/697/696/695/694/693/692/691/690/689/688/687/686/685/684/683/682/681/680/679/678/677/676/675/674/673/672/671/670/669/668/667/666/665/664/663/662/661/660/659/658/657/656/655/654/653/652/651/650/649/648/647/646/645/644/643/642/641/640/639/638/637/636/635/634/633/632/631/630/629/628/627/626/625/624/623/622/621/620/619/618/617/616/615/614/613/612/611/610/609/608/607/606/605/604/603/602/601/600/599/598/597/596/595/594/593/592/591/590/589/588/587/586/585/584/583/582/581/580/579/578/577/576/575/574/573/572/571/570/569/568/567/566/565/564/563/562/561/560/559/558/557/556/555/554/553/552/551/550/549/548/547/546/545/544/543/542/541/540/539/538/537/536/535/534/533/532/531/530/529/528/527/526/525/524/523/522/521/520/519/518/517/516/515/514/513/512/511/510/509/508/507/506/505/504/503/502/501/500/499/498/497/496/495/494/493/492/491/490/489/488/487/486/485/484/483/482/481/480/479/478/477/476/475/474/473/472/471/470/469/468/467/466/465/464/463/462/461/460/459/458/457/456/455/454/453/452/451/450/449/448/447/446/445/444/443/442/441/440/439/438/437/436/435/434/433/432/431/430/429/428/427/426/425/424/423/422/421/420/419/418/417/416/415/414/413/412/411/410/409/408/407/406/405/404/403/402/401/400/399/398/397/396/395/394/393/392/391/390/389/388/387/386/385/384/383/382/381/380/379/378/377/376/375/374/373/372/371/370/369/368/367/366/365/364/363/362/361/360/359/358/357/356/355/354/353/352/351/350/349/348/347/346/345/344/343/342/341/340/339/338/337/336/335/334/333/332/331/330/329/328/327/326/325/324/323/322/321/320/319/318/317/316/315/314/313/312/311/310/309/308/307/306/305/304/303/302/301/300/299/298/297/296/295/294/293/292/291/290/289/288/287/286/285/284/283/282/281/280/279/278/277/276/275/274/273/272/271/270/269/268/267/266/265/264/263/262/261/260/259/258/257/256/255/254/253/252/251/250/249/248/247/246/245/244/243/242/241/240/239/238/237/236/235/234/233/232/231/230/229/228/227/226/225/224/223/222/221/220/219/218/217/216/215/214/213/212/211/210/209/208/207/206/205/204/203/202/201/200/199/198/197/196/195/194/193/192/191/190/189/188/187/186/185/184/183/182/181/180/179/178/177/176/175/174/173/172/171/170/169/168/167/166/165/164/163/162/161/160/159/158/157/156/155/154/153/152/151/150/149/148/147/146/145/144/143/142/141/140/139/138/137/136/135/134/133/132/131/130/129/128/127/126/125/124/123/122/121/120/119/118/117/116/115/114/113/112/111/110/109/108/107/106/105/104/103/102/101/100/99/98/97/96/95/94/93/92/91/90/89/88/87/86/85/84/83/82/81/80/79/78/77/76/75/74/73/72/71/70/69/68/67/66/65/64/63/62/61/60/59/58/57/56/55/54/53/52/51/50/49/48/47/46/45/44/43/42/41/40/39/38/37/36/35/34/33/32/31/30/29/28/27/26/25/24/23/22/21/20/19/18/17/16/15/14/13/12/11/10/9/8/7/6/5/4/3/2/1

**LOT SUMMARY**

PHASE 1	18 UNITS
PHASE 2	18 UNITS
PHASE 3	18 UNITS
PHASE 4	18 UNITS
PHASE 5	18 UNITS
PHASE 6	18 UNITS
PHASE 7	13 UNITS
PHASE 8	18 UNITS
PHASE 9	9 UNITS
PHASE 10	8 UNITS
PHASE M	3 UNITS
<b>TOTAL</b>	<b>157 UNITS</b>

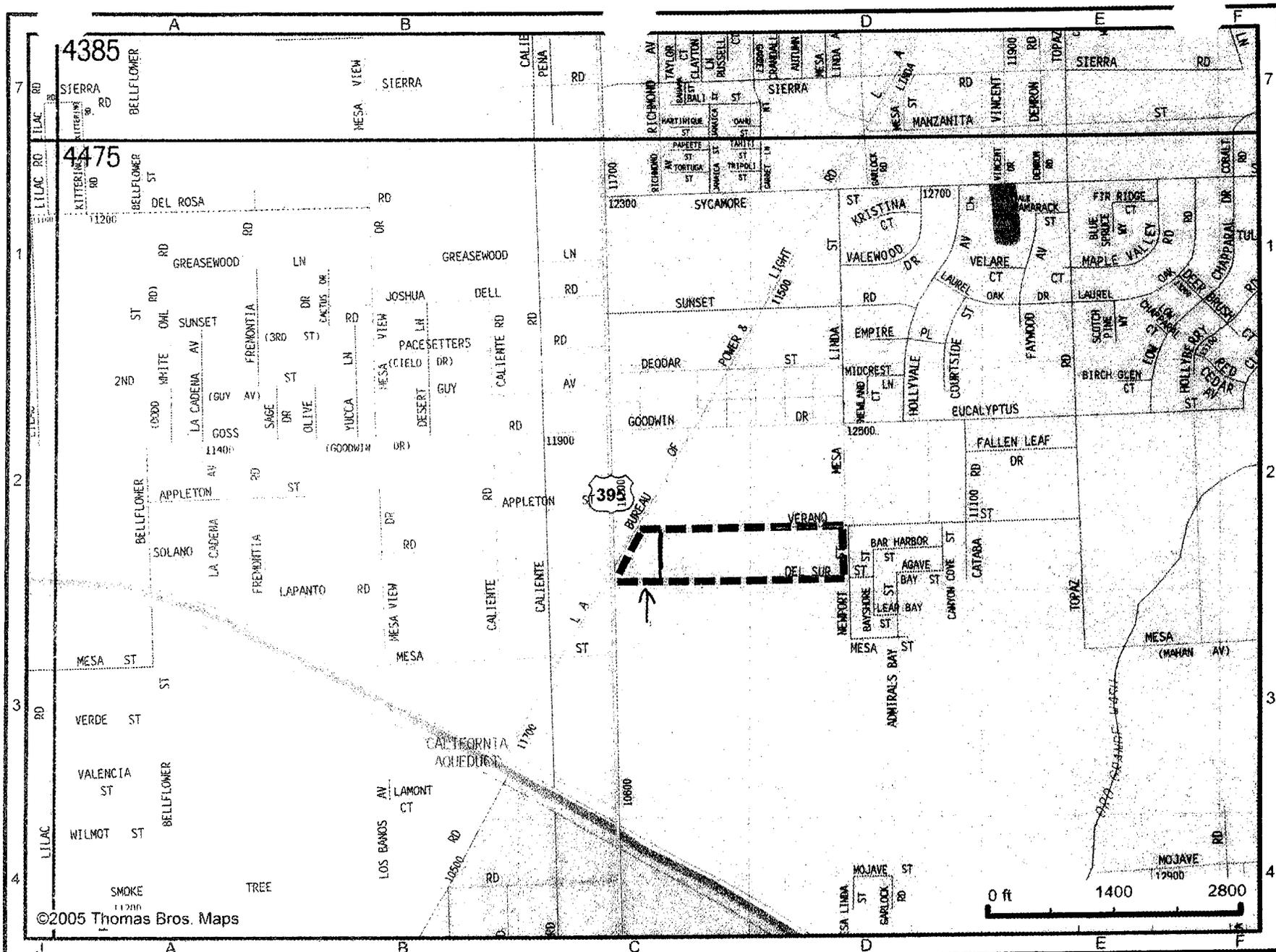


**SITE PLAN**  
TRACT 17599 & 17089  
**Amber Valley**



NOV 04/08 22, 200  
REVISED: MAY 15, 200

1  
 STANDARD PACIFIC  
 AMBER VALLEY  
 STEP PLAN  
 TRACT 17599 & 17089  
 AMBER VALLEY  
 11/22/05 3:15 PM  
 11/22/05 3:15 PM  
 11/22/05 3:15 PM



4385

4475

39

©2005 Thomas Bros. Maps

0 ft 1400 2800

**SECRETARY'S CERTIFICATE  
OF  
STANDARD PACIFIC CORP.**

I, the undersigned, hereby certify that I am Gina D. Delao, Assistant Secretary of Standard Pacific Corp., a company duly organized and existing under the laws of the State of Delaware (the "Company").

I further certify that the following Resolutions were duly adopted by the Executive Committee of the Board of Directors of the Company on February 22, 2006, are now in full force and effect, and have not been amended, modified or revoked:

**Standard Pacific Inland North**

RESOLVED, that notwithstanding the fact that the Inland North division of the Company is not a separate legal entity, the following individuals will serve as officers of the division, in replacement of any and all officers previously designated:

Michael J. White	Division Manager
Andrew M. Almada	Director of Customer Service
Erin Fitzpatrick	Director of Purchasing
Leslie Lebitski	Director of Sales & Marketing
Joseph M. Reed	Director of Land Acquisition
Christopher W. Willis	Director of Project Management
Erik Hugstad	Controller

RESOLVED FURTHER, that the above-listed persons be, and each of them hereby is, authorized to negotiate, approve, execute and deliver, either as designated officers of the division or as authorized representatives of the Company, warranty deeds, land purchase and option agreements, joint venture agreements, financing agreements, development, land use and other entitlement applications and agreements, and all other agreements and documents relating to the real estate development and construction business conducted by this Company, in such counties or areas in which such division may from time to time conduct business; and

RESOLVED FURTHER, that the above-listed persons be, and each of them hereby is, authorized and directed to execute, deliver and file, as appropriate, such certificates, affidavits, agreements and other documents, including a Fictitious Business Name Statement identifying such person's division as a division of this Company, and such other documentation as may be deemed necessary, desirable or appropriate to effectuate the purposes of these resolutions.

IN WITNESS WHEREOF, I hereunto subscribe my name and affix the seal of the Company on this February 23, 2006.

(SEAL)



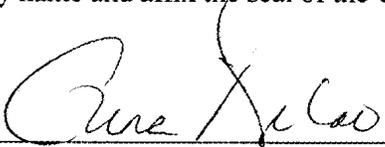
  
Gina D. Delao, Assistant Secretary

EXHIBIT "A"

PETITION

A PETITION TO THE CITY COUNCIL OF THE CITY OF VICTORVILLE, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, IS PETITIONING SAID COUNCIL TO INITIATE PROCEEDINGS FOR ANNEXATION TO THE VICTORVILLE **LANDSCAPE MAINTENANCE ASSESSMENT DISTRICT NO. 6**, AN ASSESSMENT DISTRICT ESTABLISHED PURSUANT TO THE "LANDSCAPING AND LIGHTING ACT OF 1972" AS SET FORTH IN PART 2 OF DIVISION 15 (SECTIONS 225500 ET SEQ.) OF THE STREETS AND HIGHWAYS CODE OF THE STATE OF CALIFORNIA.

WITNESSETH

- A. **WHEREAS**, the petitioner, **Standard Pacific Corp.** Located at 4150 E. Concours street, Suite 200, Ontario CA, 91764 is the sole owner of that certain real property located in the City of Victorville, county of San Bernardino, State of California, more particularly described as follows:

**Tract No. 17089**

See Exhibit "B", attached hereto and made a part thereof, hereinafter referred to as the "Property"; and

- B. **WHEREAS**, the Developer is developing a portion of the Property as Tract 17089 (hereinafter referred to as the "Project"); and
- C. **WHEREAS**, pursuant to the "Landscaping and Lighting Act of 1972" as set forth in Part 2 of Division 15 (Sections 22500 et seq.) of the Streets and Highways Code of the State of California, the City may annex territory to an assessment district to provide for the continued maintenance, operations and servicing of the Improvement Areas and Landscape Improvements, and for the payment of the costs and expenses incurred for such maintenance, operation and servicing; and
- D. **WHEREAS**, the Developer is the owner of all the real property to be benefited by the Improvement Areas, and the maintenance, operation and servicing thereof.

**NOW, THEREFORE**, in furtherance of the foregoing recitals, the Developer does hereby petition the City as follows:

1. In order to assure the continued maintenance, operation and servicing of the Improvement Areas and Landscape Improvements, and the payment of the costs and expenses incurred for such maintenance, operation and servicing, the Developer hereby requests that the City annex the Property to Victorville Landscape Maintenance Assessment District No. 6 (hereinafter referred to as the "District") pursuant to the "Landscaping and Lighting Act of 1972", as set forth in Part 2 of Division 15 (Sections 22500 et seq.) of the Streets and Highways Code of the State of California, in accordance with this Petition.
2. The Developer requests that the territory to be annexed to the District consists of all the Property referenced in Paragraph A of the recitals hereinabove.

3. As the sole owner(s) of all the real property to be annexed into the district, the Developer hereby waives all statutory hearings of objections and protests by interested property owners to the proposed annexation.
4. In consideration of the approval of the District by the City, the Developer hereby proposes as follows:
  - a. To improve the Improvement Areas with the Landscape Improvements (including, but not limited to, ground cover, shrubbery, trees and other landscaping, irrigation equipment and separate water meters) as may be reasonably required by the City and to bear all costs of constructing or otherwise installing the Landscape Improvements;
  - b. To construct and install each phase of the Landscape Improvements as Developer improves each tentative tract within the Project contiguous to each such landscape improvement phase. Each landscape improvement phase shall be completed prior to the first close of escrow for the sale of any lot in the contiguous tentative tract, or the Developer shall have plans approved for the entire subdivision and provide a bond satisfactory to the City that will ensure construction of the improvements required for that landscape improvement phase.
  - c. To consent to the establishment and payment of an assessment for the proposed annexation of the Property into the District in an amount reasonably determined by the City to cover all costs and expenses incurred for the continued maintenance, operation and servicing of the Landscape Improvements for fiscal year .
5. The Developer hereby requests that the Property be annexed to the District as set forth hereinabove to satisfy the City's landscape condition and allow the recordation of the final tract map(s) for the Project, as referenced in Paragraph 4.b of the recitals hereinabove.
6. There will be no change of ownership of said property in Tract prior to the Public Hearing.
7. This is an overlying tract. When development occurs within the District, assessments will be levied for the individual development.
8. The Developer hereby requests that a Public Hearing be scheduled for \_\_\_\_\_.
9. This Petition is binding upon the Developer and shall be further binding upon the heirs, successors, assigns and transferee of said real property.

**ALL SIGNATURES TO BE NOTARIZED**

**Standard Pacific Corp.**

By:   
\_\_\_\_\_  
Christopher W. Willis  
Authorized Representative

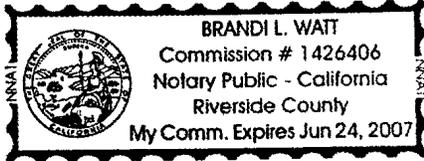
**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

State of California }  
County of San Bernardino } ss.

On 6-15-06 before me, Brandi L. Watt Notary Public  
Date Name and Title of Officer (e.g., "Jane Doe, Notary Public")  
personally appeared Christopher W. Willis  
Name(s) of Signer(s)

personally known to me  
 proved to me on the basis of satisfactory evidence

to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal

Brandi L. Watt  
Signature of Notary Public

**OPTIONAL**

*Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.*

**Description of Attached Document**

Title or Type of Document: \_\_\_\_\_

Document Date: \_\_\_\_\_ Number of Pages: \_\_\_\_\_

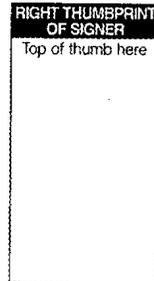
Signer(s) Other Than Named Above: \_\_\_\_\_

**Capacity(ies) Claimed by Signer**

Signer's Name: \_\_\_\_\_

- Individual
- Corporate Officer — Title(s): \_\_\_\_\_
- Partner —  Limited  General
- Attorney-in-Fact
- Trustee
- Guardian or Conservator
- Other: \_\_\_\_\_

Signer Is Representing: \_\_\_\_\_



**LEGAL DESCRIPTION**

Real property in the City of Victorville, County of San Bernardino, State of California, described as follows:

THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWNSHIP 4 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF VICTORVILLE, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL GOVERNMENT PLAT OF SAID LAND APPROVED BY THE SURVEYOR GENERAL JULY 25, 1856.

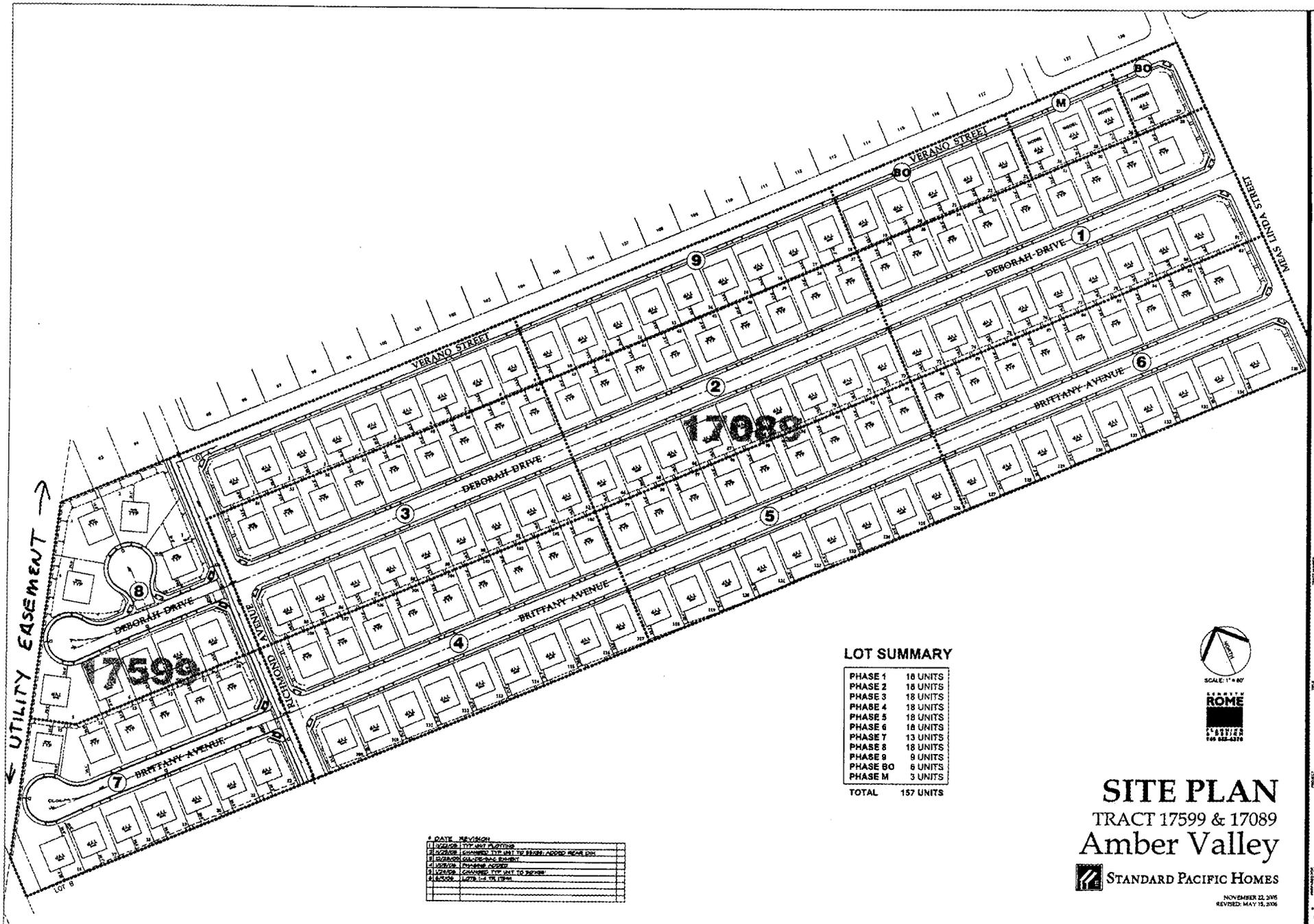
EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF LOS ANGELES, A MUNICIPAL CORPORATION, BY DEED DATED JANUARY 17, 1989 AND RECORDED MARCH 24, 1989, INSTRUMENT NO. 89-103944, OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

THAT PORTION OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWNSHIP 4 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, SITUATE IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND FILED IN THE DISTRICT LAND OFFICE, DESCRIBED IN DOCUMENT RECORDED ON FEBRUARY 23, 1981, INSTRUMENT NO. 81-003501, OFFICIAL RECORDS OF SAID COUNTY, LYING WITHIN THE BOUNDARIES OF THAT CERTAIN STRIP OF LAND, 450 FEET IN WIDTH, THE SIDE LINES OF SAID STRIP OF LAND BEING PARALLEL WITH AND DISTANT SOUTHEASTERLY 92.5 FEET, AND DISTANT NORTHWESTERLY 357.5 FEET, MEASURED AT RIGHT ANGLES ON EACH SIDE OF THAT CERTAIN CENTER LINE DESCRIBED IN DOCUMENT RECORDED ON MAY 21, 1934, IN BOOK 961, PAGE 356, OFFICIAL RECORDS, AND AS SAID CENTER LINE IS SHOWN ON RECORD OF SURVEY MAP RECORDED JUNE 17, 1983, IN BOOK 49, PAGE 8, RECORDS OF SURVEY OF SAID COUNTY.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND AS CONVEYED TO THE STATE OF CALIFORNIA BY GRANT DEED DATED AUGUST 29, 1995 AND RECORDED APRIL 12, 1996, INSTRUMENT NO. 96-127146, OFFICIAL RECORDS.

APN: 3071-661-02

LMAD Area:  $1,021' \times 10' = 10,210 \text{ sq}'$



17089

17599

**LOT SUMMARY**

PHASE 1	18 UNITS
PHASE 2	18 UNITS
PHASE 3	18 UNITS
PHASE 4	18 UNITS
PHASE 5	18 UNITS
PHASE 6	18 UNITS
PHASE 7	13 UNITS
PHASE 8	18 UNITS
PHASE 9	8 UNITS
PHASE SO	8 UNITS
PHASE M	3 UNITS
<b>TOTAL</b>	<b>157 UNITS</b>

#	DATE	REVISION
1	02/20/08	1717 UNIT PLACING
2	02/20/08	1717 UNIT TO BE DELETED FROM PHASE 1
3	02/20/08	1717 UNIT TO BE DELETED FROM PHASE 1
4	02/20/08	1717 UNIT TO BE DELETED FROM PHASE 1
5	02/20/08	1717 UNIT TO BE DELETED FROM PHASE 1
6	02/20/08	1717 UNIT TO BE DELETED FROM PHASE 1
7	02/20/08	1717 UNIT TO BE DELETED FROM PHASE 1
8	02/20/08	1717 UNIT TO BE DELETED FROM PHASE 1
9	02/20/08	1717 UNIT TO BE DELETED FROM PHASE 1
10	02/20/08	1717 UNIT TO BE DELETED FROM PHASE 1



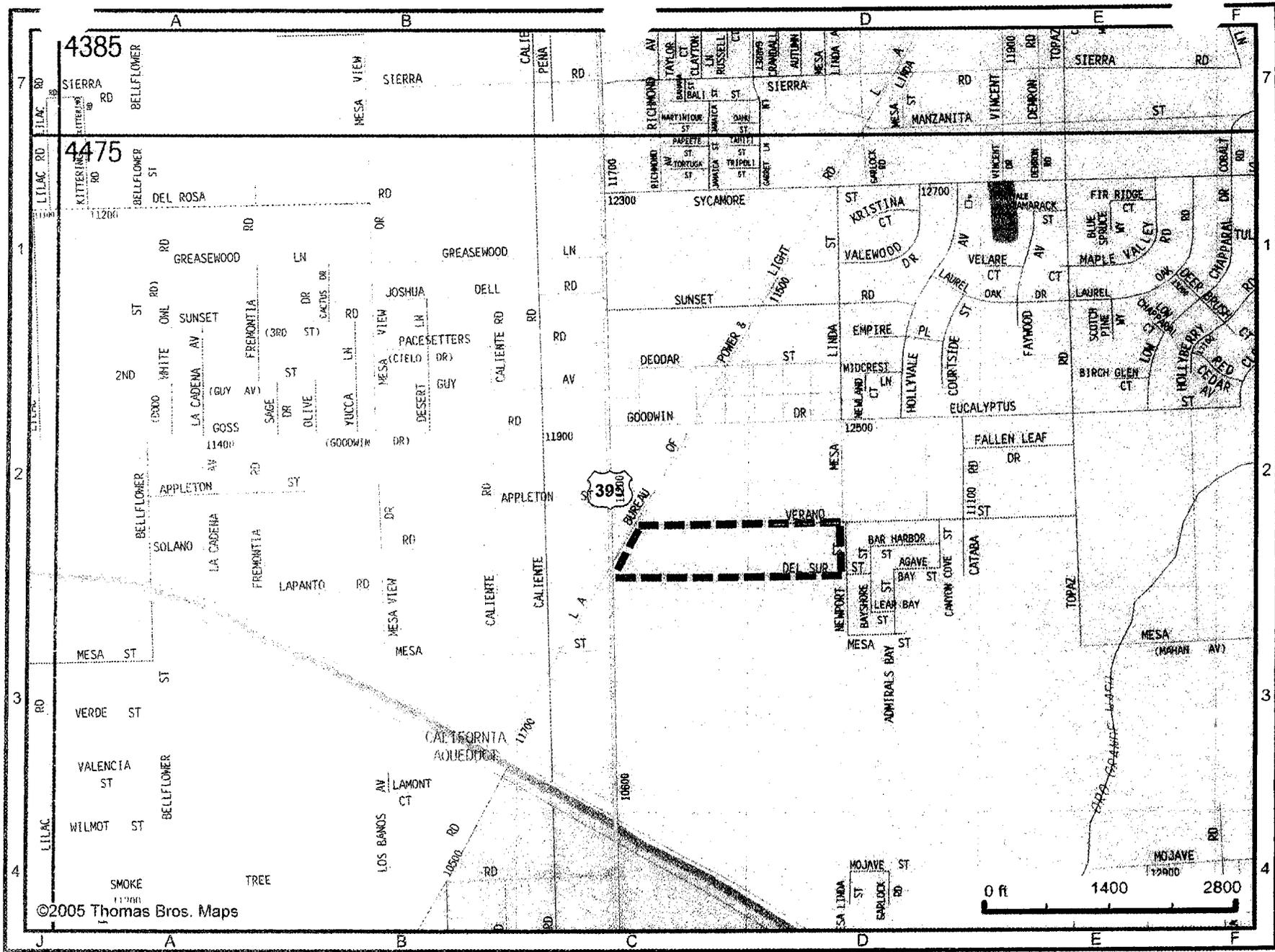
SCALE: 1" = 80'  
**ROME**  
 REGISTERED PROFESSIONAL ARCHITECT  
 1000 17th Street, Suite 100  
 San Diego, CA 92101  
 (619) 551-4370

**SITE PLAN**  
 TRACT 17599 & 17089  
**Amber Valley**

**STANDARD PACIFIC HOMES**

NOVEMBER 22, 2006  
 REVISED: MAY 15, 2006

PROJECT: AMBER VALLEY  
 SHEET: 1  
 TRACT 17599 & 17089  
 DATE: 11/15/06  
 SCALE: 3/8" = 1'-0"  
 DRAWN BY: J. L. HARRIS  
 CHECKED BY: J. L. HARRIS  
 APPROVED BY: J. L. HARRIS  
 STANDARD PACIFIC HOMES



4385

4475

©2005 Thomas Bros. Maps

**SECRETARY'S CERTIFICATE  
OF  
STANDARD PACIFIC CORP.**

I, the undersigned, hereby certify that I am Gina D. Delao, Assistant Secretary of Standard Pacific Corp., a company duly organized and existing under the laws of the State of Delaware (the "Company").

I further certify that the following Resolutions were duly adopted by the Executive Committee of the Board of Directors of the Company on February 22, 2006, are now in full force and effect, and have not been amended, modified or revoked:

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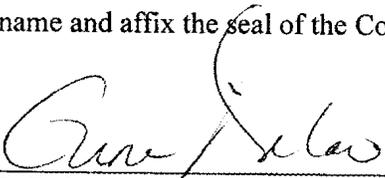
RESOLVED FURTHER, that the above-listed persons be, and each of them hereby is, authorized to negotiate, approve, execute and deliver, either as designated officers of the division or as authorized representatives of the Company, warranty deeds, land purchase and option agreements, joint venture agreements, financing agreements, development, land use and other entitlement applications and agreements, and all other agreements and documents relating to the real estate development and construction business conducted by this Company, in such counties or areas in which such division may from time to time conduct business; and

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IN WITNESS WHEREOF, I hereunto subscribe my name and affix the seal of the Company on this February 23, 2006.

(SEAL)



  
\_\_\_\_\_  
Gina D. Delao, Assistant Secretary

## EXECUTIVE SUMMARY

Planned Unit Development PUD-06-001 and Tentative Tract TT-06-013

**PROJECT DESCRIPTION:** A proposed Planned Unit Development to allow for a 286-lot single-family residential development on 80 gross acres and a tentative tract to allow for the development of a 286-lot single-family residential subdivision on property generally located north of Seneca Road, south of Hook Boulevard, east of Topaz Road and West of Diamond Road.

<b>APPLICANT:</b>	Brentwood Investors, LP and Taggart Investments Inc.
<b>PLANNING COMMISSION PUBLIC HEARING DATES:</b>	July 26, 2006
<b>NUMBER OF PEOPLE SPEAKING IN FAVOR:</b>	0
<b>NUMBER OF PEOPLE SPEAKING OPPOSED:</b>	0
<b>NUMBER OF WRITTEN COMMENTS IN FAVOR:</b>	0
<b>NUMBER OF WRITTEN COMMENTS OPPOSED:</b>	0
<b>STAFF RECOMMENDATION:</b>	Approval
<b>PLANNING COMMISSION ACTION:</b>	Recommend approval
<b>PLANNING COMMISSION VOTE:</b>	five ayes

/pi

Public Hearing  
#4A,B,C  
8-15-06

# MEMORANDUM



DATE: August 15, 2006  
FROM: Bill Webb  
Director of Development  
TO: Honorable Mayor and City Council

---

SUBJECT: PUBLIC HEARING - PLANNED UNIT DEVELOPMENT PUD-06-001 AND TENTATIVE TRACT TT-06-013 - BRENTWOOD INVESTORS, LP AND TAGGART INVESTMENTS, INC. - ORDINANCE NO. 2172 AND RESOLUTION NO. 06-141

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At the regular meeting held July 26, 2006, the Planning Commission conducted a public hearing to hear arguments for or against a proposed Planned Unit Development PUD-06-001 to allow for a 286-lot single-family residential development on 80 gross acres and a tentative tract to allow for the development of a 286-lot single-family residential subdivision on property located north of Seneca Road, south of Hook Boulevard, east of Topaz Road and west of Diamond Road. Excerpts from the minutes of that meeting are as follows:

"PLANNED UNIT DEVELOPMENT PUD-06-001, DEVELOPMENT PLAN DP-06-002 AND TENTATIVE TRACT TT-06-013 - BRENTWOOD INVESTORS, LP AND TAGGART INVESTMENTS, INC.

Mr. Borchert outlined the staff report and noted that due to a Southern California Edison easement through the middle of the property, the applicant decided to provide a Planned Unit Development that included amenities such as paseos, parks along the sides of the easement, masonry walls, enhanced entryways and architecture that exceeded what developers were currently building within the city.

Chairman McEachron opened the public hearing at 7:21 p.m. There being no testimony, Chairman McEachron closed the public hearing at 7:21 p.m.

A motion was made by Commissioner Kurth and seconded by Commissioner Metzler to approve the Negative Declaration for PUD-06-001, DP-06-002 and TT-06-013, with all mitigation measures, and Resolutions P-06-179, P-06-180 and P-06-181, with conditions of Staff. The motion carried by unanimous vote of the Commission. The Resolutions were entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VICTORVILLE RECOMMENDING TO THE CITY COUNCIL THE ADOPTION OF A 286-LOT SINGLE FAMILY RESIDENTIAL PLANNED UNIT DEVELOPMENT PUD-06-001

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VICTORVILLE GRANTING DEVELOPMENT PLAN DP-06-002 TO ALLOW FOR THE DEVELOPMENT OF 286 SINGLE-FAMILY RESIDENTIAL DWELLING UNITS AND RECREATIONAL AREAS WITHIN PROPOSED PLANNED UNIT DEVELOPMENT PUD-06-001 AND TENTATIVE TRACT TT-06-013 (TRACT 17759)

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VICTORVILLE GRANTING TENTATIVE TRACT TT-06-013 TO ALLOW FOR THE DEVELOPMENT OF A 286-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION"

Attached for Council's information is a copy of the Planning Staff Report together with other pertinent data. This matter is presented to the City Council for consideration at the close of the Public Hearing.

BW:pi

Attachments

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RESOLUTION NO. 06-141

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE FOR APPROVING TENTATIVE TRACT TT-06-013, TO ALLOW FOR THE DEVELOPMENT OF A 286-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION IN CONJUNCTION WITH PLANNED UNIT DEVELOPMENT PUD-06-001 ON PROPERTY LOCATED NORTH OF SENECA ROAD, SOUTH OF HOOK BOULEVARD, EAST OF TOPAZ ROAD AND WEST OF DIAMOND ROAD – BRENTWOOD INVESTORS, LP AND TAGGART INVESTMENTS, INC.

WHEREAS, Brentwood Investors, LP and Taggart Investments, Inc. have requested the approval of Tentative Tract TT-06-013, a 286-lot single-family residential subdivision in conjunction with Planned Unit Development PUD-06-001, on property in the City of Victorville, County of San Bernardino, State of California, particularly described as follows:

The North ½ of the West ½ of the West ½ of the Southwest ¼; and the North ½ of the East ½ of the West ½ of the Southwest ¼; and the South ½ of the West ½ of the West ½ of the Southwest ¼ of Section 14, Township 5 North, Range 5 West, San Bernardino Base and Meridian, County of San Bernardino, State of California, and Parcels 1, 2 and 3 of Parcel Map No. 3331 per map recorded in Book 33, page 77, inclusive, records in the City of Victorville, San Bernardino County, State of California; and

WHEREAS, a public hearing was held on the 26<sup>th</sup> day of July, 2006, pursuant to Title 7, Division 2, Chapter 3 of the Government Code of the State of California, to hear arguments for and against the proposed tentative tract, and after hearing all testimony offered, the Planning Commission adopted Resolution No. P-06-181, which recommended that the City Council approve the Tentative Tract; and

WHEREAS, a Negative Declaration for the proposed tentative tract has been presented to the City Council, and after review and consideration of the environmental information, the City Council finds that the proposed tentative tract will not have a significant effect on the environment and therefore approved the Negative Declaration; and

WHEREAS, the City Council finds that the proposed project will have no adverse effect upon abutting properties.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY RESOLVE that the Tentative Tract TT-06-013 be approved subject to the following conditions:

PLANNING CONDITIONS:

1. The proposed development shall comply with all applicable development standards of Title 17 and Title 18 of the City of Victorville Municipal Code, the Parkview Specific Plan and Subdivision Map Act of the State of California.
2. The final map shall be in substantial conformance with the tentative map submitted as part of this application.
3. The applicant shall provide the Director of Development or his designee with a lot closure list for all lots within the subdivision at the time of submission of maps for final approval.

4. The final map shall be subject to review and approval by the Director of Development or his designee prior to recordation.
5. The City of Victorville's name shall not be used in any Conditions, Covenants, and Restrictions (CC&Rs) associated with this development to which it is not a party.
6. The Applicant and/or Developer shall comply with Water Conservation Ordinance No. 2114.
7. This tentative tract map approval is contingent upon the approval of Planned Unit Development (PUD-06-001) and Development Plan (DP-06-002).
8. All proposed phases of the tract shall have the same lot number sequence.
9. A Drainage Facility Assessment District (DFAD) and/or a Landscape Maintenance Assessment District (LMAD) shall be established for all lettered lots, the Southern California Edison Easement and for areas within the public right-of-way of Topaz Road, Hook Boulevard, Diamond Road, Seneca Road not improved with pavement, curbs, gutters, or sidewalks. The drainage facilities and landscaping shall be subject to the review and approval of the Director of Community Services and the Director of Development.
10. All areas within a Landscape Maintenance Assessment District (LMAD) shall be landscaped. The developer shall provide a means to insure their permanent maintenance as approved by the Director of Community Services or his designee.
11. Six-foot high masonry walls and/or combination walls shall be provided along all landscape assessment districts as specified within the Planned Unit Development (PUD-06-001). The actual location of said walls shall be subject to review and approval by the Director of Development or his designee.
12. The applicant shall file a Notice of Determination and pay the necessary filing fee to the County of San Bernardino pursuant to Public Resources Code Section 21089(b). This project is not effective until such time as this condition has been satisfied. The applicant shall submit evidence to the Director of Development or his designee indicating that this condition has been satisfied. Any delay in the applicant's payment of the required fee shall not toll the lapse of approval date nor appeal period of this project.
13. The subdivider shall defend and hold harmless the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City, its agents, officers or employees to attack, set aside, void, or annul, this approval of the City pursuant to Government Code Section 66474.9. The City of Victorville shall promptly notify the subdivider of any claim, action or proceeding and shall cooperate fully in the defense.
14. The applicant shall indemnify, protect, and hold harmless the City from any lawsuit filed due to the applicant's failure to pay the fee imposed by Fish and Game Code Section 711.4.
15. The applicant/developer shall be responsible for obtaining all necessary permits from any affected regulatory agencies.
16. Prior to grading permit issuance the applicant will obtain coverage under the statewide general NPDES permit for control of construction related stormwater. In addition, the applicant shall prepare a Stormwater Pollution Prevention Plan as required in the permit and shall identify site specific Best Management Practices that will be implemented.

17. Prior to the issuance of a grading permit the applicant shall conduct a trapping survey for the Mohave Ground Squirrel (*Spermophilus mohavensis*) in accordance with the Department of Fish and Game protocol. A clearance letter from the Department of Fish and Game for the trapping study conducted for the Mohave Ground Squirrel (*Spermophilus mohavensis*) shall be filed with the Director of Planning or his designee prior to issuing the grading permit. If the developer does not desire to conduct trapping or if the Mohave Ground Squirrel is found on the site, the following mitigation measures shall apply:
  - a. The applicant shall provide mitigation lands at a ratio of 1:1. These mitigation lands will be purchased in an area known to support populations of the species. The mitigation lands will be evaluated to ensure they provide habitat equal to or better than the habitat that will be lost as a result of development of the project site. In addition, DFG approval of the mitigation lands will be obtained before acquisition is completed, and an Incidental Take Permit will be applied for as part of the overall mitigation process.
  - b. Appropriate enhancement, endowment, and research fees will be provided by the project proponent as per CDFG requirements for the Mojave Ground Squirrel. These fees will be paid on a 1:1 basis prior to commencement of ground disturbing activities.
18. Pre-construction surveys for the Burrowing Owl on the site and in the surrounding area out to 500 feet should be conducted no more than 30-days prior to ground disturbing activities. If ground disturbing activities are delayed for more than 30 days, additional surveys will be required.
19. If Burrowing Owls are observed on the site during future surveys, mitigations which will be required to reduce the impacts to less than significant will include the following:
  - a. Occupied burrows should not be disturbed during the nesting season (February 1 through August 31) unless a qualified biologist approved by the Department verifies through non-invasive methods either: (1) the birds have not begun egg-laying and incubation; or (2) that juveniles from the occupied burrows are foraging independently and are capable of independent survival.
  - b. To off-set the loss of foraging and burrow habitat on the project site, a minimum of 6.5 acres of burrowing owl habitat per pair or unpaired birds should be acquired and permanently protected.
  - c. Existing unsuitable burrows should be enhanced or new burrows created at a ratio of 2:1 on the protected lands site.
  - d. The project proponent should provide funding for long-term management and monitoring of the protected land. A monitoring plan for the protected land should be required which includes success criteria, remedial measures, and annual reports to the Department.
20. Should grading commence after January 24, 2007, a new biological survey shall be filed with the City of Victorville to determine the presence or absence of endangered species on the site. Said survey shall be filed with the Director of Planning or his designee prior to issuance of a grading permit.
21. The applicant shall provide for an on-site paleontological/archaeological inspector to monitor all grading operations, or a letter from said licensed professional indicating that monitoring is not necessary during grading. Further, if disturbed resources are required to be collected and preserved, the applicant shall be required to participate financially up to the limits imposed by

Public Resources Code Section 21083.2. The results of said monitoring shall be filed with the Director of Planning or his designee prior to the final approval of the development.

ENGINEERING CONDITIONS:

1. The applicant shall provide a final map in accordance with the provisions of the Subdivision Map Act, as amended January 1, 2006, and all applicable provisions of Title 17 of Victorville Municipal Code.
2. That the applicant shall comply with all applicable provisions of Title 17 of the Victorville Municipal Code.
3. The subdivision map shall show any easement of record traversing the subject property.
4. The tentative map approval for this subdivision shall expire three (3) years from the date of said approval.
5. The subdivider shall be required to provide public utility, sewer, and/or drainage easements as required by the City Engineer.
6. That the applicant shall dedicate all of the streets shown on the approved tentative map.
7. That the applicant shall install physically handicapped ramps at all intersections.
8. The applicant shall install all improvements required by Section 17.64.010, 17.64.020, 17.64.030, and 17.64.040 of the Victorville Municipal Code along the frontage of subject property in accordance with the requirements of the City Engineer and the Standard Specifications for Public Works Improvements of the City of Victorville.
9. The applicant shall install sewer, water, gas, underground electricity and telephone. Further the applicant shall install underground communications cable.
10. The applicant shall install streetlights on decorative marbelite standards and relocate existing streetlights as required by the City Engineer.
11. The applicant shall install fire hydrants and/or on site protection as required by the Fire Chief.
12. The applicant's Engineer shall submit a grading plan for the City Engineer's approval and signature. Said grading plan shall address all drainage problems, including nuisance water, within the subject parcels and provide drainage structures of various types, including walls, to adequately handle the on site drainage, that to be accepted from upstream properties and that to be accepted by downstream properties. Hydrologic and hydraulic calculations shall be submitted to support the subdivider's Engineer's design.
13. That the applicant shall not build within area of 100 year flood traversing the property, said building setback lines shall allow for an adequate width to handle a 100 year storm; or, if the applicant builds within the 100 year storm width of the channel, he shall improve the channel by means of grading and drainage structures, including walls, as necessary to completely protect any improvements lying within the 100 year channel width. Such items shall be shown on the grading plan, accompanied by hydrologic calculations.
14. That the subdivider or any successor in interest of any of the parcels to be created by this subdivision shall be responsible for any costs incurred in the relocation of existing utility

facilities where such facilities conflict with street improvements installed within offers of dedication required by these conditions of approval when said improvements are caused to be installed.

15. That the applicant shall pay all existing sewer or any other City of Victorville assessments against the subject property.
16. That the applicant shall provide improved secondary access as required by the Fire Chief.
17. The subdivider shall be required to enter into a subdivision agreement as approved by the City of Victorville.
18. The minimum width for any peripheral street shall be the half width plus 12' of pavement plus a standard parkway on the development side.
19. The subdivider shall conduct a grading operation on the subject property in a manner that will not cause sand or dust to blow onto the property of others. An adequate dust palliative shall be used at all times. Upon completion of grading the subdivider shall maintain the site in a manner that will not cause sand or dust to blow onto the property of others until such a time as the subdivision is finalized and the lots are occupied.
20. The applicant shall provide temporary fencing as required by staff to prevent windblown construction debris from leaving the construction site.
21. The applicant shall, prior to the final approval and recordation of the subdivision, make application and gain approval of a development agreement as it relates to fees, including but not limited to sewer and storm drain.
22. That the applicant shall annex this subdivision into the existing Street Lighting District.
23. The intersection of Escoba Street and Dimarino Street shall be at a right angle, plus or minus ten degrees (80°-100°) or replaced with a 200 ft minimum radius curve.
24. The "knuckle" on Dimarino Street shall be at a right angle, plus or minus ten degrees (80°-100°) or replaced with a 200 ft minimum radius curve.
25. Bendigo Lane, at the intersection with Diamond Road, should intersect at a right angle, plus or minus ten degrees (80°-100°) and have a tangent section that extends 30 feet past the prolongation of the curb line along Diamond Road before the curve begins.
26. The intersection of Nazario Lane with Topaz Road shall align with the road to the west, in Tract16447.
27. The intersection of Alito Lane and Galistro Lane shall be at a right angle, plus or minus ten degrees (80°-100°) or replaced with a 200 ft minimum radius curve.
28. The property returns at the intersections of Diamond Road with Hook Blvd. and Seneca Road shall have 30 foot radii.
29. The property returns at the intersections of Topaz Road with Hook Blvd. and Seneca Road shall have 35 foot radii.
30. Developer is to pay a traffic mitigation fee of Three Hundred Forty-Three Dollars (\$343.00) per lot prior to final building inspection for mitigation of impacts identified by the Traffic

Impact Analysis (TIA) that are not developer installed and are not identified on the Development Impact Fee (DIF) Project List.

31. The electric utilities along Seneca Road must be relocated underground, in accordance with Section 15.28.180 of the Victorville Municipal Code regarding the placing of utility lines underground.
32. All landscaping in the sight-triangle of all road intersections shall not have trees or bushes, only low ground cover and low plants.
33. Line of Sight analysis will be required at the intersections with the perimeter roads. Particular attention is to be paid to signs.
34. Provide for a Drainage Facilities Assessment District (DFAD) for the perpetual maintenance of the drainage channel through this subdivision.

FIRE CONDITIONS:

- Approved water supply system, complete with fire hydrants complying with Fire Department Standard No. 5, shall be in place prior to any combustible construction.
  - Paved access from 2 points shall be required for completion and occupancy. Plans shall be submitted and approved prior to construction commencement.
  - Streets greater than 150' in length shall require cul-de-sacs or approved turnarounds per Fire Department standard. Any street exceeding 500' will require paved secondary access.
  - Tracts with more than 100 homes shall have a water system feed from two different distribution lines.
  - Whenever construction phasing creates dead-end streets greater than 150 feet in length, temporary turnarounds complying with Fire Department Standard No. 1 shall be provided.
  - Hook shall be paved east to existing.
  - Seneca shall be paved east to existing.
  - Topaz shall be paved from Hook to Seneca.
  - Diamond shall be paved from Hook to Seneca.
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ORDINANCE NO. 2172

AN ORDINANCE OF THE CITY OF VICTORVILLE ADOPTING A PLANNED UNIT DEVELOPMENT PUD-06-001 TO ALLOW FOR THE DEVELOPMENT OF A 286-LOT SINGLE-FAMILY PLANNED RESIDENTIAL DEVELOPMENT AND A TENTATIVE TRACT TO ALLOW FOR THE DEVELOPMENT OF A 286-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION ON PROPERTY LOCATED NORTH OF SENECA ROAD, SOUTH OF HOOK BOULEVARD, EAST OF TOPAZ ROAD AND WEST OF DIAMOND ROAD – BRENTWOOD INVESTORS, LP AND TAGGART INVESTMENTS, INC.

THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY ORDAIN AS FOLLOWS:

SECTION 1. A 286-lot single-family residential planned unit development is hereby approved on property particularly described as follows:

The North  $\frac{1}{2}$  of the West  $\frac{1}{2}$  of the West  $\frac{1}{2}$  of the Southwest  $\frac{1}{4}$ ; and the North  $\frac{1}{2}$  of the East  $\frac{1}{2}$  of the West  $\frac{1}{2}$  of the Southwest  $\frac{1}{4}$ ; and the South  $\frac{1}{2}$  of the West  $\frac{1}{2}$  of the West  $\frac{1}{2}$  of the Southwest  $\frac{1}{4}$  of Section 14, Township 5 North, Range 5 West, San Bernardino Base and Meridian, County of San Bernardino, State of California, and Parcels 1, 2 and 3 of Parcel Map No. 3331 per map recorded in Book 33, page 77, inclusive, records in the City of Victorville, San Bernardino County, State of California; and

SECTION 2. The zone classification of the property hereinabove described is hereby designated PUD, Planned Unit Development, in conjunction with Tentative Tract TT-06-013.

SECTION 3. The Official Zoning Map of the City of Victorville dated June 5, 2006, as amended, referred to in Chapter 18.84 of the Victorville Municipal Code, is hereby amended by changing the classification of the above-described property as provided in Title 18 thereof.

SECTION 4. Additional Development Standards and Use Regulations. All other aspects of development shall be regulated by Title 18 as it applies to all Single Family Residential District (R-1) properties.

SECTION 5. This ordinance shall be in full force and effect thirty days from the date of adoption and when all fees are paid pursuant to Public Resources Code Section 21089.

CITY OF VICTORVILLE PLANNING DEPARTMENT  
14343 Civic Drive, Victorville, California 92392  
(760) 955-5135 FAX (760) 245-8250

NEGATIVE DECLARATION  
Preparation Date: March 2, 2006

Name or Title of Project: Planned Unit Development PUD-06-001, Development Plan DP-06-002 & Tentative Tract TT-06-013 (17759).

Location: North of Seneca Road, south of Hook Boulevard, east of Topaz Road, and west of Diamond Road. Also referenced as Assessor's Parcel Numbers 3104-081-01, 3104-081-14, 3104-081-15, 3104-081-16, 3104-081-17, 3104-071-01 and 3104-071-02.

Entity or Person Undertaking Project: Daniel Tate, O'Donnell/Atkins, 14201 Kentwood Blvd. Suite 4, Victorville, CA 92392.

Description of Project: The project involves a change from Single-Family Residential District (R-1) to a Planned Unit Development on 80 acres of vacant land, allowing a minimum lot size of 4,000 square feet for single-family home development. The project also includes a Tentative Tract Map that will subdivide the 80 acres into 295 single-family lots and a Development Plan that indicates the proposed dwelling units and recreational spaces.

Statement of Findings: The Planning Commission has reviewed the Initial Study for this proposed project and has found that there are no adverse environmental impacts to either the man-made or physical environmental setting if the following mitigation measures are implemented in conformance with the Mitigation Monitoring Policy, and does hereby direct staff to file a Notice of Determination, pursuant to the California Environmental Quality Act (CEQA).

A copy of the Initial Study and other applicable documents used to support the proposed Negative Declaration is available for review at the City of Victorville Planning Department.

Mitigation Measures:

1. Prior to grading permit issuance the applicant will obtain coverage under the statewide general NPDES permit for control of construction related stormwater. In addition, the applicant shall prepare a Stormwater Pollution Prevention Plan as required in the permit and shall identify site specific Best Management Practices that will be implemented.
2. Prior to the issuance of a grading permit the applicant shall conduct a trapping survey for the Mohave Ground Squirrel (*Spermophilus mohavensis*) in accordance with the Department of Fish and Game protocol. A clearance letter from the Department of Fish and Game for the trapping study conducted for the Mohave Ground Squirrel (*Spermophilus mohavensis*) shall be filed with the Director of Planning or his designee prior to issuing the grading permit. If the developer does not desire to conduct trapping or if the Mohave Ground Squirrel is found on the site, the following mitigation measures shall apply

NEGATIVE DECLARATION – PUD-06-001, DP-06-002 & TT-06-013

- a. The applicant shall provide mitigation lands at a ratio of 1:1. These mitigation lands will be purchased in an area known to support populations of the species. The mitigation lands will be evaluated to ensure they provide habitat equal to or better than the habitat that will be lost as a result of development of the project site. In addition, DFG approval of the mitigation lands will be obtained before acquisition is completed, and an Incidental Take Permit will be applied for as part of the overall mitigation process.
- b. Appropriate enhancement, endowment, and research fees will be provided by the project proponent as per CDFG requirements for the Mojave Ground Squirrel. These fees will be paid on a 1:1 basis prior to commencement of ground disturbing activities.
3. Pre-construction surveys for the Burrowing Owl on the site and in the surrounding area out to 500 feet should be conducted no more than 30-days prior to ground disturbing activities. If ground disturbing activities are delayed for more than 30 days, additional surveys will be required.
4. If Burrowing Owls are observed on the site during future surveys, mitigations which will be required to reduce the impacts to less than significant will include the following:
  - a. Occupied burrows should not be disturbed during the nesting season (February 1 through August 31) unless a qualified biologist approved by the Department verifies through non-invasive methods either: (1) the birds have not begun egg-laying and incubation; or (2) that juveniles from the occupied burrows are foraging independently and are capable of independent survival.
  - b. To off-set the loss of foraging and burrow habitat on the project site, a minimum of 6.5 acres of burrowing owl habitat per pair or unpaired birds should be acquired and permanently protected.
  - c. Existing unsuitable burrows should be enhanced or new burrows created at a ratio of 2:1 on the protected lands site.
  - d. The project proponent should provide funding for long-term management and monitoring of the protected land. A monitoring plan for the protected land should be required which includes success criteria, remedial measures, and annual reports to the Department.
5. Should grading commence after January 24, 2007, a new biological survey shall be filed with the City of Victorville to determine the presence or absence of endangered species on the site. Said survey shall be filed with the Director of Planning or his designee prior to issuance of a grading permit.
6. The applicant shall provide for an on-site paleontological/archaeological inspector to monitor all grading operations, or a letter from said licensed professional indicating that monitoring is not necessary during grading. Further, if disturbed resources are required to be collected and preserved, the applicant shall be required to participate financially up to the limits imposed by Public Resources Code Section 21083.2. The results of said monitoring shall be filed with the Director of Planning or his designee prior to the final approval of the development.

NEGATIVE DECLARATION – PUD-06-001, DP-06-002 & TT-06-013

Public Review Period: March 7, 2006 through April 7, 2006.

Public Hearing Date: July 26, 2006.

Adopted by the Planning Commission on July 26, 2006.

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RYAN McEACHRON, CHAIRMAN  
VICTORVILLE PLANNING COMMISSION

Adopted by the City Council on August 15, 2006.

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MIKE ROTHSCHILD, MAYOR  
CITY OF VICTORVILLE

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BILL WEBB  
DIRECTOR OF DEVELOPMENT

SW

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# PLANNING COMMISSION STAFF REPORT

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**DATE:** July 26, 2006 **AGENDA NO.** 13A - C

**CASES:** PUD-06-001, DP-06-002 & TT-06-013

**SUBJECT:** **A. Planned Unit Development** to establish the development standards for a 286-lot single family planned residential development;  
**B. Development Plan** to allow for the development of 286 single family dwellings and recreation space;  
**C. Tentative Tract Map** to subdivide 80 acres into 286 single family residential lots.

**APPLICANT:** Brentwood Investors, LP and Taggart Investments, Inc.

**LOCATION:** Northeast corner of Topaz Road and Seneca Road

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## I. STAFF RECOMMENDATION:

Staff finds that the proposal is well designed, compatible with the surrounding zoning, in compliance with the existing General Plan designation and consistent with Chapter 18.49 of the Municipal Code, entitled "Planned Unit Developments"; therefore, Staff recommends that the Planning Commission take the following actions:

1. **Planned Unit Development** - Adopt Resolution No. P-06-179, recommending City Council approval of Case No. PUD-06-001;
2. **Development Plan** - Adopt Resolution No. P-06-180, approving Case No. DP-06-002;
3. **Tentative Tract Map** - Adopt Resolution No. P-06-181, approving Case No. TT-06-013, subject to conditions of approval;
4. **Environmental Assessment** - Recommend City Council approval of the attached Negative Declaration.

## II. SUMMARY:

Proposed Planned Unit Development PUD-06-001, Development Plan DP-06-002 and Tentative Tract TT-06-013 will allow the development of 286 single-family lots on 80 gross acres of land with a minimum lot size of 4,000 square feet. The proposal consists of homes with high quality architecture, recreational features in pocket parks and community design features, which include enhanced entries. The existing single family zoning, R-1T and R-1T(4), allows for a maximum gross density of 4 units per acre. The proposal has a gross density of 3.57 units per gross acre, which does not exceed the existing General Plan and Zoning unit density.

## III. STAFF ANALYSIS:

1. **Planned Unit Development (PUD):** The PUD will set the development standards for the 80-acre site. A comparison between the existing R-1 zoning district and the proposed PUD development standards is as follows:

Development Standards	R-1	PUD
Minimum Lot Size (sq. ft.)	7,200	4,000
Maximum Lot Coverage	40%	50%
Minimum Width Of Lot	60'	40'
Minimum Width Of Corner Lot	65'	45'
Minimum Depth Of Lot	100'	80'
Front Setback To Front Facing Garage	20'	20'
Front Setback To Living Area	20'	10'
Rear Setback	20'	15'
Side Setback	5'	5'
Street Side Setback	10'	10'
Maximum Height	35'	35'
Required Covered Parking Per Dwelling	2	2 *

\*A maximum of 25% of the total units may have tandem garages.

In addition to the standards indicated above, the PUD will requires solid masonry walls throughout the development and split faced block walls along the perimeter streets. The PUD also requires that the proposed residences comply with the accompanying Development Plan with matching architectural detail.

**Changes to Zoning Map:** Should the proposal be approved as requested, then the Official Zoning Map of the City of Victorville shall also be updated in accordance with this proposal.

**2. Development Plan:** The following points summarize the key elements of this proposal:

- Four building plans are proposed with the development each having four exterior architectural styles, which include Craftsman, Cape Cod, Country French and a Craftsman Cottage style. The exterior treatments include enhanced garage doors, window treatments, siding, eaves, vents, wainscoting, roofing, railing, stone veneer, and covered patios that match the architectural style of the building.
- The two story single-family residences range in size from 2,790 to 3,423 square feet.
- Pocket parks will be located along the utility corridor. A concrete trail will run through the utility corridor connecting the parks together. Four basketball courts, two sand volleyball courts, exercise fitness stations and tot lots are proposed within the pocket parks. The applicant shall provide a means to maintain these common recreational areas subject to the review and approval of the Director of Community Services.
- Enhanced entry treatments will be provided at each perimeter street entry. The entries will include decorative landscaping elements, neighborhood identification signs and decorative masonry walls or monuments. Refer to Figure 7 of the Development Plan for examples.

**3. Tentative Tract Map:** The following points summarize the key elements of this proposal:

- The proposed 286-lot subdivision complies with the minimum standards as specified in the associated PUD (i.e. minimum lot size, minimum width, minimum depth, etc.).

- The proposed 286-lots on 80 gross acres, which includes the SCE utility easement, results in a density of 3.57 units per acre.
  - The applicant has selected all of the street names from the City's Master Street Name List.
4. **Environmental Assessment.** A Mitigated Negative Declaration has been prepared for the project in accordance with Section 15070 of the California Environmental Quality Act.

**IV. SITE CHARACTERISTICS:**

	<b>Existing Land Use</b>	<b>General Plan</b>	<b>Zoning</b>	<b>Specific Plan</b>
Site	Vacant	Low Density Residential	R-1T & R-1T(4)	N/A
North	Vacant	Low Density Residential	R-1T(4)	N/A
South	Single Family Dwellings	Very Low Density Residential	County	N/A
East	Vacant	Low Density Residential	R-1T(4)	N/A
West	Vacant	Low Density Residential	R-1 & R-1T	N/A

**NUMBER OF RADIUS LETTERS MAILED: 23**

SW

THE STAFF RECOMMENDATION MAY BE ACCEPTED OR REJECTED BY THE PLANNING COMMISSION AND CITY COUNCIL AFTER ITS OWN ANALYSIS AND CONSIDERATION OF PUBLIC TESTIMONY PRESENTED AT THE HEARING. THE PLANNING COMMISSION ACTION ON THE PLANNED UNIT DEVELOPMENT IS A RECOMMENDATION TO THE CITY COUNCIL ONLY. THE PLANNING COMMISSION DECISION ON THE DEVELOPMENT PLAN AND TENTATIVE TRACT CAN BE APPEALED TO THE CITY COUNCIL WITHIN 10 DAYS OF THE PLANNING COMMISSION ACTION.

CONDITIONS OF APPROVAL  
Tentative Tract Map TT-06-013  
July 26, 2006

1. The proposed development shall comply with all applicable development standards of Title 17 and Title 18 of the City of Victorville Municipal Code, the Parkview Specific Plan and Subdivision Map Act of the State of California.
2. The final map shall be in substantial conformance with the tentative map submitted as part of this application.
3. The applicant shall provide the Director of Development or his designee with a lot closure list for all lots within the subdivision at the time of submission of maps for final approval.
4. The final map shall be subject to review and approval by the Director of Development or his designee prior to recordation.
5. The City of Victorville's name shall not be used in any Conditions, Covenants, and Restrictions (CC&Rs) associated with this development to which it is not a party.
6. The Applicant and/or Developer shall comply with Water Conservation Ordinance No. 2114.
7. This tentative tract map approval is contingent upon the approval of Planned Unit Development (PUD-06-001) and Development Plan (DP-06-002).
8. All proposed phases of the tract shall have the same lot number sequence.
9. A Drainage Facility Assessment District (DFAD) and/or a Landscape Maintenance Assessment District (LMAD) shall be established for all lettered lots, the Southern California Edison Easement and for areas within the public right-of-way of Topaz Road, Hook Boulevard, Diamond Road, Seneca Road not improved with pavement, curbs, gutters, or sidewalks. The drainage facilities and landscaping shall be subject to the review and approval of the Director of Community Services and the Director of Development.
10. All areas within a Landscape Maintenance Assessment District (LMAD) shall be landscaped. The developer shall provide a means to insure their permanent maintenance as approved by the Director of Community Services or his designee.
11. Six-foot high masonry walls and/or combination walls shall be provided along all landscape assessment districts as specified within the Planned Unit Development (PUD-06-001). The actual location of said walls shall be subject to review and approval by the Director of Development or his designee.
12. The applicant shall file a Notice of Determination and pay the necessary filing fee to the County of San Bernardino pursuant to Public Resources Code Section 21089(b). This project is not effective until such time as this condition has been satisfied. The applicant shall submit evidence to the Director of Development or his designee indicating that this condition has been satisfied. Any delay in the applicant's payment of the required fee shall not toll the lapse of approval date nor appeal period of this project.

13. The subdivider shall defend and hold harmless the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City, its agents, officers or employees to attack, set aside, void, or annul, this approval of the City pursuant to Government Code Section 66474.9. The City of Victorville shall promptly notify the subdivider of any claim, action or proceeding and shall cooperate fully in the defense.
14. The applicant shall indemnify, protect, and hold harmless the City from any lawsuit filed due to the applicant's failure to pay the fee imposed by Fish and Game Code Section 711.4.
15. The applicant/developer shall be responsible for obtaining all necessary permits from any affected regulatory agencies.
16. Prior to grading permit issuance the applicant will obtain coverage under the statewide general NPDES permit for control of construction related stormwater. In addition, the applicant shall prepare a Stormwater Pollution Prevention Plan as required in the permit and shall identify site specific Best Management Practices that will be implemented.
17. Prior to the issuance of a grading permit the applicant shall conduct a trapping survey for the Mohave Ground Squirrel (*Spermophilus mohavensis*) in accordance with the Department of Fish and Game protocol. A clearance letter from the Department of Fish and Game for the trapping study conducted for the Mohave Ground Squirrel (*Spermophilus mohavensis*) shall be filed with the Director of Planning or his designee prior to issuing the grading permit. If the developer does not desire to conduct trapping or if the Mohave Ground Squirrel is found on the site, the following mitigation measures shall apply:
  - a. The applicant shall provide mitigation lands at a ratio of 1:1. These mitigation lands will be purchased in an area known to support populations of the species. The mitigation lands will be evaluated to ensure they provide habitat equal to or better than the habitat that will be lost as a result of development of the project site. In addition, DFG approval of the mitigation lands will be obtained before acquisition is completed, and an Incidental Take Permit will be applied for as part of the overall mitigation process.
  - b. Appropriate enhancement, endowment, and research fees will be provided by the project proponent as per CDFG requirements for the Mojave Ground Squirrel. These fees will be paid on a 1:1 basis prior to commencement of ground disturbing activities.
18. Pre-construction surveys for the Burrowing Owl on the site and in the surrounding area out to 500 feet should be conducted no more than 30-days prior to ground disturbing activities. If ground disturbing activities are delayed for more than 30 days, additional surveys will be required.
19. If Burrowing Owls are observed on the site during future surveys, mitigations which will be required to reduce the impacts to less than significant will include the following:
  - a. Occupied burrows should not be disturbed during the nesting season (February 1 through August 31) unless a qualified biologist approved by the Department verifies through non-invasive methods either: (1) the birds have not begun egg-laying and incubation; or (2) that juveniles from the occupied burrows are foraging independently and are capable of independent survival.

- b. To off-set the loss of foraging and burrow habitat on the project site, a minimum of 6.5 acres of burrowing owl habitat per pair or unpaired birds should be acquired and permanently protected.
  - c. Existing unsuitable burrows should be enhanced or new burrows created at a ratio of 2:1 on the protected lands site.
  - d. The project proponent should provide funding for long-term management and monitoring of the protected land. A monitoring plan for the protected land should be required which includes success criteria, remedial measures, and annual reports to the Department.
20. Should grading commence after January 24, 2007, a new biological survey shall be filed with the City of Victorville to determine the presence or absence of endangered species on the site. Said survey shall be filed with the Director of Planning or his designee prior to issuance of a grading permit.
21. The applicant shall provide for an on-site paleontological/archaeological inspector to monitor all grading operations, or a letter from said licensed professional indicating that monitoring is not necessary during grading. Further, if disturbed resources are required to be collected and preserved, the applicant shall be required to participate financially up to the limits imposed by Public Resources Code Section 21083.2. The results of said monitoring shall be filed with the Director of Planning or his designee prior to the final approval of the development.

# MEMORANDUM



DATE: June 28, 2006  
FROM: Bill Webb  
Director of Development  
TO: Chairman and Planning Commissioners

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SUBJECT: PROPOSED PLANNED UNIT DEVELOPMENT PUD-06-001, DEVELOPMENT PLAN DP-06-002 & TENTATIVE TRACT TT-06-013, TO ALLOW FOR A PLANNED UNIT DEVELOPMENT CONSISTING OF 286 SINGLE FAMILY DWELLINGS.  
DANIEL TATE AND O'DONNELL/ATKINS, APPLICANT

**AGENDA ITEM NO. 9**

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The Engineering Department is requesting a continuance due to unresolved issues with the Traffic Impact Analysis (TIA); therefore, Staff is recommending a continuance to the July 26, 2006, Planning Commission meeting to allow the applicant time to address any outstanding issues.

Therefore, this matter is presented for consideration.

Submitted by: Scott Webb<sup>AV</sup>, Assistant Planner

Attachment

# MEMORANDUM

DATE June 21, 2006  
FROM John A. McGlade,  
City Engineer  
TO Bill Webb  
Director of Planning

*BS for JAMc*



---

SUBJECT **PLANNED UNIT DEVELOPMENT PUD-06-001, DEVELOPMENT PLAN DP-06-002,  
TENTATIVE TRACT TT-06-013, Dan Tate**

---

The Engineering Department has not received a response to its April 6, 2006 comment letter on the Traffic Impact Analysis (TIA) for the captioned projects.

Until the comments have been addressed and the TIA is approved, the Engineering Department is not able to condition the projects.

It is recommended that the captioned items be continued until the TIA is approved and Engineering has had sufficient time to incorporate mitigations from the TIA into the conditions for the projects.

JAMc:MRM:mrm

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE OF THE CITY OF VICTORVILLE ADOPTING A PLANNED UNIT DEVELOPMENT (PUD-06-001) ON PROPERTY GENERALLY LOCATED AT THE NORTHEAST CORNER OF TOPAZ ROAD AND SENECA ROAD

Pursuant to Article XI, Section 7 of the California Constitution, the City of Victorville (City) is authorized to make and enforce within its limits all local, police, sanitary, and other ordinances and regulations not in conflict with general laws; and

Pursuant to Title 7, Division 1, Chapter 4, Article 2, Section 65850 of the Government Code of the State of California, the City may adopt by ordinance regulations affecting the use of buildings, structures and land, the location, height, bulk, number of stories and size of buildings, the size of lots, yards, courts and other open spaces, the percentage of a lot that may be occupied by a building or structure, the intensity of land use, and requirements for off-street parking and loading and building setback lines; and

Pursuant to Title 7, Division 1, Chapter 4, Article 2, Section 65850 of the Government Code of the State of California, the City has adopted Chapter 18.49 of the Victorville Municipal Code, providing for the adoption by ordinance of specific regulations pertaining to buildings, structures and the uses of land as planned unit developments; and

("Applicant") has, pursuant to Section 18.49.060 of the Victorville Municipal Code, applied for a planned unit development project ("Project") consisting of 286 single family dwelling units located on 80 acres of land and calling for to the adoption of a Planned Unit Development; and

Pursuant to Title 7, Division 1, Chapter 4, Article 2 of the Government Code of the State of California and Section 18.49.090 of the Victorville Municipal Code, a duly noticed Public Hearing was opened on the 28<sup>th</sup> day of June, 2006 and closed on the 26<sup>th</sup> day of July, 2006 to hear arguments for and against the Project, and after hearing all verbal and written testimony offered, and after thoroughly reviewing and considering the Project, the Planning Commission approved Resolution No. P-06-179, which recommended to the City Council the adoption of a Planned Unit Development for certain property (the "Property") located in the City of Victorville, County of San Bernardino, State of California hereinafter described as:

Pursuant to Section 18.49.090 of the Victorville Municipal Code, the Planning Commission has found and determined all of the following:

- (1) that the Project provides a superior level of development that could not otherwise have been achieved through the strict application of the base zoning district standards the Project is replacing because the base zoning district would provide for

standard subdivision design, while the Project will provide for the more efficient placement of needed residential dwelling units, while at the same time incorporating exceptional public open space areas for recreational opportunities; and

(2) that the location, design and proposed uses are compatible with existing and proposed development in the vicinity; and

(3) that provision is made for both public and private open spaces, exceeding that required by the superceded district regulations because, the total open space, including courtyards, balconies, *paseos*, active and passive park areas, and other open space is greater than that which is required in the R-1 zone; and

(4) that suitable provision is made for schools, parks and playgrounds and for the protection and maintenance of private areas reserved for common use because the development of the Project will result in the payment of school and park mitigation fees that can be used for off-site schools, parks and playgrounds and because the Project incorporates high levels of both public and private open space on-site through public recreation areas and private yards; and

(5) that the proposed development provides a general excellence in the design as a whole, including, among other criteria, the provision of the following design standards and amenities.

(a) increased use of open space for landscaping has been incorporated into the design of the Project through the use of private and public open space; and

(b) *paseos* and trails have been integrated into the Project, providing for increased internal pedestrian mobility within the Project, thereby increasing the attainability of a sense of community among the Project residents; and

(c) attractive masonry walls have been incorporated throughout the project in order to better withstand the desert elements and provide privacy to residents within the Project; and

(d) a variety of high quality architectural materials and designs are included in the housing stock within the project, providing a superior product that exceeds the product design currently being built within the City; and

(6) that the proposed development is properly related to, consistent with and furthers the following goals and policies of the City's adopted general plan:

(a) Land Use Policy # 1.3: Victorville with encourage development era variety of residential uses and residential densities meeting the needs of those desiring to live in Victorville. Implementation Measure # 4: The City will continue to provide for a wide range of residential densities through zoning which allows flexibility in meeting the housing needs of all economic segments of the population. This policy and implementation measure are met by the proposed development because the proposed development provides for a higher density residential development that will meet the needs of those persons who wish to live in an well designed residential development.

(b) Land Use Policy # 3.1 Development will be permitted in

areas where such uses are appropriate and provide for adequate roadways, infrastructure, and public services, Implementation Measure # 3: The City will continue to require new development to pay the capital costs of public facilities and services needed to serve those developments. This project furthers this policy and implementation measure since the Project will be providing half-width street improvements along perimeter streets in order to serve the proposed development, and will be paying applicable development impact fees to ensure the provision of other public facilities; and

(c) Resource Element Policy # 1.9: The City will continue to require new development to conserve water and energy resources in their design and construction. Implementation Measure # 6: The City will continue to require single family residential development standards allowing minimal lot sizes of 7,200 square feet and planned unit development standards allowing for even smaller lots which potentially reduce landscape water demand. This planned unit development furthers this goal by providing efficiently sized reduced lot sizes, thereby reducing the need for water supplies that would be necessary in order to water large front and back yards of single family residences.

(7) that the proposed development is properly related to the City's adopted master plan for parks and facilities.

Pursuant to Section 18.49.090 of the Victorville Municipal Code, the Planning Commission has submitted information on the Project and the minutes of the Planning Commission meetings to the City Council for consideration; and

Pursuant to Title 7, Division 1, Chapter 4, Article 2 of the Government Code of the State of California and Section 18.49.100 of the Victorville Municipal Code, a duly noticed Public Hearing was held by the City Council on the \_\_\_\_\_ day \_\_\_\_\_, of \_\_\_\_\_ to hear arguments for and against the Project, and after hearing all verbal and written testimony offered, including the Planning Commission's recommendation and minutes, and after thoroughly reviewing and considering the Project, the City Council approved the recommendation of the Planning Commission; and

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY ORDAIN AS FOLLOWS:

SECTION 1. A Planned Unit Development (PUD-06-001), comprising a 286 single family detached dwelling unit subdivision on the Property described as follows:

The North ½ of the West ½ of the West ½ of the Southwest ¼; and the North ½ of the East ½ of the West ½ of the Southwest ¼; and the South ½ of the West ½ of the West ½ of the Southwest ¼ of Section 14, Township 5 North, Range 5 West, San Bernardino Base and Meridian, County of San Bernardino, State of California, and

Parcels 1, 2 and 3 of Parcel Map No. 3331 per map recorded in Book 33, page 77, inclusive, records in the City of Victorville, San Bernardino County, State of California

SECTION 2. The zone classification of the Property hereinabove described is hereby designated PUD-06-001, Planned Unit Development, subject to the following development standards;

I. **General Standards**

(a) **Intent.**

The PROJECT is intended to provide a residential development that is unique, alternative and superior to those that can be accomplished through the rigid standards of the base district, yet remain consistent with the goals and objectives of the general plan and further those goals and objectives beyond that in the inflexible zone districts. It is intended to apply to the property, which will be held under separate, but unified ownership, with such unification being provided through the establishment and maintenance of a property owners' association, which will ensure continued compliance with applicable development and occupational standards. The project is intended to provide for the creation of a community that is comprised of individual lot owners who share their rights and responsibilities within the development through a legally binding property owners' association or landscape maintenance assessment district that will be responsible for maintaining the common recreational equipment, landscaping, and neighborhood entries.

(b) **Permitted uses.**

The following principal use is permitted within the PUD-06-001 district: one single family detached residence per lot.

(c) **Accessory uses.**

An accessory building may occupy part of a required rear yard and/or side yard along the interior side lot line, provided that the roof system of such accessory building does not extend beyond the yard's boundary, and shall meet all building code requirements.

Home occupations shall be permitted as approved pursuant to Section 18.66.020.

(d) **Building site.**

Every building site in the project shall have an area not less than four thousand (4,000) square feet. The minimum width of a lot shall be forty (40) feet, corner lots shall have a width of not less than forty-five (45) feet and the minimum depth shall be eighty (80) feet. Every building site shall have a usable area equal to the minimum lot width and depth.

(e) **Yards.**

The minimum required yards in the PUD-06-001 district shall be as follows:

**Front Setback** - Front facing garages shall maintain a minimum setback of twenty (20) feet. Side entry garages, porches and the building face of living areas shall maintain a minimum setback of ten (10) feet.

**Side Setback** - Five (5) feet minimum. Minimum streetside or corner lot setback shall be

ten (10) feet from property line.

**Rear** – Fifteen (15) feet minimum. Rear patio covers shall have a minimum setback of 10 feet from property line.

**Architectural Features** – Eaves, cornices, chimneys, fireplaces, bay windows, pot shelves, window boxes, cantilevered roofs, wing walls, and other architectural features may project into any required set back areas a maximum of two (2) feet.

**(f) Building height.**

No principal building in the PUD-06-001 district shall exceed a height of thirty-five (35) feet. No accessory structure shall have a height in excess of fifteen (15) feet.

**(g) Lot coverage.**

The coverage of a lot in this PUD shall not exceed fifty (50) percent of the area of the lot.

**(h) Entry signs.**

In addition to any signage required by law, the following signs shall be permitted within the PUD-06-001 district:

Wall and/or monument community identification signs shall be located at each perimeter street entry to the project. The supporting structure and sign shall be in accordance with the approved Development Plan (DP-06-002). Signs shall not to exceed forty-five (45) square feet per sign. No monument sign shall exceed a maximum height of six (6) feet.

**(i) Off-street parking.**

Two spaces are required for each dwelling unit and shall be within a fully enclosed garage. Each required parking space shall have a minimum unobstructed space of nine (9) feet by twenty (20) feet. Tandem garages shall not exceed twenty-five (25) percent of the total development. Driveways shall be surfaced with Portland cement with a minimum of four (4) inches thickness.

**(j) Common recreational living space requirement.**

Recreational living space for relaxation, recreation and visual pleasure shall be provided as set forth in the accompanying Development Plan (DP-06-002) and Tentative Tract Map (TT-06-013). An 8' wide paved concrete walkway trail shall meander within the utility easement connecting the pocket parks together. A Home Owners Association (HOA) or the City of Victorville's Community Services Department shall maintain common recreation area. The developer shall provide a means to insure the permanent maintenance of the common recreation space as approved by the Director of Community Services or his designee.

The construction of the recreational areas shall commence prior to the issuance of the first residential certificate of occupancy within a phase of the tract, and the recreational areas within that phase shall be completed within 12 months of the issuance of the first residential certificate of occupancy within that phase of the tract.

**(k) Masonry Wall Requirement.**

Interior walls within the PUD shall be constructed of concrete masonry (CMU) block. Wood and chain link fencing is prohibited. A six (6) foot high split-face masonry wall shall be located along the perimeter streets of the PUD. Pilaster shall be constructed at wall angle points along the perimeter street wall. A tubular steel combination wall may be located along property lines that abut the Southern California Edison Utility Easement.

**(l) Landscaping requirements.**

Front yards shall have a minimum of two (2) trees. Required trees shall be a minimum of a 24" box. Landscaping shall conform with Water Conservation and Landscaping Ordinance 2114. All front yards shall be landscaped prior to occupancy.

**(m) Architecture.**

Dwelling units shall conform to the approved Development Plan (DP-06-002). Buildings shall include garage doors, window treatments, siding, eaves, vents, wainscoting, roofing, railing, stone veneer, and covered patios that match the material and style of the approved Development Plan (DP-06-002).

**II. Administration of Ordinance.**

**(a) Other Regulations.**

The zoning regulations governing the Property shall be those contained directly in this Ordinance in lieu of any other regulations contained by the Victorville Municipal Code. The Victorville Municipal Code shall govern any item not provided for in this Ordinance.

**(b) Administrative Approvals.**

The Director of Development is authorized to render interpretations of this Ordinance and to authorize minor changes to the Project as approved by this Ordinance and the accompanying Development Plan and approvals. By way of example, such minor changes may include, but shall not be limited to, non-substantial elevation changes or movements of building locations that do not reduce the quality of the original approval.

SECTION 3. Additional Development Standards and Use Regulations. All other aspects of development shall be regulated by Title 18 as it applies to all Single Family Residential District (R-1) properties.

SECTION 4. The official Zoning Map of the City of Victorville dated June 5, 2006, as amended, referred to in Chapter 18.84 of the Victorville Municipal Code, is hereby amended by changing the classification of the above-described property as provided in Title 18 thereof.

SECTION 5. This Ordinance shall be in full force and effect thirty days from the date of adoption and when all fees are paid pursuant to Public Resources Code Section 21089.

THIS ORDINANCE SHALL BE IN FULL FORCE AND EFFECT ON  
\_\_\_\_\_, 2006

PASSED, APPROVED AND ADOPTED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2006.

\_\_\_\_\_  
MAYOR OF THE CITY OF VICTORVILLE

ATTEST:

CITY CLERK \_\_\_\_\_

APPROVED AS TO FORM:

\_\_\_\_\_  
CITY ATTORNEY

I, CAROLEE BATES, City Clerk of the City of Victorville and ex-officio Clerk to the City Council of said City, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. \_\_\_\_\_ which was introduced at a meeting held on \_\_\_\_\_ 2006 and duly adopted at a meeting held on the \_\_\_\_\_ day of \_\_\_\_\_ by the following roll call vote, to wit:

AYES:

NOES:

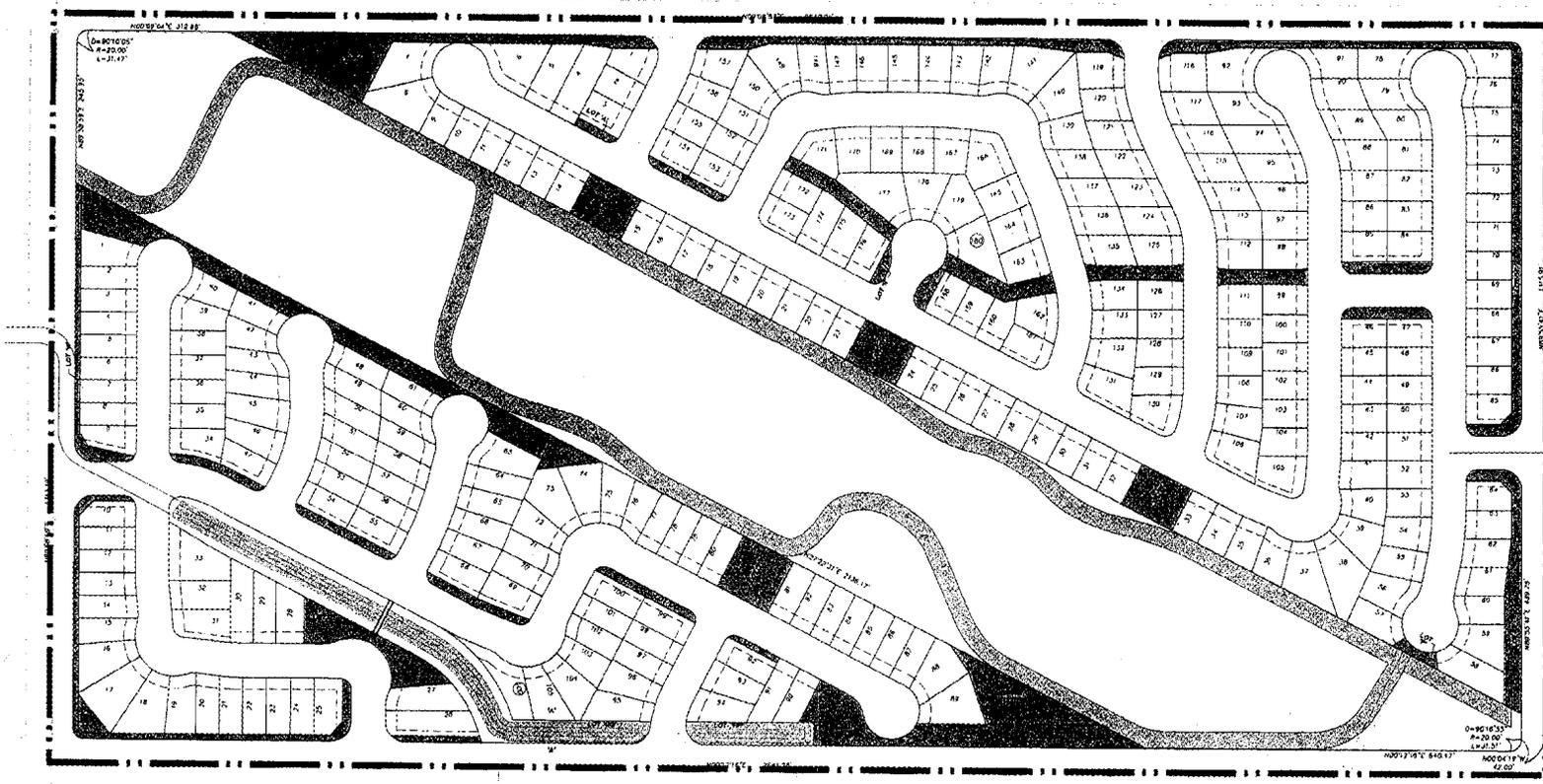
ABSENT

ABSTAIN:

\_\_\_\_\_  
CITY CLERK OF THE CITY OF VICTORVILLE



Open Space Concept  
Figure 3



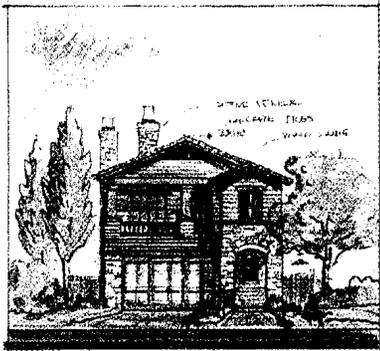
**LEGEND**

- Trail
- Landscape
- Drainage



**AEI CASC**  
837 South Via Lata, Suite 500  
Colton California 92324  
Tel 909/783-0101 • Fax 909/783-0108  
April 19, 2008

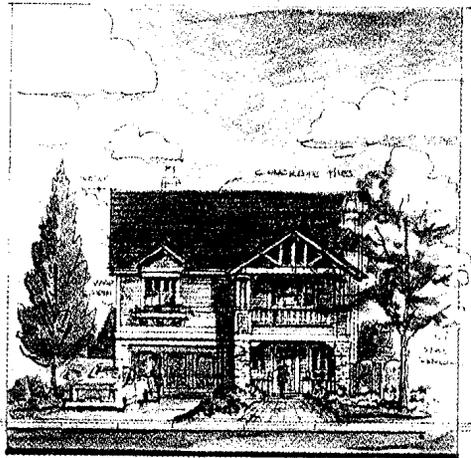
253  
254



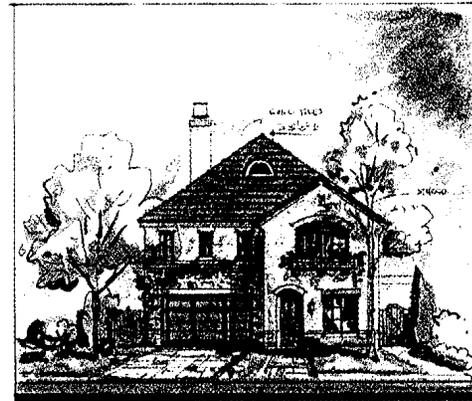
PLAN 2 - CRAFTSMAN FRONT ELEVATION LTI, INC.



PLAN 3 - CAPE COD FRONT ELEVATION LTI, INC.



PLAN ONE - CRAFTSMAN/COTTAGE STYLE 11-10-05 LTI, INC.



PLAN 4 - COUNTRY FRENCH FRONT ELEVATION LTI, INC.

NO.	REVISION

ARCHITECT:  
**L.T.I., Inc.**  
 1000 S. G ST. SUITE 700  
 VICTORVILLE, CA 92395  
 TEL: 760-941-1111 FAX: 760-941-1112  
 WWW.LTI-INC.COM



DATE: 11/10/05

**PUD PLANNING**  
 VICTORVILLE, CALIFORNIA 92395

NO. SHEETS

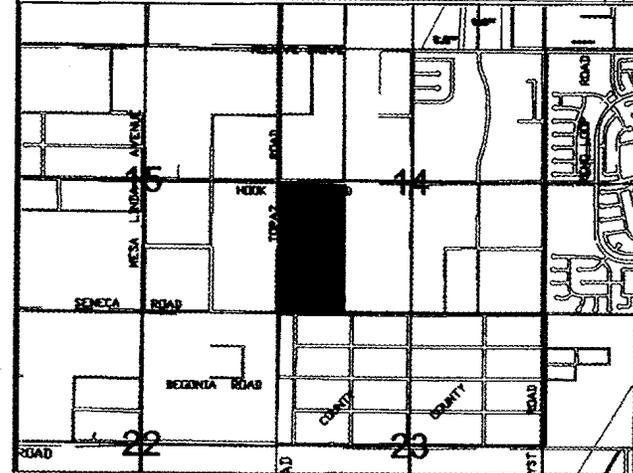
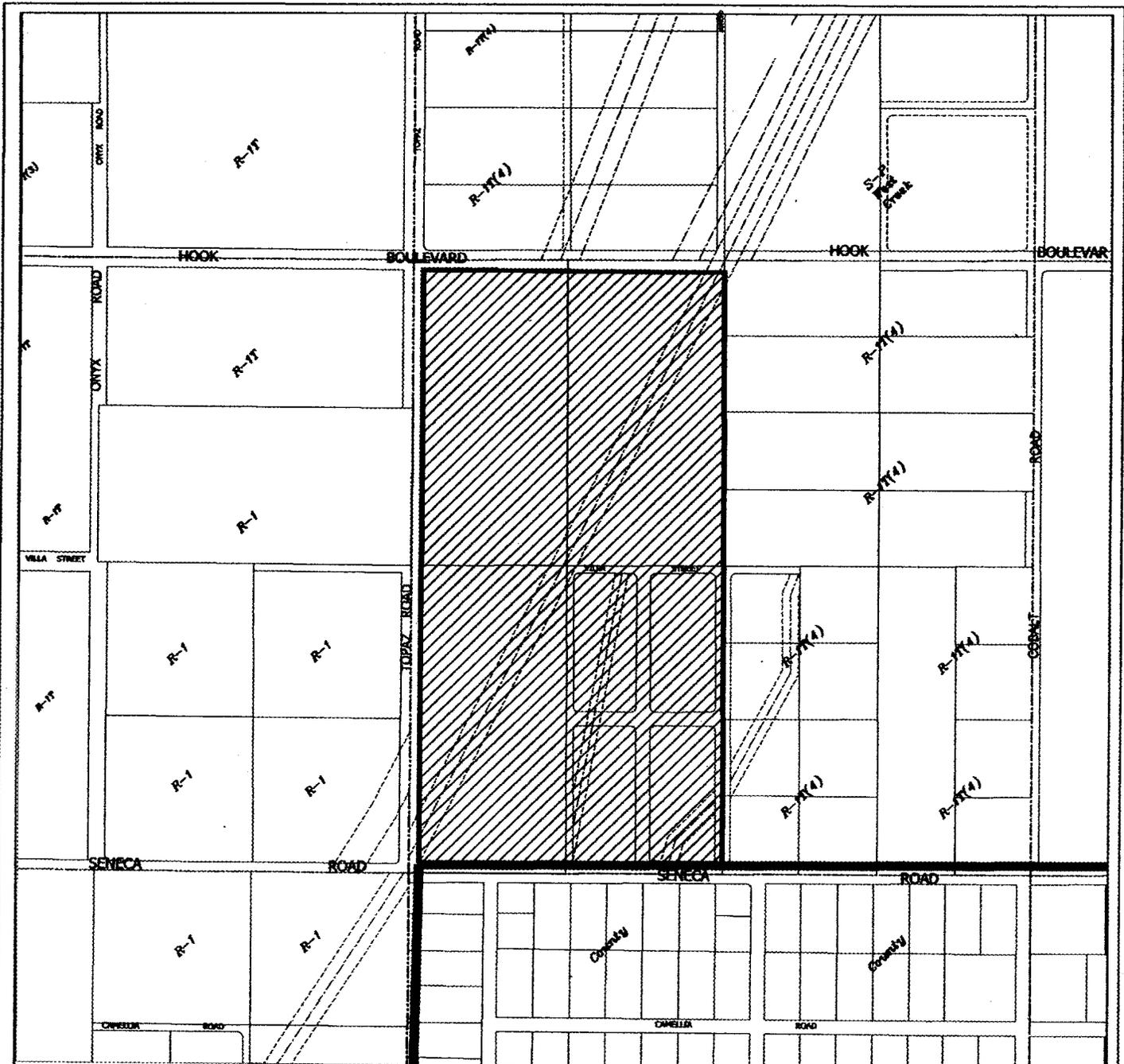
OPTIONAL ELEVATIONS FOR PLANS 1, 2, 3, 4  
 BRENTWOOD INVESTORS L.P.  
 999 ARCADIA DRIVE, SUITE 200  
 BREA, CALIFORNIA 92621  
 (714) 861-1111

DATE:	11/10/05
DESIGNED BY:	
CHECKED BY:	
SCALE:	1/8"=1'-0"
SHEET NO.:	48 OF 48
DATE PLOTTED:	11/10/05
FILE NAME:	

5

DO NOT SCALE THE DRAWING

255

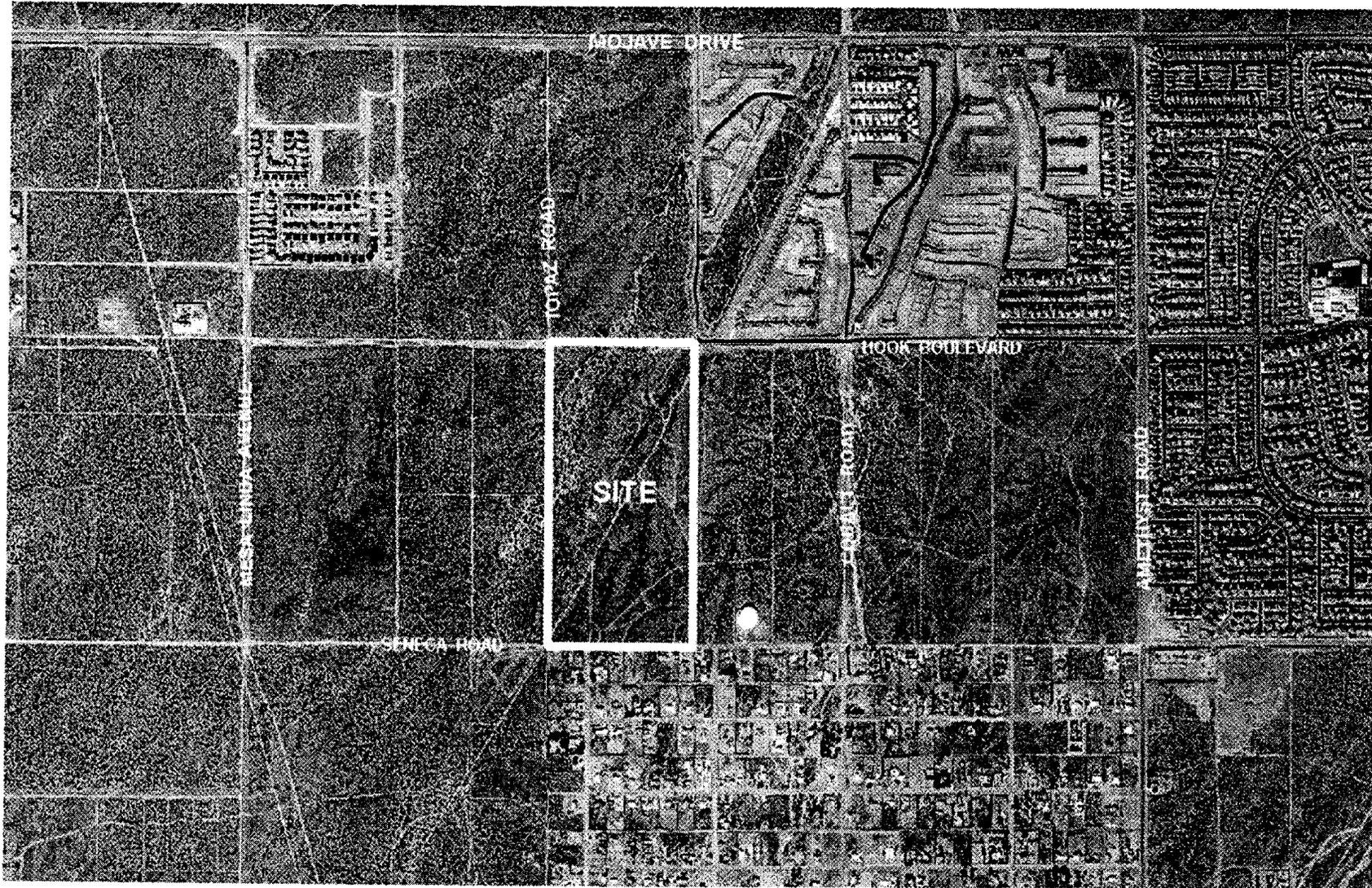


Title: <b>PROPERTY LOCATION MAP</b>			
Zoning: R-1 & R-1T(4)	Area: 80.00 Acres		
Assessor Parcel Number: 3104-071-01 & -02; 3104-081-01, -14 thru -17			
Location: North of Seneca Road, south of Hook Boulevard, east of Topaz Road, and west of Diamond Road.			
TR 17759			
Drawn By: BD	Checked By: <i>SW</i>	Date: 06-12-06	Case Number: PUD-06-001 DP-06-002 & TT-06-013

Vicinity Map

Graphics are diagrammatic only - Not to Scale

Prepared by: City of Victorville Planning Department



Planned Unit Development PUD-06-001, Development Plan DP-06-002 & Tentative Tract Map TT-06-013

**INITIAL STUDY  
ENVIRONMENTAL CHECKLIST**

1. **Project title:** Planned Unit Development PUD-06-001, Development PUD-06-002 & Tentative Tract TT-06-013 (17759).
2. **Lead agency name and address:** City of Victorville Planning Department, P.O. Box 5001, Victorville, California 92393-5001.
3. **Contact person and phone number:** Scott Webb, Assistant Planning Director, 760-941-7004.
4. **Project location:** North of Seneca Road, south of Hook Boulevard, east of Diamond Road, and west of Diamond Road. Also referenced as Assessor's Parcel Numbers 3104-081-15, 3104-081-16, 3104-081-17, 3104-071-01 and 3104-071-02.
5. **Project sponsor's name and address:** Daniel Tate, O'Donnell Enterprises, 1000 Kentwood Blvd. Suite 4, Victorville, CA 92392.
6. **General Plan designation:** Low Density Residential.
7. **Zoning:** R-1 & R-1T(4) (Single Family Residential).
8. **Description of project:** The project involves a change from Single Family Residential District (R-1) to a Planned Unit Development on 80 acres of vacant land, approximately 100,000 square feet for single-family home development. The project will be shown on a Tentative Tract Map that will subdivide the 80 acres into 295 single family lots and include a site plan that indicates the proposed dwelling units and recreational spaces.
9. **Surrounding land uses and setting:** The site is bounded on the north by single family residential homes, on the south by single family residential homes, on the east by R-1T(4) zoned land, and on the west by vacant R-1 zoned land. The subject property is currently zoned R-1T(4).
10. **Other public agency whose approval is required** (e.g., permit, agreement). Recordation of a final map, issuance of building permit, and issuance of structures to code is required by the City prior to establishment of the subdivision. Other agencies that may require approval by the City include the Victor Valley Water District, Mojave Water Agency, Victor Valley Water District, California Department of Fish and Game, Southern California Edison, and the Victor Valley School District would also be required.

**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:**

The environmental factors checked below would be potentially affected by the project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the following pages.

<input type="checkbox"/>	Land Use and Planning	<input type="checkbox"/>	Transportation/Circulation	<input type="checkbox"/>	Public Services
<input type="checkbox"/>	Population and Housing	<input type="checkbox"/>	Biological Resources	<input type="checkbox"/>	Public Health and Service
<input type="checkbox"/>	Geological Problems	<input type="checkbox"/>	Energy and Mineral Resources	<input type="checkbox"/>	Public Utilities
<input type="checkbox"/>	Water	<input type="checkbox"/>	Hazards	<input type="checkbox"/>	Cultural Resources
<input type="checkbox"/>	Air Quality	<input type="checkbox"/>	Noise	<input type="checkbox"/>	Historic Resources
		<input type="checkbox"/>	Mandatory Findings of Significance		

**DETERMINATION:**

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have significant effect on the environment, and a NEGATIVE DECLARATION will be prepared. (De Minimis)
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on an attached sheet have been added to the project. A NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a significant effect(s) on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets, if the effect is a "potentially significant impact" or "potentially significant unless mitigated". An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that the proposed project WILL NOT have a significant effect on the environment, because no new potentially significant effects have been identified beyond those previously analyzed adequately in an earlier EIR (Final Program Environmental Impact Report for the City's 1997 Comprehensive General Plan Update, State Clearinghouse No. 97011040), pursuant to applicable standards, and no additional mitigation measures beyond those imposed as part of that previous EIR are necessary to be imposed upon the proposed project to reduce mitigable impacts to a insignificant level. Therefore, no additional environmental documentation is necessary.

Signature:  Date: March 2, 2006

Scott Webb, Assistant Planner For: Victorville Planning Department

**EVALUATION OF ENVIRONMENTAL IMPACTS:**

- 1) A brief explanation is provided for all answers except "No Impact" answers that are adequately supported by the information sources the lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer is explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) "Potentially Significant Impact" is noted if there is substantial evidence that an effect is significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Potentially Significant Unless Mitigation Incorporated" applies where the

incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Significant Impact". The lead agency describes the mitigation measures, and briefly explains how they reduce the effect to a less than significant level (mitigation measures from Section XVII, "Earlier Analyses", may be cross-referenced).

5) Earlier analyses may be referenced where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). Earlier analyses are discussed in Section XVII at the end of the checklist.

6) The lead agency incorporates into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document, where appropriate, includes a reference to the page or pages where the statement is substantiated. See the sample question below. A source list is attached, and other sources used or individuals contacted are cited in the discussion.

**ENVIRONMENTAL IMPACTS:**

	<i>Potentially Significant</i>	<i>Potentially Significant Unless Mitigation Incorporated</i>	<i>Less than Significant Impact</i>	<i>No Impact</i>
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**I. LAND USE AND PLANNING.** *Would the proposal:*

- a) Conflict with general plan designation or zoning? (1, Figure 3 and 2, Sheet 1)
- b) Conflict with applicable environmental plans or policies adopted by agencies with jurisdiction over the project? (3, 1)
- c) Be incompatible with existing land use in the vicinity? (4)
- d) Affect agricultural resources or operations (e.g., impacts to soils or farmlands, or impacts from incompatible land uses)? (5)
- e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)? (4)

			X
		X	
			X
			X
			X

Comments: The approximately 80-acre project site is designated for "Low Density Residential" uses in the General Plan. This land use designation is characterized by single-family detached residential development corresponding to the R-1 (Single-Family Residential) zoning district. The gross density of developments within this zoning district ranges from one to five dwelling units per acre. The proposed project will result in the construction and occupation of up to 295 single-family dwelling units, roadways, and necessary infrastructure. The proposed residential uses will be developed on lots minimally sized at 4,000 square feet. The gross residential density of the proposed project is 3.69 dwelling units per acre. Because the proposed project is consistent with the City's General Plan, no conflict with the General Plan will occur. No mitigation is required.

The Resource Element of the General Plan does not identify this site as having special environmental significance. The proposal does not create any land use incompatibilities since it is in compliance with the General Plan. No City-identified agricultural, aesthetic, open space, or mineral resources are located on-site. Potential impacts associated with on-site biological and cultural resources are reduced to a less than significant level with adherence to mitigation identified in this document. No significant impact related to

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this issue will occur. No mitigation is required.

The project site is predominantly surrounded by undeveloped land. Because the City has designated the project site for residential uses, and because the proposed project is consistent with General Plan and zoning standards, no incompatibility with existing land uses will result from the proposed development. No mitigation is required.

The project site is designated as "Grazing Land" by the Department of Conservation, Farmland Mapping and Monitoring Program (FMMP.) No Prime, Unique, or Statewide important farmland, active agricultural use, agricultural zoning, or agricultural easement is located on-site. No impact associated with the issue will occur. No mitigation is required.

The project site is located in an area which is designated for the development of residential uses. No structures are located on-site. Because development of the proposed on-site land uses will not disrupt or divide any established community, no impact associated with this issue will occur. No mitigation is required.

**II. POPULATION AND HOUSING.** *Would the proposal:*

- a) Cumulatively exceed official regional or local population projections? (6, 4)
- b) Induce substantial growth in an area either directly or indirectly (e.g., through projects in an undeveloped area or extension of major infrastructure)? (4)
- c) Displace existing housing, especially affordable housing? (4)

			X
			X
			X

Comments: Currently (2006), the City's population totals 90,940 persons. Based on the average residential occupancy rate of 2.9 persons per dwelling unit, build out of the proposed project will increase the population of the City by up to 856 persons. The amount of residential designated land in the City is a factor utilized to estimate local and regional populations. As the density of the proposed residential uses is consistent with the General Plan for the site, the population increase that may result from project development has previously been considered by the City and is consistent with local and regional growth forecasts.

The proposed project will result in the construction and occupation of residential uses on land that is currently undeveloped. While short-term construction-related jobs will be created, these positions would most likely be filled by local workers. The proposed project does not include any long-term employment-generating uses. The City's current residential vacancy rate is 7.14 percent. Based on this vacancy rate, approximately 188 residential units in the City are vacant. An adequate supply of vacant housing exists in the City to accommodate any temporary increase in population that may result from the construction of the proposed project. As no impact related to this issue will occur, no mitigation is required.

The project site is located in an area that is both designated for residential development and where such development has occurred, is under construction, or is planned. The installation of roadways and utility infrastructure will accommodate the growth the City has forecast for the area. As the proposed project is consistent with the City's anticipated development in this area, the installation of infrastructure and conversion of undeveloped land (to suburban) uses, will foster the growth that has been previously considered by the City and service providers. No impact related to this issue will occur. No mitigation is required.

	Potentially Significant	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
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required.

The project site is vacant. No residential structures, including affordable housing units are located on-site; therefore, no impact associated with this issue will occur. No mitigation is required.

**III. GEOLOGIC PROBLEMS.** *Would the proposal result in or expose people to potential impacts involving:*

a) Fault rupture? (8, Figure 1)				X
b) Seismic ground shaking? (8, Table 2)			X	
c) Seismic ground failure, including liquefaction? (5, 27 and Map 24 and 8, 4 and Table 2)				X
d) Seiche, tsunami, or volcanic hazard? (8, Table 2)				X
e) Landslides or mudflows? (8, 7 and Figure 3)				X
f) Erosion, changes in topography or unstable soil conditions from excavation, grading, or fill? (8, Figure 3)				X
g) Subsidence of land? (3, Figure 8)				X
h) Expansive soils? (5, 27 and Map 24)				X
i) Unique geologic or physical features? (5, 27 and Map 24)				X

Comments: There are no known or suspected fault traces located within the Victorville Planning Area. Additionally, the City Planning Area is not subject to the provisions of Alquist-Priolo Special Studies Zones. The City is located in an area with a high potential for severe ground shaking. However, as a function of development all buildings must comply with the Victorville Municipal Code and the latest adopted version of the Uniform Building Code, which will ensure that the buildings would adequately resist the forces of an earthquake (9, 1).

Development of the site is in excess of one acre; therefore, the proposed project is required to obtain a National Pollutant Discharge Elimination System (NPDES) permit as well as submitting a Storm Water Pollution Prevention Plan (SWPPP) for City approval to address erosion and discharge impact associated with the proposed on-site grading. Adherence to the applicable requirements established in the NPDES permit and the SWPPP will ensure potential erosion-related impacts are less than significant. No mitigation is required.

**IV. WATER.** *Would the proposal result in:*

a) Changes in absorption rates, drainage patterns, or the rate and amount of surface runoff? (11, graphic)			X	
b) Exposure of people or property to water related hazards such as flooding? (10, Panel 5795)				X
c) Discharge into surface waters or other alteration of surface water quality (e.g., temperature, dissolved oxygen or turbidity)? (4)				X

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d) Changes in the amount of surface water in any water body? (4)				X
e) Changes in currents, or the course or direction of water movements? (4)				X
f) Change in the quantity of ground waters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capability? (11)				X
g) Altered direction or rate of flow of groundwater? (4)				X
h) Impacts to groundwater quality? (4)		X		
i) Substantial reduction in the amount of groundwater otherwise available for public water supplies? (11)			X	

Comments: The proposed development may, through the installation of impermeable surfaces, change absorption rates, drainage patterns, and the amount of surface runoff. The City has adopted a flood drainage fee that is assessed on all properties in the City and is used for constructing drainage facilities (20, 1).

Measures that achieve a reduction in pollutants generated by developments after construction will be intergrated into the Storm Water Pollution Prevention Plan (SWPPP) that must be prepared for projects in accordance with National Pollutant Discharge Elimination System (NPDES) permitting procedures. All projects are required to comply with NPDES requirements, including permits, prior to issuance of a grading permit. Therefore, the following mitigation measure shall be incorporated to ensure the impact is less than significant:

- Prior to grading permit issuance the applicant will obtain coverage under the statewide general NPDES permit for control of construction related stormwater. In addition, the applicant shall prepare a Stormwater Pollution Prevention Plan as required in the permit and shall identify site specific Best Management Practices that will be implemented.**

In Section 15206 of the CEQA Guidelines projects are scaled as to having regional significance. Those projects are:

- "(A) A proposed residential development of more than 500 dwelling units.
- (B) A proposed shopping center or business establishment employing more than 1,000 persons or encompassing more than 500,000 square feet of floor space.
- (C) A proposed commercial office building employing more than 1,000 persons or encompassing more than 250,000 square feet of floor space.
- (D) A proposed hotel/motel development of more than 500 rooms.
- (E) A proposed industrial, manufacturing, or processing plant, or industrial park planned to house more than 1,000 persons, occupying more than 40 acres of land, or encompassing more than 650,000 square feet of floor area."

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Consequently, CEQA defines projects of statewide regional significance as a residential development of more than 500 dwelling units. The proposed 295-lot single-family residential subdivision does not meet the criteria identified in the CEQA guidelines as regionally significant. Any new construction shall employ all water conservation measures outlined in the State Appliance Efficiency Standards as enforced by the Building Department as part of obtaining a building permit for the development.

Although the actual water demand for the development is currently unknown, new development creates additional demand for the water purveyor. The Victor Valley Water District is the water purveyor for this site and as such may have to purchase replacement water if the district exceeds the free production allowance as stipulated in the final Judgment to the Mojave Basin Area Adjudication. The district charges connection fees based on the amount of usage to help provide for replacement water if needed. In addition, the project may be required to install a reclaimed water pipelines to irrigate the parks and street adjacent landscaping, which will provide less impact on the water purveyor.

**V. AIR QUALITY.** *Would the proposal:*

- a) Violate any air quality standard or contribute to an existing or projected air quality violation? (13, 1)
- b) Expose sensitive receptors to pollutants? (4)
- c) Alter air movement, moisture, or temperature, or cause any changes in climate? (13, 1)
- d) Create objectionable odors? (11)

			X
			X
			X
			X

Comments: The project is consistent with the City's General Plan. The project site is located within the Mojave Desert Air Basin (MDAB). The basin includes the high desert regions of Los Angeles County, San Bernardino County and eastern Riverside County. Depending on location, air quality regulation in the MDAB is administered by one of four air quality control districts. The proposed project site is located within the jurisdictional area of the Mojave Desert Air Quality Management District (MDAQMD), a regional agency created within the Basin. The Mojave Desert Air Quality Management District classifies all uses identified within the Victorville General Plan as area sources. Programs have been established in the 1991 Air Quality Attainment Plan that addresses emissions caused area sources. Further, the proposed project does not meet any threshold that requires air quality analysis or mitigation under the Air Quality Attainment Plan. Therefore the impacts are considered by the Mojave Desert Air Quality Management District to be insignificant (13, 1). A residential project such as the proposed 295-lot single-family residential subdivision does not emit toxic air pollutants and does not cause changes in area climate. No mitigation necessary.

**VI. TRANSPORTATION/CIRCULATION.** *Would the proposal result in:*

- a) Increased vehicle trips or traffic congestion? (11, graphic)
- b) Hazards to safety from design features (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? (11, graphic)
- c) Inadequate emergency access or access to nearby uses? (4)

		X	
			X
			X

Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
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d) Insufficient parking capacity on-site or off-site? (11, graphic)			X
e) Hazards or barriers for pedestrians or bicyclists? (11, graphic)			X
f) Conflicts with adopted policies supporting alternative transportation (e.g., bus turnouts, bicycle racks)? (11, graphic)			X
g) Rail, waterborne or air traffic impacts? (11, graphic)			X

Comments: The City of Victorville General Plan Circulation Element is designed so the master-planned roadways operate at a Level of Service of "C" or better at build-out (14, 8). In evaluating Level of Service, existing land use designations were applied. Development of the project will result in increased generation of vehicular trips; which will impact master planned roadways in the short term. A Traffic Impact Analysis (TIA) was prepared for the proposed project (*Tentative Tract Map No. 17759*, Kunzman Associates, November 17, 2005). The TIA is currently being reviewed by City Staff, and mitigation measures will be required as part of the tentative map approval, so that impacts to transportation/circulation is less than significant. In addition, this short-term increase will be mitigated through the assessment of development impact fees, which provides funding for the construction of roadways to reduce the impacts of additional vehicular traffic. Section 18.60.090 of the Victorville Municipal Code requires the proposed single-family residences to contain two covered parking spaces per dwelling unit. The proposed 295-lot single-family residential subdivision would be required to have a minimum of 590 parking spaces. No mitigation necessary.

**VII. BIOLOGICAL RESOURCES.** *Would the proposal result in impacts to:*

a) Endangered, threatened or rare species or their habitats (including but not limited to plants, fish, insects, animals, and birds)? (15)	X		
b) Locally designated species (e.g., heritage trees)? (15)		X	
c) Locally designated natural communities (e.g., oak forest, coastal habitat, etc.)? (4)			X
d) Wetland habitat (e.g., marsh, riparian, and vernal pool)? (4)			X
e) Wildlife dispersal or migration corridors? (15)		X	

Comments: A biological survey was prepared on January 24, 2006, by RCA Associates, Inc., which found no presence of endangered, threatened or rare species. However, the typical plant food utilized by the Mojave Ground Squirrel (MGS) (*Spermophilus mohavensis*) was found on the site. Additionally, the site provides relatively good habitat. Consequently, the Department of Fish and Game (DFG) has indicated that the type of survey (visual) conducted for the MGS is not adequate to detect the presence or absence of said species. Although a live-trapping study will be conducted, special mitigation measures needs to be incorporated into the project to ensure the protection of the MGS because degradation and destruction of the species' habitat and isolation of individual populations appear to be the primary factors in the species' decline. The MGS is listed as a state-listed Threatened species and a special concern species by the USFWS. **Mitigation Measure:**

2. Prior to the issuance of a grading permit the applicant shall conduct a trapping survey for the Mohave Ground Squirrel (*Spermophilus mohavensis*) in accordance with the Department of

	Potentially Significant		
Potentially Significant Impact	Unless Mitigation Incorporated	Less than Significant Impact	No Impact

**Fish and Game protocol. A clearance letter from the Department of Fish and Game for the trapping study conducted for the Mohave Ground Squirrel (*Spermophilus mohavensis*) shall be filed with the Director of Planning or his designee prior to issuing the grading permit. If the developer does not desire to conduct trapping or if the Mohave Ground Squirrel is found on the site, the following mitigation measures shall apply**

- a. The applicant shall provide mitigation lands at a ratio of 1:1. These mitigation lands will be purchased in an area known to support populations of the species. The mitigation lands will be evaluated to ensure they provide habitat equal to or better than the habitat that will be lost as a result of development of the project site. In addition, DFG approval of the mitigation lands will be obtained before acquisition is completed, and an Incidental Take Permit will be applied for as part of the overall mitigation process.**
- b. Appropriate enhancement, endowment, and research fees will be provided by the project proponent as per CDFG requirements for the Mojave Ground Squirrel. These fees will be paid on a 1:1 basis prior to commencement of ground disturbing activities.**

The Western Burrowing Owl (*Athene cunicularia*), a migratory bird species, is protected by international treaty under the Migratory Bird Treaty Act of 1918 and it is identified as a species of special concern by the DFG. Sections 3503, 3503.5 and 3800 of the California Fish and Game Code prohibit the take, possession, or destruction of these birds and their nests or eggs. The DFG has indicated that the Department protocol requires that wintering, nesting and preconstruction surveys be conducted. Although no burrowing owls, dens or other signs were encountered on the site, the owls are known to occur within the area and could occupy the site in the future. Additional surveys should be conducted as outlined below. **Mitigation Measure:**

- 3. Pre-construction surveys for the Burrowing Owl on the site and in the surrounding area out to 500 feet should be conducted no more than 30-days prior to ground disturbing activities. If ground disturbing activities are delayed for more than 30 days, additional surveys will be required.**
- 4. If Burrowing Owls are observed on the site during future surveys, mitigations which will be required to reduce the impacts to less than significant will include the following:**
  - a. Occupied burrows should not be disturbed during the nesting season (February 1 through August 31) unless a qualified biologist approved by the Department verifies through non-invasive methods either: (1) the birds have not begun egg-laying and incubation; or (2) that juveniles from the occupied burrows are foraging independently and are capable of independent survival.**
  - b. To off-set the loss of foraging and burrow habitat on the project site, a minimum of 6.5 acres of burrowing owl habitat per pair or unpaired birds should be acquired and permanently protected.**
  - c. Existing unsuitable burrows should be enhanced or new burrows created at a ratio of 2:1 on the protected lands site.**
  - d. The project proponent should provide funding for long-term management and monitoring**

Potentially Significant Impact Unless Mitigation Incorporated Potentially Significant Impact Less than Significant Impact No Impact

**of the protected land. A monitoring plan for the protected land should be required which includes success criteria, remedial measures, and annual reports to the Department.**

The project site is located in an area listed as Category 3 habitat for the desert tortoise (*Gopherus agassizii*) by the United States Bureau of Land Management. This classification indicates a very low probability of tortoises occurring in the area and only a few tortoises occurring in the general area, if any at all. Additionally, the site is outside the tortoise biological waiver area of the City, however no desert tortoises were found during this survey. Therefore, no mitigation is necessary at this time. However, if the species is observed on the site during any future surveys or development activities, the following actions should be implemented: (1) If a desert tortoise moves onto the site during future construction activities, all activities should cease, and the DFG and the USFWS shall be contacted to discuss appropriate mitigations; and (2) If a tortoise moves onto the site during future construction activities, the desert tortoises should not be handled by any project personnel.

The sharp-shinned hawk (*Accipiter Striatus*) and the loggerhead shrike (*Lanius ludovicianus*) are both indicated as California special concern species. The species were not observed on the property site or within the immediate area, and no mitigations are recommended for these species at this time. However, if these species are detected during future surveys, the DFG should be contacted to discuss suitable mitigation measures.

Because the biological survey is valid for one year for any of the above-mentioned species, the following mitigation measure has been included: **Mitigation Measure:**

3. **Should grading commence after January 24, 2006, a new biological survey shall be filed with the City of Victorville to determine the presence or absence of endangered species on the site. Said survey shall be filed with the Director of Planning or his designee prior to issuance of a grading permit.**

Additionally, the City also enforces a Joshua tree (*Yucca Brevifolia*) preservation ordinance, which prohibits the removal of the trees without the consent of the City (19, 287).

**VIII. ENERGY AND MINERAL RESOURCES.** *Would the proposal:*

- a) Conflict with adopted energy conservation plans? (6, 36)
- b) Use nonrenewable resources in a wasteful and inefficient manner? (11, graphic)
- c) Result in the loss of availability of a known mineral resource that would be of future value to the region and the residents of the State? (3, 10)

			X
			X
			X

Comments: The proposed project will not significantly increase the use of substantial amounts of fuel or energy, nor create the need to develop new sources of energy since the site is in a developed area of the City. Further, utilization of energy conservation measures required under the State Appliance Efficiency Standards in Title 20, such as efficient mechanical systems designed in accordance with heating calculations and other code regulations will reduce the use of energy. The project site is not located within any mineral resource zone (MRZ) identified by the State Department of Conservation; therefore, development of the proposed residential uses will not result in the loss of availability of a known mineral resource that would be of future value to the region or State. No mitigation is required.

Potentially Significant Impact      Potentially Significant Unless Mitigation Incorporated      Less than Significant Impact      No Impact

**IX. HAZARDS.** *Would the proposal:*

- a) A risk of accidental explosion or release of hazardous substances (including, but not limited to, oil, pesticides, chemicals, or radiation)? (11)
- b) Possible interference with an emergency response plan or emergency evacuation plan? (8, Figure 5)
- c) The creation of any health hazard or potential health hazard? (11)
- d) Exposure of people to existing sources of potential health hazards? (4)
- e) Increased fire hazard in areas with flammable brush, grass, or trees? (11)

			X
			X
			X
			X
			X

Comments: The proposed project poses a low probability of subjecting the public to health hazards inasmuch as the project does not involve the use of hazardous substances, nor does it interfere with existing emergency/evacuation plans (8, Figure 5). Prior to the development of the site the ground will be graded which removes all flammable brush, grass, and/or trees. No mitigation necessary.

**X. NOISE.** *Would the proposal result in:*

- a) Increases in existing noise levels? (11)
- b) Exposure of people to severe noise levels? (11)

		X	
		X	

Comments: Since the site is vacant, the proposed development will increase local noise levels both during construction and following occupancy of the site. Residential uses do not create unacceptable noise levels or expose people to severe noise levels and the proposed residences will be constructed using normal noise reduction construction techniques. No mitigation necessary.

**XI. PUBLIC SERVICES.** *Would the proposal have an effect upon, or result in a need for new or altered government services in any of the following areas:*

- a) Fire protection? (11)
- b) Police protection? (11)
- c) Schools? (11)
- d) Maintenance of public facilities, including roads? (11)
- e) Other government services? (11)

		X	
		X	
		X	
		X	
		X	

Comments: The proposed development will result in an increase in public services. The Fire Department has previously stated that call times may be deficient to this area outside the core of Victorville. Fire prevention, fire protection, emergency medical service, and hazardous materials service in the City is provided by the Victorville Fire Department (VFD).

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The construction of the proposed residential structures will be required to adhere to all applicable standards established in the City's Municipal and/or Development Codes. New development within the City creates new demands for emergency services either by increasing the amount of services needed in a particular area of the City, or by increasing the types of services required for an area. New development will proportionally increase the need for the construction of new facilities to house any added staff and equipment.

Consequently, the public service agencies may need to increase budgets to commit to those increased services. With regard to capital facilities, development impact fees will be utilized by the public service agencies to ensure the appropriate levels of capital resources necessary to serve the development. Because the proposed project will be subject to development impact fees and/or other fees and assessment, potential emergency service impacts will be reduced to a less than significant level. No mitigation is necessary.

The occupation of the proposed residential uses will incrementally increase the student population at local schools. Assessment fees for residential development are required by the school service providers. Per California Government Code (§ 65995[h]), "The payment or satisfaction of a fee, charge, or other requirement levied or imposed... are hereby deemed to be full and complete mitigation of the impacts... on the provision of adequate school facilities." Upon payment of required fees, no impact related to the provision of school services will occur.

The proposed project may increase the City's population by up to 856 persons. This increase may cause an incremental increase in the demand for library, social, and other governmental services may occur. The addition of public roadways and infrastructure will also incrementally increase the number and extent of facilities maintained by the City. Because of the limited scale and extent of the project compared whole of the City, the incremental increased demand on governmental services and facilities will not be significant.

**XII. UTILITIES AND SERVICE SYSTEMS.** *Would the proposal result in a need for new systems or supplies, or substantial alterations to the following utilities:*

- a) Power or natural gas? (11)
- b) Communications systems? (11)
- c) Local or regional water treatment or distribution facilities? (11)
- d) Sewer or septic tanks? (11)
- e) Storm water drainage? (11)
- f) Solid waste disposal? (11)
- g) Local or regional water supplies? (11)

			X
			X
			X
			X
			X
			X
			X

Comments: Inasmuch as utilities are already provided near the area, only minor extensions to the proposed development would be required. Consequently, the need for altered utility systems would be insignificant, and no new systems will be necessary. Additionally, see the water discussion in the comment section under item IV. No mitigation necessary.

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**XIII. AESTHETICS.** *Would the proposal:*

- a) Affect a scenic vista or scenic highway? (11)
- b) Have a demonstrable negative aesthetic effect? (11)
- c) Create light or glare? (11)

			X
			X
		X	

Comments: The proposed project will not have any adverse impact to the aesthetics of the area as the development within the project area will be subject to compliance with the proposed Development Plan and Planned Unit Development, which is required to be a superior development above the R-1 development standards. Further, any light or glare produced shall be oriented so as not to create a nuisance.

**XIV. CULTURAL RESOURCES.** *Would the proposal:*

- a) Disturb paleontological resources? (4)
- b) Disturb archaeological resources? (4)
- c) Have the potential to cause a physical change that would affect unique ethnic cultural values? (4)
- d) Restrict existing religious or sacred uses within the potential impact area? (4)

	X		
	X		
			X
			X

Comments: The site is not known to be within an area with existing religious or sacred uses. However, because the City of Victorville is in a potential resource rich area as far as paleontological resources are concerned, monitoring of grading activities is a necessary activity associated with any development.

**Mitigation Measure:**

- 9. The applicant shall provide for an on-site paleontological/archaeological inspector to monitor all grading operations, or a letter from said licensed professional indicating that monitoring is not necessary during grading. Further, if disturbed resources are required to be collected and preserved, the applicant shall be required to participate financially up to the limits imposed by Public Resources Code Section 21083.2. The results of said monitoring shall be filed with the Director of Planning or his designee prior to the final approval of the development.

**XV. RECREATION.** *Would the proposal:*

- a) Increase the demand for neighborhood or regional parks or other recreational facilities? (11)
- b) Affect existing recreational opportunities? (11)

		X	
		X	

Comments: The proposed site will be used for a 295-lot single-family residential subdivision, which will create additional demand upon existing recreational facilities. The project includes trails and a park site for residents. In addition, the project will be subject to payment of development impact fees, which will reduce its impact to a level of non-significance (18, 314).

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*Potentially Significant Impact*     *Unless Mitigation Incorporated*     *Less than Significant Impact*     *No Impact*

**XVI. MANDATORY FINDINGS OF SIGNIFICANCE.**

- a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?
- b) Does the project have the potential to achieve short-term, to the disadvantage or long-term, environmental goals?
- c) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)
- d) Does the project have environmental effects that will cause substantial adverse affects on human beings, either directly or indirectly?

			X
			X
		X	
			X

Comments: c) With the increase in building activity recently experienced in the Victor Valley/High Desert area, it is reasonably foreseeable that a large portion of residentially zoned land will develop with single-family homes in the future. However, the City's General Plan anticipated such development and prescribed measures that have been implemented to provide adequate services within the City proper and its sphere of influence.

Regarding biological resources, the City is currently involved in a cumulative impact analysis through our active participation in the development of the West Mojave Habitat Conservation Plan. This plan will mitigate all future development of land within the City and the Victor Valley/High Desert in general through mitigation measures and/or fees that have been reviewed by the Department of Fish and Game. The plan is in the last phase of the approval process. Until such plan is in effect, the City imposes mitigation measures, which along with implementation of 2081 permits, results in the conservation of more suitable habitat outside the city limits of Victorville. In addition, recent biological surveys and trappings detected no Desert Tortoises or Mohave ground squirrels within the southern three-quarters of the City, where most of the development is occurring. Therefore, the cumulative impacts are considered less than significant.

**XVII. EARLIER ANALYSES.**

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, one or more effects have been adequately analyzed in an earlier EIR or negative declaration. Section 15063 (c)(3)(D). In this case a discussion identifies the following:

- a) **Earlier analyses used.** Earlier analyses are identified and stated where they are available for review.
- b) **Impacts adequately addressed.** Effects from the above checklist that were identified to be within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards are noted with a statement whether such effects were addressed by mitigation measures based on the earlier analysis.
- c) **Mitigation measures.** For effects that are "Less than Significant with Mitigation Incorporated", describe the mitigation measures which are incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project are described.

**Authority:** Public Resources Code Sections 21083 and 21087.

**Reference:** Public Resources Code Sections 21080(c), 21080.1, 21083, 21083.3, 21093, 21094, 21151; *Sundstrum v. County of Mendocino*, 202 CalApp 3d 296 (1988); *Leonoff v. Monterey Board of Supervisors*, 222 CalApp 3d 1337 (1990).

## REFERENCES

1. 1997 City of Victorville General Plan Land Use Element.
2. City of Victorville Official Zoning Map.
3. 1997 City of Victorville General Plan Resource Element.
4. Aerial photos of the City of Victorville, PhotoMapper 4.01, AirPhotoUSA, 2005.
5. United States Soil Conservation Service *Soil Survey of San Bernardino County, California*.
6. 1997 City of Victorville General Plan Housing Element.
7. California Department of Finance Demographic Research Unit Report E-5, January 1, 1999.
8. 1997 City of Victorville General Plan Safety Element.
9. Latest adopted version of the Uniform Building Code.
10. Flood Insurance Rate Map, Federal Emergency Management Agency.
11. PUD-06-001, DP-06-002 & TT-06-013 application filed January 26, 2006.
12. 1991 Uniform Fire Code
13. Personal communication with Christian Ihenacho, Supervising Air Quality Planner, Mojave Desert Air Quality Management District on August 30, 1993.
14. 1997 City of Victorville General Plan Circulation Element.
15. United States Bureau of Land Management California Desert Conservation Area, 1988
16. Chapter 13.33 of the Victorville Municipal Code.
17. 1997 City of Victorville General Plan Noise Element.
18. Victorville Municipal Code Buildings, and Construction Ordinance, Chapter 15.04.
19. Victorville Municipal Code Zoning Ordinance, Chapter 18.16.
20. Victorville Municipal Code, Chapter 6.30

IN THE CITY OF VENTURA, COUNTY OF SAN JUAN, STATE OF CALIFORNIA  
**TENTATIVE MAP - TRACT NO. 17759**

PARCEL 1  
 THE NORTH 1/4 OF THE WEST 1/4 OF THE WEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 14, TOWNSHIP 4 NORTH, RANGE 4 WEST, SAN JUAN MOUNTAIN RANGE AND MOUNTAINS IN THE CITY OF VENTURA, COUNTY OF SAN JUAN, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

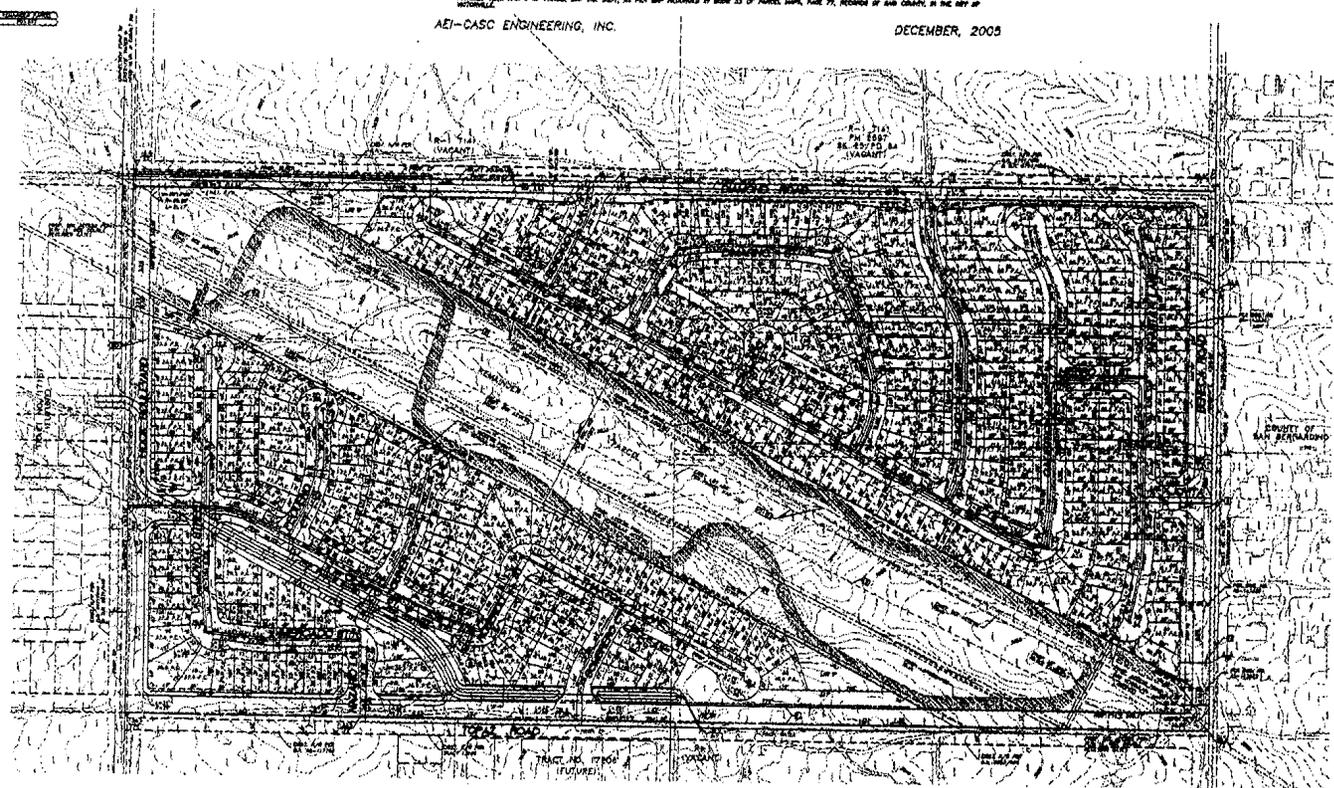
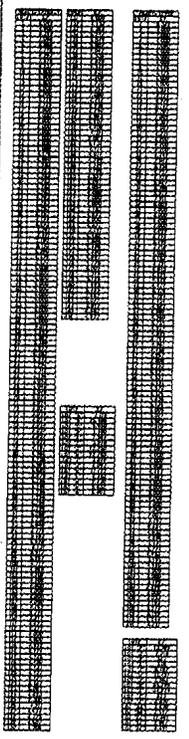
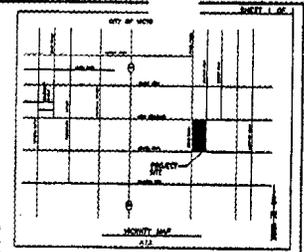
PARCEL 2  
 THE SOUTH 1/4 OF THE EAST 1/4 OF THE WEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 14, TOWNSHIP 4 NORTH, RANGE 4 WEST, SAN JUAN MOUNTAIN RANGE AND MOUNTAINS IN THE CITY OF VENTURA, COUNTY OF SAN JUAN, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

PARCEL 3  
 THE SOUTH 1/4 OF THE WEST 1/4 OF THE WEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 14, TOWNSHIP 4 NORTH, RANGE 4 WEST, SAN JUAN MOUNTAIN RANGE AND MOUNTAINS IN THE CITY OF VENTURA, COUNTY OF SAN JUAN, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

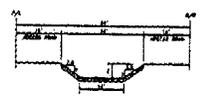
ALSO: PARCELS 4 & 5 OF PARCEL MAP NO. 3311, AS PER MAP RECORDED IN BOOK 23 OF PARCEL MAPS, PAGE 71, RECORDS OF SAN JUAN COUNTY, IN THE CITY OF VENTURA.

AEI-CASC ENGINEERING, INC.

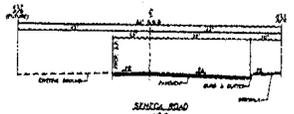
DECEMBER, 2005



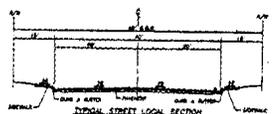
- LEGEND**
- PROPOSED STREET LINE
  - EXISTING STREET LINE
  - FLOOD LINE
  - POWER LINES
  - GAS LINES
  - WATER LINES
  - SEWER LINES
  - TELEPHONE LINES
  - CABLE LINES
  - RAILROADS
  - AIRWAYS
  - FLOOD PLAIN
  - UNDESIRABLE PLANT OF CHANGING



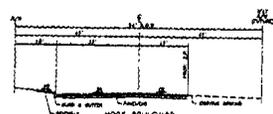
TYPICAL SECTION FOR PROPOSED CONCRETE DRAINAGE CHANNEL  
 N.T.S.



PROPOSED STREET  
 N.T.S.



TYPICAL STREET CURB SECTION  
 N.T.S.



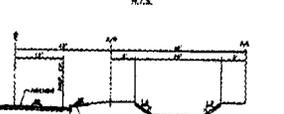
TYPICAL STREET CURB SECTION  
 N.T.S.



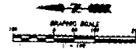
TYPICAL STREET CURB SECTION  
 N.T.S.



TYPICAL STREET CURB SECTION  
 N.T.S.



TYPICAL STREET CURB SECTION  
 N.T.S.



**UTILITY ELEVATIONS**

WATER MAIN: 10.00 FT. (AT 100 FT. INTERVALS)

SEWER MAIN: 10.00 FT. (AT 100 FT. INTERVALS)

GAS MAIN: 10.00 FT. (AT 100 FT. INTERVALS)

ELECTRIC MAIN: 10.00 FT. (AT 100 FT. INTERVALS)

- EXISTING EXEMPT NOTES**
1. ALL EXISTING UTILITIES SHOWN ON THIS MAP ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA.
  2. THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES DURING CONSTRUCTION.
  4. ALL EXISTING UTILITIES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL EXISTING UTILITIES TO ORIGINAL OR BETTER CONDITION AFTER CONSTRUCTION IS COMPLETE.
  6. ALL EXISTING UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18 INCHES OF GRANULAR FILL.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF VENTURA.
  8. ALL EXISTING UTILITIES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
  9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL EXISTING UTILITIES TO ORIGINAL OR BETTER CONDITION AFTER CONSTRUCTION IS COMPLETE.
  10. ALL EXISTING UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18 INCHES OF GRANULAR FILL.

- GENERAL NOTES**
1. THE PROPOSED DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF VENTURA DEVELOPMENT ORDINANCES.
  2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF VENTURA DEVELOPMENT ORDINANCES.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF VENTURA.
  4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF VENTURA DEVELOPMENT ORDINANCES.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL EXISTING UTILITIES TO ORIGINAL OR BETTER CONDITION AFTER CONSTRUCTION IS COMPLETE.
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  10. ALL EXISTING UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 18 INCHES OF GRANULAR FILL.

**LAND USE INFORMATION**

PROPOSED ZONING: R-1 (SINGLE-FAMILY RESIDENTIAL)

EXISTING ZONING: R-1 (SINGLE-FAMILY RESIDENTIAL)

THE PROPOSED DEVELOPMENT IS IN ACCORDANCE WITH THE CITY OF VENTURA DEVELOPMENT ORDINANCES.

**AEI-CASC ENGINEERING**  
 15450 HIGHWAY 101, SUITE 100, VENTURA, CA 93143  
 TEL: (805) 742-1000 FAX: (805) 742-9300

**REGISTERED PROFESSIONAL ENGINEER**  
 CIVIL ENGINEERING  
 STATE OF CALIFORNIA  
 LICENSE NO. 45678

**PROJECT INFORMATION**

PROJECT NO. 17759  
 TRACT NO. 17759  
 DATE: 12/2005





**Planned Unit Development PUD-06-001, Development Plan  
DP-06-002 & Tentative Tract TT-06-013**



**California Regional Water Quality Control Board  
Lahontan Region**



Alan C. Lloyd Ph.D.  
Agency Secretary

Victorville Office  
14440 Civic Drive, Suite 200, Victorville, California 92392  
(760) 241-6583 • Fax (760) 241-7308  
<http://www.waterboards.ca.gov/lahontan>

Arnold Schwarzenegger  
Governor

File: Environmental Doc Review  
San Bernardino County

Date: April 6, 2006

To: Mr. Scott Webb  
City of Victorville – Planning Department  
P.O. Box 5001  
Victorville, CA 92393-5001  
FAX (760) 245-8250



**COMMENTS ON THE SITE PLAN REVIEW TO CHANGE THE PLANNED UNIT DEVELOPMENT PUD-06-001, DEVELOPMENT PLAN DP-06-002 & TENTATIVE TRACT TT-06-013 (17759) LOCATED NORTH OF SENECA ROAD, SOUTH OF HOOK BOULEVARD, EAST OF TOPAZ ROAD, AND WEST OF DIAMOND ROAD, APN 3104-081-01, 14, 15, 16, 17, 3104-071-01, 02.**

Please refer to the items checked for staff comments on the above-referenced project:

[ X ] The site plan for this project does not specifically identify features for the post-construction period that will control stormwater on-site or prevent pollutants from non-point sources from entering and degrading surface or ground waters. The foremost method of reducing impacts to watersheds from urban development is “Low Impact Development” (LID), the goals of which are maintaining a landscape functionally equivalent to predevelopment hydrologic conditions and minimal generation of nonpoint source pollutants. LID results in less surface runoff and less pollution routed receiving waters. Principles of LID include:

- Maintaining natural drainage paths and landscape features to slow and filter runoff and maximize groundwater recharge,
- Reducing the impervious cover created by development and the associated transportation network, and
- Managing runoff as close to the source as possible.

We understand that LID development practices that would maintain aquatic values could also reduce local infrastructure requirements and could benefit energy conservation, air quality, open space, and habitat. Many planning tools exist to implement the above principles, and a number of recent reports and manuals provide specific guidance regarding LID.

We request you require these principles to be incorporated into the proposed project design. We request natural drainage patterns be maintained to the extent feasible.

[ X ] The proposal does not provide enough information to determine the type of wastewater disposal system that will be used (i.e. septic system, sewer, etc.).

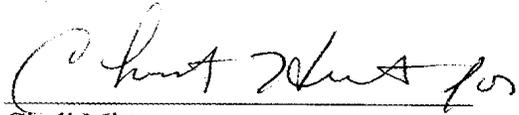
- Discharge of any material other than domestic wastewater to an onsite septic tank wastewater disposal system is prohibited unless a Report of Waste Discharge is filed with the Regional Board.
- The proposed project deals with a non-sewage discharge to land and may need to be regulated by the Lahontan Regional Water Quality Control Board. Therefore, the County must require the proponents to contact the Regional Board for filing of a complete report of waste discharge.
- The proposed project appears to exceed the Regional Board's 500 gallon per acre per day limitation on the discharge to septic tank disposal systems. Please address how this requirement will be met in the document and proposed project design.
- The proposal does not provide enough information to determine if the Regional Board's 500 gallon per acre per day limitation of the discharge to septic tank disposal systems is exceeded. Please address in the document how this requirement will be met.
- The proposed project is located in an area where septic tank disposal systems are prohibited unless an exemption is requested and granted by the Regional Board. If the project proponent intends to request an exemption, the environmental document must contain the information necessary to make the findings for an exemption (Please review the exemption criteria contained in the Water Quality Control Plan for the Lahontan Region (Basin Plan) accessible on the Regional Board's homepage ([www.swrcb.ca.gov/rwqcb6](http://www.swrcb.ca.gov/rwqcb6))).
- The project may require development of a Stormwater Pollution Prevention Plan and a NPDES General Construction Stormwater Permit. This permit is accessible on the State Board's Homepage ([www.swrcb.ca.gov](http://www.swrcb.ca.gov)). Best Management Practices must be used to mitigate project impacts. The environmental document must describe the mitigation measures or Best Management Practices.
- The project may require development of a Stormwater Pollution Prevention Plan and a NPDES General Industrial Stormwater Permit. This permit is accessible on the State Board's Homepage ([www.swrcb.ca.gov](http://www.swrcb.ca.gov)). Best Management Practices must be used to mitigate project impacts. The environmental document must describe the mitigation measures or Best Management Practices.
- The project appears to propose a discharge of waste to surface water. Therefore an NPDES permit for the project may be necessary. Describe potential impacts to surface water quality and beneficial uses of water. Also describe measures to be taken to reduce pollutant loading to surface waters to meet numerical and narrative water quality objectives contained in the Water Quality Control Plan for the Lahontan Region ([www.swrcb.ca.gov/rwqcb6](http://www.swrcb.ca.gov/rwqcb6)).
- The proposed project may result in discharges of waste that may need to be regulated by the Regional Board. Please review the general permits and the Water Quality Control Plan for the



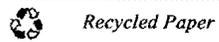
Lahontan Region (Basin Plan) accessible on the Regional Board's homepage ([www.swrcb.ca.gov/rwqcb6](http://www.swrcb.ca.gov/rwqcb6)).

- [ ] Please require written confirmation from the project proponent that they obtain Regional Board concurrence before approving this project.
- [ ] The project may require a Federal Clean Water Act Section 401 Water Quality Certification from the Regional Board. Application forms can be found at our web site ([www.swrcb.ca.gov/rwqcb6](http://www.swrcb.ca.gov/rwqcb6))
- [ ] The proposal does not provide specific information on impacts to surface Waters of the State or Waters of the US. These surface waters include, but are not limited to, drainages, streams, washes, ponds, pools or wetlands. Waters of the State or Waters of the US may be permanent or intermittent. The Environmental Document needs to quantify these impacts. Discuss purpose of project, need for surface water disturbance, and alternatives (avoidance, minimize disturbances and mitigation). Mitigation must be identified in environmental document including timing of construction. Mitigation must replace functions and values of wetlands lost (at a minimum, 1.5 times the area disturbed should be restored). For more information see the Lahontan Region Basin Plan [http://www.waterboards.ca.gov/lahontan/BPlan/BPlan\\_Index.htm](http://www.waterboards.ca.gov/lahontan/BPlan/BPlan_Index.htm).
- [ ] Regional Board staff has determined that this project will not have a significant effect on water quality as proposed.
- [ ] Regional Board staff will make additional comments after a more detailed review is complete.
- [ ] Project may result in spills that will adversely impact ground and surface waters. Include spill contingency measures in the environmental document.
- [ ] Other

Please note that obtaining a permit and conducting monitoring does not constitute adequate mitigation. Development and implementation of acceptable mitigation is required.

Sincerely   
 Print Name Cindi Mitton  
 Title Supervising Engineer  
 Phone No. (760) 241-7413  
 E-Mail [cmitton@waterboards.ca.gov](mailto:cmitton@waterboards.ca.gov)

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CASE NO

TI-06-013  
 PUD-06-001  
 DP-06-002

AGENCY CHECKLIST

Environmental Assessment

Needed

Tract/Parcel No.

3104-081-01, 14, 15, 16 & 17  
 3104-071-01 & 02

Class \_\_\_ Exemption

AGENCY LETTERS TO BE SENT TO:	Sent	Rec'd		Sent	Rec'd
Engineering Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Ad Hoc Committees</b>	<input type="checkbox"/>	<input type="checkbox"/>
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Eagle Ranch	<input type="checkbox"/>	<input type="checkbox"/>
Community Services Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Golden Mesa	<input type="checkbox"/>	<input type="checkbox"/>
Building Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Golden Triangle	<input type="checkbox"/>	<input type="checkbox"/>
Victorville Redevelopment Agency	<input type="checkbox"/>	<input type="checkbox"/>	Green Tree East	<input type="checkbox"/>	<input type="checkbox"/>
City Manager	<input type="checkbox"/>	<input type="checkbox"/>	Liberty Village	<input type="checkbox"/>	<input type="checkbox"/>
Police Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Old Town VV Property Owners	<input type="checkbox"/>	<input type="checkbox"/>
Finance Department (Sanitation)	<input type="checkbox"/>	<input type="checkbox"/>	Raintree	<input type="checkbox"/>	<input type="checkbox"/>
Public Works	<input checked="" type="checkbox"/>	<input type="checkbox"/>	South Central #4	<input type="checkbox"/>	<input type="checkbox"/>
Information Services	<input type="checkbox"/>	<input type="checkbox"/>	Tatum	<input type="checkbox"/>	<input type="checkbox"/>
Verizon California, Inc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
Southwest Gas Corporation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	City of Hesperia	<input type="checkbox"/>	<input type="checkbox"/>
Southern California Edison	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	City of Adelanto	<input type="checkbox"/>	<input type="checkbox"/>
Victor Valley Water District	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Town of Apple Valley	<input type="checkbox"/>	<input type="checkbox"/>
Baldy Mesa Water District	<input type="checkbox"/>	<input type="checkbox"/>	Mojave Regional Economic Development Council	<input type="checkbox"/>	<input type="checkbox"/>
Hesperia Water District	<input type="checkbox"/>	<input type="checkbox"/>	Victor Valley Board of Realtors	<input type="checkbox"/>	<input type="checkbox"/>
County Service Area 64	<input type="checkbox"/>	<input type="checkbox"/>	Building Industries Association	<input type="checkbox"/>	<input type="checkbox"/>
Mojave Water Agency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	High Desert Council of Engineering	<input type="checkbox"/>	<input type="checkbox"/>
Charter Communications	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Archaeological Information Center	<input type="checkbox"/>	<input type="checkbox"/>
			Local Agency Formation Commission (LAFCO)	<input type="checkbox"/>	<input type="checkbox"/>
Victor Elementary School District	<input type="checkbox"/>	<input type="checkbox"/>	Southern California Logistics Airport	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
VV Union High School District	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Victorville Chamber of Commerce	<input type="checkbox"/>	<input type="checkbox"/>
Adelanto Elementary School District	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
Snowline Joint Unified School District	<input type="checkbox"/>	<input type="checkbox"/>	<b>Indian Tribes</b>		
Hesperia Unified School District	<input type="checkbox"/>	<input type="checkbox"/>	Morongo Band of Mission Indians	<input type="checkbox"/>	<input type="checkbox"/>
Victor Valley College	<input type="checkbox"/>	<input type="checkbox"/>	San Fernando Band of Mission Indians	<input type="checkbox"/>	<input type="checkbox"/>
Victor Valley Wastewater Reclamation Authority	<input checked="" type="checkbox"/>	<input type="checkbox"/>	San Manuel Band of Mission Indians	<input type="checkbox"/>	<input type="checkbox"/>
Burrtec Waste Industries	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Serrano Band of Indians	<input type="checkbox"/>	<input type="checkbox"/>
U.S. Post Office	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
Caltrans	<input type="checkbox"/>	<input type="checkbox"/>	<b>Development Agreements</b>	<input type="checkbox"/>	<input type="checkbox"/>
Department of Fish and Game	<input type="checkbox"/>	<input type="checkbox"/>	Century-Crowell - Foxfire	<input type="checkbox"/>	<input type="checkbox"/>
Lahontan Water Quality Control Board	<input type="checkbox"/>	<input type="checkbox"/>	Inco Homes - Mesa Verde; Vista Verde	<input type="checkbox"/>	<input type="checkbox"/>
Flood Control District	<input type="checkbox"/>	<input type="checkbox"/>	Pacific Bay - Brentwood	<input type="checkbox"/>	<input type="checkbox"/>
Mojave Desert Air Quality Management District	<input type="checkbox"/>	<input type="checkbox"/>	Southdown - Southwestern Industrial Park	<input type="checkbox"/>	<input type="checkbox"/>
County Transportation	<input type="checkbox"/>	<input type="checkbox"/>			
County Health Department	<input type="checkbox"/>	<input type="checkbox"/>			
County Planning Department	<input type="checkbox"/>	<input type="checkbox"/>			
County Solid Waste Management Department	<input type="checkbox"/>	<input type="checkbox"/>			

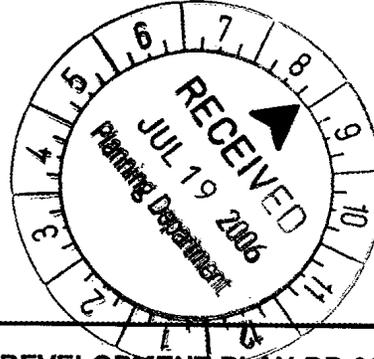
# MEMORANDUM

DATE July 18, 2006

FROM John A. McGlade,  
City Engineer

*BB for JAMc*

TO Bill Webb  
Director of Planning



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SUBJECT **PLANNED UNIT DEVELOPMENT PUD-06-001, DEVELOPMENT PLAN DP-06-002,  
Dan Tate**

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The Engineering Department is always concerned with sight distance at intersections with "Entrance Treatments".

All landscaping in the sight-triangle of all road intersections shall not have trees or bushes, only low ground cover and low plants, and Line of Sight analysis will be required at the intersections with the perimeter roads. Particular attention is to be paid to signs.

The Engineering Department has addressed these concerns as conditions on the Tentative Tract.

JAMc:MRM:mrm

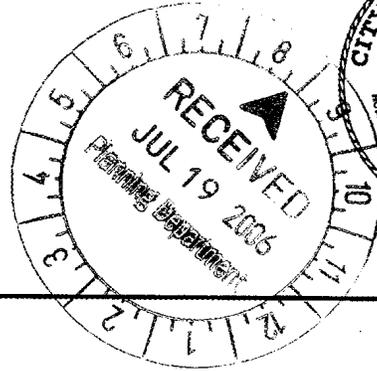
# MEMORANDUM

DATE July 18, 2006

FROM John A. McGlade,  
City Engineer

*BB for JAM*

TO Bill Webb  
Director of Development



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SUBJECT **TENTATIVE TRACT TT-06-013, Dan Tate**

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The Engineering Department recommends that the following conditions be attached to the subject Tentative Tract:

1. The applicant shall provide a final map in accordance with the provisions of the Subdivision Map Act, as amended January 1, 2006, and all applicable provisions of Title 17 of Victorville Municipal Code.
2. That the applicant shall comply with all applicable provisions of Title 17 of the Victorville Municipal Code.
3. The subdivision map shall show any easement of record traversing the subject property.
4. The tentative map approval for this subdivision shall expire three (3) years from the date of said approval.
5. The subdivider shall be required to provide public utility, sewer, and/or drainage easements as required by the City Engineer.
6. That the applicant shall dedicate all of the streets shown on the approved tentative map.
7. That the applicant shall install physically handicapped ramps at all intersections.
8. The applicant shall install all improvements required by Section 17.64.010, 17.64.020, 17.64.030, and 17.64.040 of the Victorville Municipal Code along the frontage of subject property in accordance with the requirements of the City Engineer and the Standard Specifications for Public Works Improvements of the City of Victorville.
9. The applicant shall install sewer, water, gas, underground electricity and telephone. Further the applicant shall install underground communications cable.
10. The applicant shall install streetlights on decorative marbelite standards and relocate existing streetlights as required by the City Engineer.
11. The applicant shall install fire hydrants and/or on site protection as required by the

12. The applicant's Engineer shall submit a grading plan for the City Engineer's approval and signature. Said grading plan shall address all drainage problems, including nuisance water, within the subject parcels and provide drainage structures of various types, including walls, to adequately handle the on site drainage, that to be accepted from upstream properties and that to be accepted by downstream properties. Hydrologic and hydraulic calculations shall be submitted to support the subdivider's Engineer's design.
13. That the applicant shall not build within area of 100 year flood traversing the property, said building setback lines shall allow for an adequate width to handle a 100 year storm; or, if the applicant builds within the 100 year storm width of the channel, he shall improve the channel by means of grading and drainage structures, including walls, as necessary to completely protect any improvements lying within the 100 year channel width. Such items shall be shown on the grading plan, accompanied by hydrologic calculations.
14. That the subdivider or any successor in interest of any of the parcels to be created by this subdivision shall be responsible for any costs incurred in the relocation of existing utility facilities where such facilities conflict with street improvements installed within offers of dedication required by these conditions of approval when said improvements are caused to be installed.
15. That the applicant shall pay all existing sewer or any other City of Victorville assessments against the subject property.
16. That the applicant shall provide improved secondary access as required by the Fire Chief.
17. The subdivider shall be required to enter into a subdivision agreement as approved by the City of Victorville.
18. The minimum width for any peripheral street shall be the half width plus 12' of pavement plus a standard parkway on the development side.
19. The subdivider shall conduct a grading operation on the subject property in a manner that will not cause sand or dust to blow onto the property of others. An adequate dust palliative shall be used at all times. Upon completion of grading the subdivider shall maintain the site in a manner that will not cause sand or dust to blow onto the property of others until such a time as the subdivision is finalized and the lots are occupied.
20. The applicant shall provide temporary fencing as required by staff to prevent windblown construction debris from leaving the construction site.
21. The applicant shall, prior to the final approval and recordation of the subdivision, make application and gain approval of a development agreement as it relates to fees, including but not limited to sewer and storm drain.
22. That the applicant shall annex this subdivision into the existing Street Lighting District.

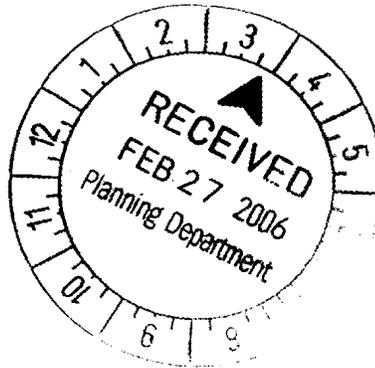
23. The intersection of Escoba Street and Dimarino Street shall be at a right angle, plus or minus ten degrees (80°-100°) or replaced with a 200 ft minimum radius curve.
24. The "knuckle" on Dimarino Street shall be at a right angle, plus or minus ten degrees (80°-100°) or replaced with a 200 ft minimum radius curve.
25. Bendigo Lane, at the intersection with Diamond Road, should intersect at a right angle, plus or minus ten degrees (80°-100°) and have a tangent section that extends 30 feet past the prolongation of the curb line along Diamond Road before the curve begins.
26. The intersection of Nazario Lane with Topaz Road shall align with the road to the west, in Tract16447.
27. The intersection of Alito Lane and Galistro Lane shall be at a right angle, plus or minus ten degrees (80°-100°) or replaced with a 200 ft minimum radius curve.
28. The property returns at the intersections of Diamond Road with Hook Blvd. and Seneca Road shall have 30 foot radii.
29. The property returns at the intersections of Topaz Road with Hook Blvd. and Seneca Road shall have 35 foot radii.
30. Developer is to pay a traffic mitigation fee of Three Hundred Forty-Three Dollars (\$343.00) per lot prior to final building inspection for mitigation of impacts identified by the Traffic Impact Analysis (TIA) that are not developer installed and are not identified on the Development Impact Fee (DIF) Project List.
31. The electric utilities along Seneca Road must be relocated underground, in accordance with Section 15.28.180 of the Victorville Municipal Code regarding the placing of utility lines underground.
32. All landscaping in the sight-triangle of all road intersections shall not have trees or bushes, only low ground cover and low plants.
33. Line of Sight analysis will be required at the intersections with the perimeter roads. Particular attention is to be paid to signs.
34. Provide for a Drainage Facilities Assessment District (DFAD) for the perpetual maintenance of the drainage channel through this subdivision.

# MEMORANDUM

DATE: February 22, 2006

FROM: John Becker  
Fire Chief

TO: Bill Webb  
Director of Planning



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SUBJECT: PLANNING COMMISSION MEETING – MARCH 8, 2006

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**SP-06-028, CUP-75-95 (M)**

**Conditions:**

- An approved on site fire protection water system, in accordance with Fire Department Standard No. 5, is required. The system is required to be in place and serviceable prior to building construction.
- Approved water supply system, complete with fire hydrants complying with Fire Department Standard No. 5, shall be in place prior to any combustible construction.
- Interior/exterior Fire Department access roadways/fire lanes shall be required per Fire Department Standard. Access roadways shall not be blocked by gates, fences, etc.
- Shall comply with all Fire Department requirements based on occupancy classification.

**PM-06-006**

No adverse impact.

**PUD-06-001, DP-06-002, TT-06-013 (TRACT 17759)** ←

**Conditions:**

The Fire Department recommends that the following conditions be attached to the subject Tentative Tract:

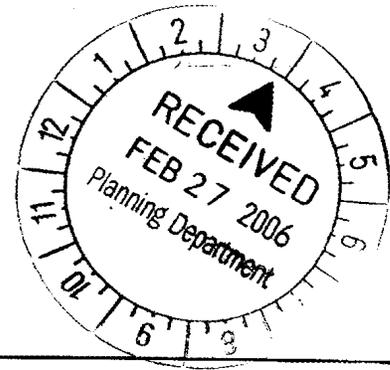
- Approved water supply system, complete with fire hydrants complying with Fire Department Standard No. 5, shall be in place prior to any combustible construction.
- Paved access from 2 points shall be required for completion and occupancy. Plans shall be submitted and approved prior to construction commencement.

February 22, 2006

John Becker, Fire Chief  
Bill Webb, Director of Planning

PLANNING COMMISSION MEETING – MARCH 8, 2006

Page 2



- Streets greater than 150' in length shall require cul-de-sacs or approved turnarounds per Fire Department standard. Any street exceeding 500' will require paved secondary access.
- Tracts with more than 100 homes shall have a water system feed from two different distribution lines.
- Whenever construction phasing creates dead-end streets greater than 150 feet in length, temporary turnarounds complying with Fire Department Standard No. 1 shall be provided.
- Hook shall be paved east to existing.
- Seneca shall be paved east to existing.
- Topaz shall be paved from Hook to Seneca.
- Diamond shall be paved from Hook to Seneca.

**Comments:**

Tentative Tract Map must have notes indicating Primary and Secondary Emergency Access routes to existing pavement for plan check review.

Development of this project will significantly increase the call volume for Engine 312.

If approved, the City's overall ISO rating could be impacted, resulting in higher insurance rates.

**TT-06-014 (TRACT 17356)**

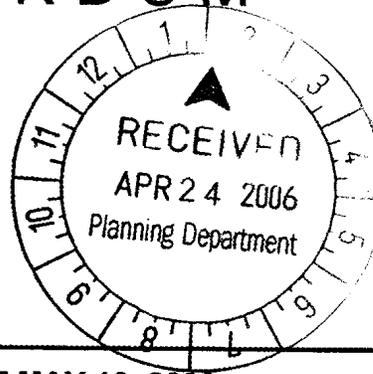
**Conditions:**

The Fire Department recommends that the following conditions be attached to the subject Tentative Tract:

- Approved water supply system, complete with fire hydrants complying with Fire Department Standard No. 5, shall be in place prior to any combustible construction.
- Paved access from 2 points shall be required for completion and occupancy. Plans shall be submitted and approved prior to construction commencement.

# MEMORANDUM

DATE April 19, 2006  
FROM Jon E. Gargan  
Director of Community Services  
TO Bill Webb  
Director of Planning



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SUBJECT **PLANNING COMMISSION MEETING OF MAY 10, 2006**

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Case No.: TT-06-013 Revised Tract 17759

Development abuts three arterials – Hook, Seneca and Topaz  
Basin and utility corridor trail shown  
Numerous lettered lots proposed to be “mini-parks”

Applicant: Brentwood Investors, L.P. and Taggart Investments, Inc.

1. Arterials/Reverse Frontage/Drainage Maintenance funding for landscape and drainage areas needs to be determined. If City maintenance is desired, the fees would depend upon planned amenities and level of service.

If annexation is pursued, all Landscape and Drainage Maintenance Assessment Districts must meet the requirements as described in the Community Services Department’s LMAD and DFAD Specification and Detail Booklet.

2. Utility Corridor The level of maintenance and funding for the utility corridor trail needs to be determined. A maintenance fee may range from approximately 5 cents per square foot for debris removal only or more than 50 cents per square foot for maintenance of installed amenities. Use of concrete is recommended for trail construction as decomposed granite or an equivalent would have a negative long-term maintenance impact.
3. Lettered Lot Mini-Parks A minimum of ten acres or greater is the recommended park size. The numerous proposed small lettered lots do not meet that criteria and may involve a significant level of maintenance depending upon planned amenities.

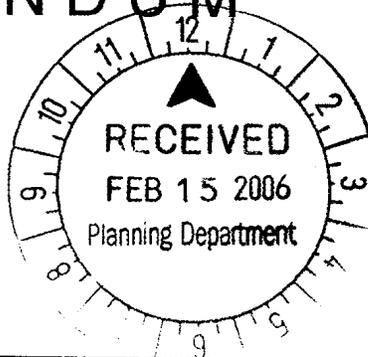
Should you have any questions regarding the above responses, please contact me or Becky Wasserman at extension 5275.

Submitted by: Ray Salberg  
Golf Course and Grounds Manager

JEG:RS:bw

# MEMORANDUM

DATE February 15, 2006  
FROM Jon E. Gargan   
Director of Community Services  
TO Bill Webb  
Director of Planning and Development



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SUBJECT **PLANNING COMMISSION MEETING OF MARCH 8, 2006**

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Case No.: PUD-06-001 Tract 17759  
DP-06-002  
TT-06-013  
Development abuts three arterials – Hook, Seneca and Topaz.  
Basin and utility corridor trail shown.

Applicant: Brentwood Investors, L.P. and Taggart Investments, Inc.

The Community Services Department has no comments at this time regarding the above-referenced project.

All Landscape and Drainage Maintenance Assessment Districts must meet the requirements as described in the Community Services Department's LMAD and DFAD Specification and Details Booklet.

Maintenance funding for the utility corridor trail needs to be determined. Use of concrete is recommended for trail construction as decomposed granite or an equivalent would have a negative long-term maintenance impact.

This project does not provide land for park development. It is recommended that a minimum of ten acres or greater be included for a future park site.

Should you have any questions regarding the above responses, please contact me or Becky Wasserman at extension 5275.

Submitted by: Ray Salberg   
Golf Course and Grounds Manager

JEG:RAS:bw

# MEMORANDUM

DATE February 2, 2006  
FROM **MARK A. TAYLOR**, Captain  
Police Department  
TO **BILL WEBB**, Director of Planning  
Planning Department



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SUBJECT **REQUEST FOR COMMENTS – PLANNING COMMISSION MTG. 03/08/06**

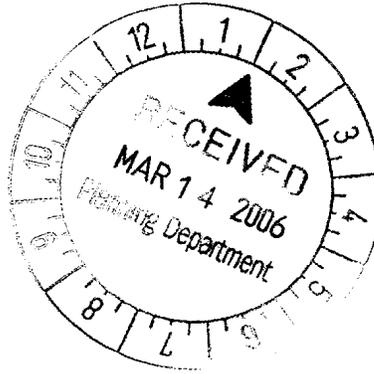
PUD-06-001 DP-06-002 TI-06-013

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The police department's yearly statistical report indicates that the City of Victorville averages 1,500 calls for service per year for each 500 homes. On average, one deputy is able to adequately handle 1,500 calls for service per year. Therefore, adding 500 homes would require the addition of one deputy to the staffing level. The projects listed by Brentwood Investors, Luna LLC and Spring Valley Lake LLC will add a combined total of 725 households to the city. This will require the addition of one deputy to our staffing level.

If you have any further questions regarding my position with the above planning commission issues, please contact me at the earliest convenience.

MAT/KL/pw



March 9 2006

City of Victorville  
14343 Civic Drive  
Victorville, CA 92392-2399

Attention: Planning Department  
Case Planner: Scott Webb

*TI-06-013*

Subject: Tract Map No. 17759  
APN3104-081-01, -14, -15, -16, -17; 3104-071-01 & -02

Our review of the subject subdivision map reveals that the proposed development may interfere with easement rights, and/or facilities held by Southern California Edison within the subdivision boundaries. Until such time as arrangements have been made with the developer to eliminate this interference, the development of the subdivision may unreasonably interfere with the complete and free exercise of Edison's rights.

**Five copies of the grading, drainage, landscape and street improvement plans are required to be submitted by the developer to determine the extent of the interference. The Edison facilities and the easements should be plotted on the above reference maps. Included with the above referenced plans, the developer must state the proposed method to eliminate any interference. Plans should be forwarded to my attention at the following address:**

**Southern California Edison Company  
14799 Chestnut Street  
Westminster, CA 92683**

Attention: Steven D. Lowry

If you have any questions, or need additional information in connection with the subject subdivision, please contact me at (714) 934-0808.

A handwritten signature in black ink, appearing to read "Steven D. Lowry".

Steven D. Lowry  
Title and Real Estate Services  
Corporate Real Estate Department



February 28, 2006

Mr. Bill Webb  
City of Victorville  
P O Box 5001  
Victorville, CA 92393-5001



Re:

Case No.:	PUD-06-001	APN:	3104-081-01,14,15,16,17
	PUD-06-001		3104-071-01,02
	DP-06-002		3104-081-01,14,15,16,17
	DP-06-002		3104-071-01,02
	TT-06-013 (17759)		3104-081-01,14,15,16,17
	TT-06-013 (17759)		3104-071-01,02

Dear Mr. Webb:

Victor Valley Water District has the following comments after reviewing the material related to the reference project(s):

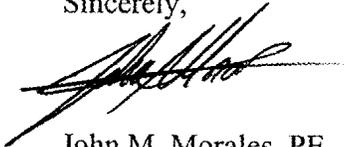
1. The water plans for the tract shall be approved before issuing construction permits.
2. All construction costs are the responsibility of the owner of the tract.
3. A feasibility study may be required at the owner's expense.
4. The owner shall contact the Victor Valley Water District to request an application for a will serve letter after plans have been approved.
5. Multiple permits may be required if the developer breaks the tract into phases.
6. The following fees shall be paid prior to providing water service:
  - a. Feasibility Study fee (if required)
  - b. Plan checking fee
  - c. Permit fee
  - d. Connection/Meter Installation fee

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Mr. Bill Webb  
Re: APN #'s 3104-081,01,14,15,16,17; 3104-071,01,02  
February 28, 2006  
Page 2 of 2

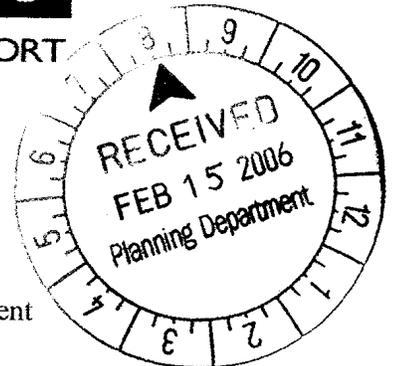
If you have any questions or comments, please call me at (760) 843-3141 or email me at [jmorales@vwater.org](mailto:jmorales@vwater.org).

Sincerely,

A handwritten signature in black ink, appearing to read "John M. Morales", written over a horizontal line.

John M. Morales, PE  
Associate Engineer I

JM:srg



**MEMORANDUM**

DATE: February 14, 2006  
TO: Bill Webb, Director, City of Victorville Planning Department  
FROM: Peter R. Soderquist  
SUBJECT: **PUD-06-001;DP-06-002;TT-06-013& TT (17759);TT-06-014;PM-06-008**

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This memo concerns the above referenced items which are scheduled to be heard at the March 8, 2006 Planning Commission meeting.

Regarding **PUD-06-001, DP-06-002, TT-06-013&TT(17759), TT-06-014, and PM-06-008**, the Southern California Logistics Airport requests these projects be conditioned to provide full disclosure as to the location of the airport. More specifically, purchasers of this land should be provided information relative to the direction and distance of the Southern California Logistics Airport. This disclosure should transition from owner to owner. Additionally, developers of this property should be encouraged to incorporate features into the design and construction of buildings where people live, work, or are otherwise received, to ensure that the interior noise of the structure is reduced to 45 decibels.

Peter Soderquist,  
Director

SOUTHERN CALIFORNIA LOGISTICS AIRPORT AUTHORITY  
18374 PHANTOM, VICTORVILLE, CA 92394  
TEL 760.246-6115 FAX 760.246.3108  
[www.logisticsairport.com](http://www.logisticsairport.com)

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## EXECUTIVE SUMMARY

Specific Plan Amendment SPA-88-002 (A-16)

**PROJECT DESCRIPTION:** A proposed sixteenth amendment to Specific Plan 2-88 (Mesa Verde) to: A) revise the circulation element; and B) to revise the land use overlay designation in Planning Area 22 from Multi-Family residential (High Density) and Single-Family Residential (Medium Density) to Single-Family Residential (Medium Density) on property located at the northwest corner of Creosote Drive and Cantina Drive.

<b>APPLICANT:</b>	Overland Opportunity Fund, LLC
<b>PLANNING COMMISSION PUBLIC HEARING DATES:</b>	July 26, 2006
<b>NUMBER OF PEOPLE SPEAKING IN FAVOR:</b>	1
<b>NUMBER OF PEOPLE SPEAKING OPPOSED:</b>	0
<b>NUMBER OF WRITTEN COMMENTS IN FAVOR:</b>	2
<b>NUMBER OF WRITTEN COMMENTS OPPOSED:</b>	0
<b>STAFF RECOMMENDATION:</b>	Approval
<b>PLANNING COMMISSION ACTION:</b>	Recommend approval
<b>PLANNING COMMISSION VOTE:</b>	5 ayes

### PERTINENT INFORMATION

**This proposal will amend the Mesa Verde Specific Plan (Eagle Ranch) to replace a multi-family designation with a single-family designation and also revise the circulation element along Highway 395.**

/pi

Public Hearing  
#5A,B  
8-15-06

# MEMORANDUM



DATE: August 15, 2006  
FROM: Bill Webb  
Director of Development  
TO: Honorable Mayor and City Council

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SUBJECT: PUBLIC HEARING - SPECIFIC PLAN AMENDMENT SPA-88-002 (A-16)  
– OVERLAND OPPORTUNITY FUND, LLC - ORDINANCE NO. 2171

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At the regular meeting held July 26, 2006, the Planning Commission conducted Public Hearings to hear arguments for or against a sixteenth amendment to Specific Plan 2-88 (Mesa Verde) to: A) revise the circulation element; and B) to revise the land use overlay designation in Planning Area 22 from Multi-Family Residential (High Density) and Single-Family Residential (Medium Density) to Single-Family Residential (Medium Density) located at the northwest corner of Creosote Drive and Cantina Drive. The excerpts from the minutes of that meeting are as follows:

"SPECIFIC PLAN AMENDMENT SPA-88-002 (A-16) AND TENTATIVE TRACT  
TT-06-032 OVERLAND OPPORTUNITY FUND, LLC

Mr. Borchert outlined the staff report.

Chairman McEachron opened the public hearing at 7:13 p.m.

Keith Gustofson, 12241 Durango Drive, addressed the Chair and questioned whether the homes would be low or moderate income homes or similar to existing homes.

A representative of the applicant addressed Mr. Gustofson and stated the homes would be similar to existing homes.

There being no further testimony, Chairman McEachron closed the public hearing at 7:14 p.m.

A motion was made by Commissioner Metzler and seconded by Commissioner Kurth to approve the Negative Declaration for SPA-88-002 (A-16) and TT-06-032 with all mitigation measures and Resolutions P-06-207 and P-06-208, with conditions of Staff. The motion carried by unanimous vote of the Commission. The Resolutions were entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VICTORVILLE RECOMMENDING TO THE CITY COUNCIL THE ADOPTION OF SPECIFIC PLAN AMENDMENT SPA-88-002, A SIXTEENTH AMENDMENT TO SPECIFIC PLAN 2-88 (MESA VERDE) TO A) REVISE THE CIRCULATION ELEMENT; AND B) TO REVISE THE LAND USE OVERLAY DESIGNATION IN PLANNING AREA 22 FROM MULTI-FAMILY RESIDENTIAL (HIGH DENSITY) AND SINGLE-FAMILY RESIDENTIAL (MEDIUM DENSITY) TO SINGLE-FAMILY RESIDENTIAL (MEDIUM DENSITY)

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VICTORVILLE GRANTING TENTATIVE TRACT TT-06-032 TO ALLOW FOR THE DEVELOPMENT OF A 108-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION"**

Attached for Council's information is a copy of the Planning Staff Report together with other pertinent data. This matter is presented to the City Council for consideration at the close of the Public Hearing.

BW:pi

Attachments

ORDINANCE NO. 2171

AN ORDINANCE OF THE CITY OF VICTORVILLE GRANTING A SIXTEENTH AMENDMENT TO SPECIFIC PLAN 2-88 (MESA VERDE) TO: A) REVISE THE CIRCULATION ELEMENT; AND B) TO REVISE THE LAND USE OVERLAY DESIGNATION IN PLANNING AREA 22 FROM MULTI-FAMILY RESIDENTIAL (HIGH DENSITY) AND SINGLE-FAMILY RESIDENTIAL (MEDIUM DENSITY) TO SINGLE-FAMILY RESIDENTIAL (MEDIUM DENSITY) – OVERLAND OPPORTUNITY FUND, LLC

Overland Opportunity Fund, LLC has initiated a request for a sixteenth amendment to Specific Plan 2-88 (Mesa Verde) to: A) revise the circulation element; and B) to revise the land use overlay designation in Planning Area 22 from multi-Family Residential (High Density) and Single-Family Residential (Medium Density) to Single-Family Residential (Medium Density), on property in the City of Victorville, County of San Bernardino, State of California, particularly described as follows:

Lot 22 of Tract Map 13990 per map recorded in Book 228, pages 76 through 84, inclusive, records in the City of Victorville, San Bernardino County, State of California; and

Pursuant to Title 7, Division I, Chapter 3 of the Government Code of the State of California, a public hearing was conducted on the 26<sup>th</sup> day of July, 2006, to hear arguments for and against the Specific Plan Amendment, and after hearing all testimony offered, the Planning Commission adopted Resolution No. P-06-207, which recommended to the City Council the adoption of the Specific Plan Amendment.

WHEREAS, a Negative Declaration for the proposed Specific Plan Amendment has been presented to the Planning Commission, and each member having reviewed and considered the information therein, and the Planning Commission having determined that the proposed Specific Plan Amendment will not have an effect on the environment and therefore recommends adoption by the City Council.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY ORDAIN AS FOLLOWS:

SECTION 1. A sixteenth amendment to Specific Plan 2-88 (Mesa Verde) to: A) revise the circulation element; and B) to revise the land use overlay designation in Planning Area 22 from multi-Family Residential (High Density) and Single-Family Residential (Medium Density) to Single-Family Residential (Medium Density) on property generally located at the northwest corner of Creosote Drive and Cantina Drive, be adopted.

CITY OF VICTORVILLE PLANNING DEPARTMENT  
14343 Civic Drive, Victorville, California 92392  
(760) 955-5135 FAX (760) 245-8250

MITIGATED NEGATIVE DECLARATION  
Preparation Date: May 25, 2006

Name or Title of Project: Proposed Specific Plan Amendment SPA-88-002 (A-16) and Tentative Tract TT-06-032 (17146).

Location: Southwest corner of Cantina Drive and Olivine Road.

Entity or Person Undertaking Project: Overland Opportunity Fund, LLC.

Description of Project:

SPA-88-002(A-16) and TT-06-030 -- to allow for the development of a 108-lot single-family residential subdivision on 24.18 acres.

Statement of Findings: The Planning Commission has reviewed the Initial Study for this proposed project and has found that there are no adverse environmental impacts to either the man-made or physical environmental setting if the following mitigation measures are implemented in conformance with the Mitigation Monitoring Policy, and does hereby direct staff to file a Notice of Determination, pursuant to the California Environmental Quality Act (CEQA).

A copy of the Initial Study and other applicable documents used to support the proposed Negative Declaration is available for review at the City of Victorville Planning Department.

Mitigation Measures:

**NPDES**

1. Prior to issuance of a grading permit the applicant shall obtain coverage under the statewide general National Pollutant Discharge Elimination System (NPDES) permit for control of construction and post-construction related storm water. In addition, the applicant shall prepare a Storm Water Pollution Prevention Plan (SWPPP) as required in the NPDES permit and identify site-specific best management practices that will be used.

**Mohave Ground Squirrel:**

2. Prior to issuance of a ground disturbance permit the applicant shall conduct a trapping survey for the Mohave ground squirrel in accordance with California Department of Fish and Game protocol. If the trapping survey provides negative results, the applicant shall submit the survey to the Department for concurrence that the applicant may grade within the next year. If the trapping survey provides a positive finding or if the developer decides not to conduct trapping, the following mitigation measures shall apply:
  - a. The applicant shall provide mitigation lands at a ratio of 1:1. These lands will be purchased in an area known to support populations of the species. The mitigation lands will be evaluated to ensure they provide habitat equal to or better than the habitat that will be lost as a result of development of the project site. In addition, CDFG approval of the mitigation lands will be obtained before acquisition is completed, and an Incidental Take Permit will be applied for as part of the overall mitigation process.
  - b. Appropriate enhancement and endowment fees will be provided by the project proponent as per CDFG requirements. These fees will be paid on a 1:1 basis prior to commencement of ground disturbing activities.

**Burrowing Owl:**

3. Pre-construction surveys on the site and in the surrounding area out to 500 feet should be conducted no more than 30 days prior to ground disturbing activities. If ground-disturbing activities are delayed for more than 30 days, additional surveys will be required.
4. If owls are observed on the site during future surveys, mitigations which will be required to reduce impacts to less than significant will include the following:
  - a. Occupied burrows should not be disturbed during the nesting season (February 1 through August 31) unless a qualified biologist approved by the Department verifies through non-invasive methods either: (1) the birds have not begun egg-laying and incubation; or (2) that juveniles from the occupied burrows are foraging independently and are capable of independent survival;
  - b. To offset the loss of foraging and burrow habitat on the project site, a minimum of 6.5 acres of burrowing owl habitat per pair or unpaired birds should be acquired and permanently protected;
  - c. Existing unsuitable burrows should be enhanced or new burrows created at a ratio of 2:1 on the protected lands site; and
  - d. The project proponent should provide funding for long-term management and monitoring of the protected land. A monitoring plan for the protected land should be required which includes success criteria, remedial measures, and annual reports to the Department.

**Other**

5. The applicant shall provide for an on-site paleontological/archaeological inspector to monitor all grading operations, or a letter from said licensed professional indicating that monitoring is not necessary during grading. Further, if disturbed resources are required to be collected and preserved, the applicant shall be required to participate financially up to the limits imposed by Public Resources Code Section 21083.2. The results of said monitoring shall be filed with the Director of Planning or his designee prior to the final approval of the development.

**Public Review Period:** May 30, 2006, thru June 29, 2006.

**Public Hearing Date:** July 26, 2006.

Adopted by the Planning Commission on July 26, 2006.

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RYAN McEACHRON, CHAIRMAN  
VICTORVILLE PLANNING COMMISSION

Adopted by the City Council on August 15, 2006.

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MIKE ROTHSCHILD, MAYOR  
CITY OF VICTORVILLE

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BILL WEBB  
DIRECTOR OF DEVELOPMENT



# PLANNING COMMISSION STAFF REPORT

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**DATE:** July 26, 2006 **AGENDA NO. 8**

**CASE:** SPA-88-002(A-16) and TT-06-032

**SUBJECT:** **A. Specific Plan Amendment** to A) revise the circulation element; and B) to revise the land use overlay designation in Planning Area 22 from Multi-Family Residential (High Density) and Single-Family Residential (Medium Density) to Single-Family Residential (Medium Density)

**B. Tentative Tract** to allow for a 108-lot single-family residential subdivision

**APPLICANT:** Overland Opportunity Fund, LLC

**LOCATION:** Northwest corner of Creosote Drive and Cantina Drive

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## **I. STAFF RECOMMENDATION:**

That the Planning Commission take the following actions:

1. **Specific Plan Amendment** – Adopt Resolution No. P-06-207, recommending approval of Case No. SPA-88-002(A-16), and
2. **Tentative Tract** – Adopt Resolution No. P-06-208, approving Case No. TT-06-032, and
3. **Environmental Assessment** – Adopt the attached Mitigated Negative Declaration.

## **II. SUMMARY:**

The Specific Plan Amendment would allow for a 108-lot single-family residential subdivision by amending the circulation element and by removing the multi-family (high density) overlay from Planning Area 22. The proposed tentative tract map complies with the applicable development standards of Titles 17 and 18 of the Victorville Municipal Code and the Mesa Verde Specific Plan except lot 100 which is discussed under item **2. Tentative Tract TT-06-032**, below.

## **III. STAFF ANALYSIS:**

### **1. Specific Plan Amendment:**

The following changes are proposed:

**Exhibit 1.** Because of Caltrans requirements and the spacing of traffic signals along Highway 395, the circulation element of the Specific Plan is proposed to be changed as follows:

1. Removes the connection of Eagle Ranch Parkway from Cantina Drive to Highway 395, and
2. Removes the connection of Creosote Road at Highway 395, and
3. Connects Olivine Road to Highway 395 with an Arterial Roadway link.

**Exhibit 2.** Removes the Multi-Family (High Density) overlay from the south 10 acres of Planning Area 22 and replaces it with Single Family (Medium Density) Residential. This change would make the entire Planning Area (22) Medium Density overlay.

The medium density residential designation does allow attached duplexes on minimum 10,000 square foot lots. However, companion case TT-06-032 contains lots less than 10,000 square feet thereby limiting the development to detached single-family homes.

**Exhibits 3 thru 5.** Exhibits 3 and 5 change the text on pages 4-4 and 4-22, respectively, to show in Tables 2 and 3 that 129 units would be permitted for the residential overlay of this industrial designation; 108 units are proposed. And, exhibit 4, page 4-6, makes the appropriate change to the text for the section titled *Industrial Land Use*.

**2. Tentative Tract TT-06-032.** A review of the application and tentative tract map indicates the following:

- The minimum lot size shown is 5,000sf in compliance with the Medium Residential overlay of the Mesa Verde Specific Plan. Medium Density allows 4-6 dwelling units per acre, a density of 4.47 is proposed.
- None of the lots are reverse corner lots.
- The lots meet the minimum area, width and depth standards of the Mesa Verde Specific Plan except lot 100. Lot 100 does not meet the depth requirement of the Specific Plan (90 feet) when measured at the lot median because of the required cul-de-sac bulb. However, this configuration would allow the property owner to locate the residence at the east end of the lot thereby providing additional buffering space from Highway 395.
- **Exhibit 6.** Although lots 13, 14, 73, 74, 81, 82, 91 and 92 meet the required standards, their configuration is not ideal given the proximity of Highway 395. Staff recommends that the cul-de-sacs be shortened to allow the lots to be re-positioned so that the rear of the cul-de-sac lots are adjacent to the highway rather than the side lot lines in order to provide additional buffering, condition #21 and Exhibit 6.
- A berm with 6-foot high split-face wall with pilasters and a 50-foot landscape easement is provided along Highway 395 for noise buffering. In addition, all homes within 50 feet of the wall are limited to 1-story (condition #22).

**3. Environmental Assessment.** A Mitigated Negative Declaration has been prepared for this project in accordance with Section 15070 of the California Environmental Quality Act.

**IV. SITE CHARACTERISTICS:**

	<b>Existing Land Use</b>	<b>General Plan</b>	<b>Zoning</b>	<b>Specific Plan</b>
Site	Vacant	Specific Plan	S-P-88-002	Mesa Verde Specific Plan
North	Vacant	Specific Plan	S-P-88-002	Mesa Verde Specific Plan
South	Residences/ Vacant	Low Density Residential/ High Density Residential	R-3T <sup>1</sup> / R-1T <sup>1</sup>	NA
East	Residences	Heavy Industrial	S-P-88-002	Mesa Verde Specific Plan
West	Vacant	Commercial	C-2T <sup>2</sup>	NA

The following "T" standards were applied to the zoning:

- <sup>1</sup> 1. All development shall require noise attenuation below 45 decibels within any and all habitable structures.
  2. Any development shall require the recordation of a noise and avigation easement.
  3. A complete field study of archaeological resources shall be conducted and implementation of recommendations of said field study shall take place prior to development of the subject property.
  4. The applicant shall provide for an on-site paleontological inspector to monitor all grading operations.
- <sup>2</sup> 1. Structures of the proposed use shall not exceed the height regulation of FAR Part 77.
  2. The proposed zone change, if approved, is consistent with the General Plan and therefore will remain consistent with the ALUC Plan.
  3. The proposed use shall not result in a threshold gathering of 100 or more persons within any flight approach or departure corridor.
  4. The proposed use or its structures shall not reflect glare that would endanger aircraft operations.
  5. The proposed use shall not emit electronic interference that would endanger aircraft operations.
  6. The proposed use shall not produce smoke so as to endanger aircraft operations.
  7. The proposed uses shall promote the overall noise standards adopted pursuant to Public Utilities Code Section 21669 and prevent the creation of new noise and safety problems.
  8. The proposed uses shall provide for the protection of public health, safety and welfare by ensuring the orderly expansion of the airport and the adoption of land use measures or development standards that minimize the public's exposure to excessive noise and safety hazards within the area around the airport to the extent that such areas are not already devoted to incompatible uses.

**NUMBER OF RADIUS LETTERS MAILED: 62**

JD

**SPA-88-002(A-16).** THE STAFF RECOMMENDATION MAY BE ACCEPTED OR REJECTED BY THE PLANNING COMMISSION AND CITY COUNCIL AFTER THEIR OWN ANALYSIS AND CONSIDERATION OF PUBLIC TESTIMONY PRESENTED AT THE HEARING. THE PLANNING COMMISSION ACTION IS A RECOMMENDATION TO THE CITY COUNCIL ONLY.

**TT-06-032.** STAFF RECOMMENDATION MAY BE ACCEPTED OR REJECTED BY THE PLANNING COMMISSION AFTER ITS OWN ANALYSIS AND CONSIDERATION OF PUBLIC TESTIMONY PRESENTED AT THE HEARING. THE PLANNING COMMISSION DECISION CAN BE APPEALED TO THE CITY COUNCIL WITHIN 10 DAYS OF THE PLANNING COMMISSION ACTION.

CONDITIONS OF APPROVAL  
SPA-88-002(A-16) and TT-06-032  
July 26, 2006

PLANNING CONDITIONS:

**SPA-88-002(A-16)**

1. The proposed development shall comply with all applicable development standards of Titles 17 and 18 of the Victorville Municipal Code, and the Mesa Verde Specific Plan.
2. The proposed development shall be in substantial conformity with the plans submitted as part of this Specific Plan Amendment unless modification is required to comply with the applicable development standards of Title 18, the Mesa Verde Specific Plan and/or conditions of approval.
3. The applicant shall file a Notice of Determination and pay the necessary filing fee to the County of San Bernardino pursuant to Public Resources Code Section 21089(b). This project is not effective until such time as this condition has been satisfied. Any delay in the applicant's payment of the required fee shall not toll the lapse of approval date nor appeal period of this project.
4. The applicant shall indemnify, protect, and hold harmless the City from any lawsuit due to the applicant's failure to pay the fee imposed by Fish and Game Code Section 711.4.

**TT-06-032**

**NPDES**

1. Prior to issuance of a grading permit the applicant shall obtain coverage under the statewide general National Pollutant Discharge Elimination System (NPDES) permit for control of construction and post-construction related storm water. In addition, the applicant shall prepare a Storm Water Pollution Prevention Plan (SWPPP) as required in the NPDES permit and identify site-specific best management practices that will be used.

**Mohave Ground Squirrel:**

2. Prior to issuance of a ground disturbance permit the applicant shall conduct a trapping survey for the Mohave ground squirrel in accordance with California Department of Fish and Game protocol. If the trapping survey provides negative results, the applicant shall submit the survey to the Department for concurrence that the applicant may grade within the next year. If the trapping survey provides a positive finding or if the developer decides not to conduct trapping, the following mitigation measures shall apply:
  - a. The applicant shall provide mitigation lands at a ratio of 1:1. These lands will be purchased in an area known to support populations of the species. The mitigation lands will be evaluated to ensure they provide habitat equal to or better than the habitat that will be lost as a result of development of the project site. In addition, CDFG approval of the mitigation lands will be obtained before acquisition is completed, and an Incidental Take Permit will be applied for as part of the overall mitigation process.
  - b. Appropriate enhancement and endowment fees will be provided by the project proponent as per CDFG requirements. These fees will be paid on a 1:1 basis prior to commencement of ground disturbing activities.

**Burrowing Owl:**

3. Pre-construction surveys on the site and in the surrounding area out to 500 feet should be conducted no more than 30 days prior to ground disturbing activities. If ground-disturbing activities are delayed for more than 30 days, additional surveys will be required.

4. If owls are observed on the site during future surveys, mitigations which will be required to reduce impacts to less than significant will include the following:
  - a. Occupied burrows should not be disturbed during the nesting season (February 1 through August 31) unless a qualified biologist approved by the Department verifies through non-invasive methods either: (1) the birds have not begun egg-laying and incubation; or (2) that juveniles from the occupied burrows are foraging independently and are capable of independent survival;
  - b. To offset the loss of foraging and burrow habitat on the project site, a minimum of 6.5 acres of burrowing owl habitat per pair or unpaired birds should be acquired and permanently protected;
  - c. Existing unsuitable burrows should be enhanced or new burrows created at a ratio of 2:1 on the protected lands site; and
  - d. The project proponent should provide funding for long-term management and monitoring of the protected land. A monitoring plan for the protected land should be required which includes success criteria, remedial measures, and annual reports to the Department.

**Other**

5. The applicant shall provide for an on-site paleontological/archaeological inspector to monitor all grading operations, or a letter from said licensed professional indicating that monitoring is not necessary during grading. Further, if disturbed resources are required to be collected and preserved, the applicant shall be required to participate financially up to the limits imposed by Public Resources Code Section 21083.2. The results of said monitoring shall be filed with the Director of Planning or his designee prior to the final approval of the development.
6. The applicant/developer shall be responsible for obtaining all necessary permits from any affected regulatory agencies.
7. The proposed development shall comply with all applicable development standards of Titles 17 and 18 of the City of Victorville Municipal Code and the Mesa Verde Specific Plan, as well as the Subdivision Map Act of the State of California.
8. The final map shall be in substantial conformance with the approved tentative map.
9. The applicant shall provide the Director of Development or his designee with a lot closure list for all lots within the subdivision at the time of submission of maps for final approval.
10. The final map shall be subject to review and approval by the Director of Development or his designee prior to recordation.
11. The establishment of any landscape easement within the project area shall be subject to Director of Development review and approval prior to recordation of any final map.
12. The City of Victorville's name shall not be used in any Conditions, Covenants, and Restrictions (CC&Rs) associated with this development to which it is not a party.
13. The applicant shall file a Notice of Determination and pay the necessary filing fee to the County of San Bernardino pursuant to Public Resources Code Section 21089(b). This project is not effective until such time as this condition has been satisfied. The applicant shall submit evidence

to the City that this condition has been satisfied. Any delay in the applicant's payment of the required fee shall not toll the lapse of approval date nor appeal period of this project.

14. The applicant shall indemnify, protect, and hold harmless the City from any lawsuit due to the applicant's failure to pay the fee imposed by Fish and Game Code Section 711.4.
15. The subdivider shall defend and hold harmless the City of Victorville, its agents, officers and employees from any claim, action or proceeding against the City, its agents, officers and employees to attack, set aside, void or annul, this approval of the City pursuant to Government Code Section 66474.9. The City of Victorville shall promptly notify the subdivider of any claim, action or proceeding and shall cooperate fully in the defense.
16. All lots shall have a pad equal to the area of the minimum required lot width and depth which is exclusive of slopes greater than 10 percent, open drainage and unusable easements. All required yard areas shall also be free from these obstructions.
17. All areas within LMAD lots and the public rights-of-way of Olivine Road, Cantina Drive and Highway 395 not improved with pavement, curbs, gutters, or sidewalks shall be landscaped. The developer shall provide a means to insure their permanent maintenance as approved by the Director of Parks, Recreation and Community Services or his designee.
18. A six-foot high masonry wall shall be provided along Olivine Road, Cantina Drive and Highway 395 where the subject property abuts said right-of-way or LMAD lot. The actual location of said wall shall be subject to Staff review and approval.
19. Landscaping/irrigation plans are required in compliance with the City's Water Conservation Ordinance No. 2114.
20. In accordance with Section 13.60.195 of the Victorville Municipal Code, all new residential tract development shall provide for the installation of reclaimed water pipelines, to the extent required by the responsible water purveyor. Such pipelines shall be connected to the water purveyor's reclaimed water system. The foregoing requirements are not applicable to individual residential lots.
21. The cul-de-sacs shall be shortened to allow the cul-de-sac lots to be re-positioned so that the rear of the lots rather than the sides are adjacent to Highway 395, to provide additional buffering.
22. The applicant shall provide a berm with 6-foot high split-face wall with pilasters and a 50-foot landscape easement along Highway 395 for noise buffering. In addition, all homes within 50 feet of the wall shall be limited to 1-story.

RESOLUTION NO. P-06-207

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VICTORVILLE RECOMMENDING TO THE CITY COUNCIL THE ADOPTION OF SPECIFIC PLAN AMENDMENT SPA-88-002, A SIXTEENTH AMENDMENT TO SPECIFIC PLAN 2-88 (MESA VERDE) TO A) REVISE THE CIRCULATION ELEMENT; AND B) TO REVISE THE LAND USE OVERLAY DESIGNATION IN PLANNING AREA 22 FROM MULTI-FAMILY RESIDENTIAL (HIGH DENSITY) AND SINGLE-FAMILY RESIDENTIAL (MEDIUM DENSITY) TO SINGLE-FAMILY RESIDENTIAL (MEDIUM DENSITY)

WHEREAS, Overland has initiated an amendment to Specific Plan 88-022 on property in the City of Victorville, County of San Bernardino, State of California, particularly described as follows:

Lot 22 of Tract Map 13990 per map recorded in Book 228, pages 76 through 84, inclusive, records in the City of Victorville, San Bernardino County, State of California; and

WHEREAS, a public hearing was held on the 26<sup>th</sup> day of July, 2006, pursuant to Title 7, Division I, Chapter 3 of the Government Code of the State of California, to hear arguments for and against the issue; and

WHEREAS, the Planning Commission finds that the existing Specific Plan 2-88 needs modification to A) Revise the Circulation Element and B) To revise the Land Use overlay designation in Planning Area 22 from Multi-Family Residential (High Density) and Single-Family Residential (Medium Density) to Single-Family Residential (Medium Density); and

WHEREAS, the Planning Commission finds that said modifications will provide for a more orderly and superior development plan; NOW,

THEREFORE, BE IT RESOLVED by the Planning Commission, pursuant to Chapter 18.47 of the Victorville Municipal Code, that it recommends to the City Council that a sixteenth amendment to Specific Plan 88-002, known as the Mesa Verde Specific Plan, be approved.

RESOLUTION NO. P-06-208

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VICTORVILLE GRANTING TENTATIVE TRACT TT-06-032 TO ALLOW FOR THE DEVELOPMENT OF A 108-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION

WHEREAS, an application has been received from Overland Opportunity Fund, LLC, regarding property in the City of Victorville, County of San Bernardino, State of California, particularly described as follows:

Lot 22 of Tract Map 13990 per map recorded in Book 228, pages 76 through 84, inclusive, records in the City of Victorville, San Bernardino County, State of California; and

WHEREAS, a public hearing was held on the 26<sup>th</sup> day of July, 2006, pursuant to Title 7, Division 2, Chapter 3, of the Government Code of the State of California, to hear arguments for and against the issue; and

WHEREAS, a Mitigated Negative Declaration for the proposed tentative tract has been presented to the Planning Commission, and after review and consideration of the environmental information the Planning Commission found that the proposed tentative tract will not have a significant effect on the environment with the proposed mitigation measures and therefore recommended to the City Council adoption of the Mitigated Negative Declaration; and

WHEREAS, the Planning Commission finds that there is no substantial evidence that the project will have a significant effect on the environment; and

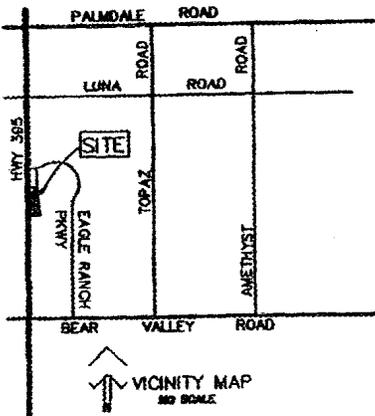
WHEREAS, the Planning Commission finds that the Negative Declaration reflects the lead agency's independent judgment and analysis; and

WHEREAS, the Planning Commission finds that all materials that constitute the record of proceedings upon which its decision is based, shall be located with the City of Victorville Clerk, located at 14343 Civic Drive, Victorville, CA.

WHEREAS, the Planning Commission finds that the proposed project will have no adverse effect upon abutting properties;

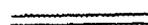
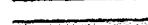
NOW, THEREFORE, BE IT RESOLVED by the Planning Commission, pursuant to Section 17.20.030 of the Victorville Municipal Code, that Tentative Tract TT-06-032 to allow for the development of a 108-lot single-family residential subdivision be granted the applicant subject to the following conditions of approval:

# EXHIBIT 1



VICINITY MAP

## LEGEND

-  60' R/W LOCAL
-  64' R/W COLLECTOR STREET
-  84' R/W ARTERIAL
-  100' R/W RESIDENTIAL ARTERIAL
-  124' R/W SUPER ARTERIAL

## OWNER/DEVELOPER

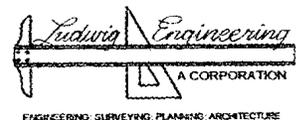
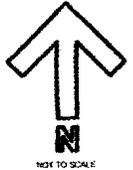
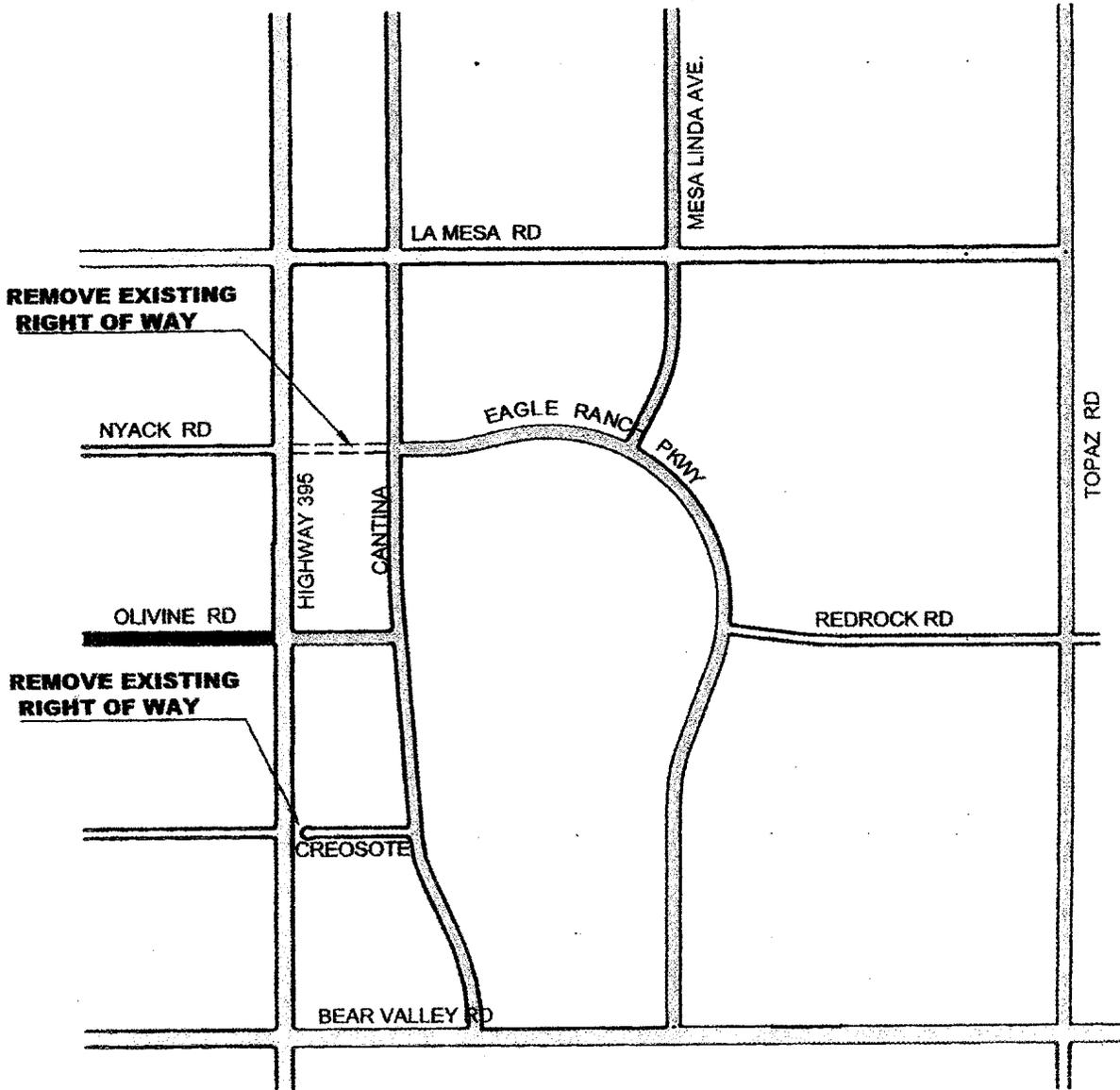
OVERLAND OPPORTUNITIES LLC  
212 SOUTH PALM AVENUE, SUITE 200  
ALHAMBRA, CALIFORNIA 91801  
626/282-8198 FAX: 626-282-6588

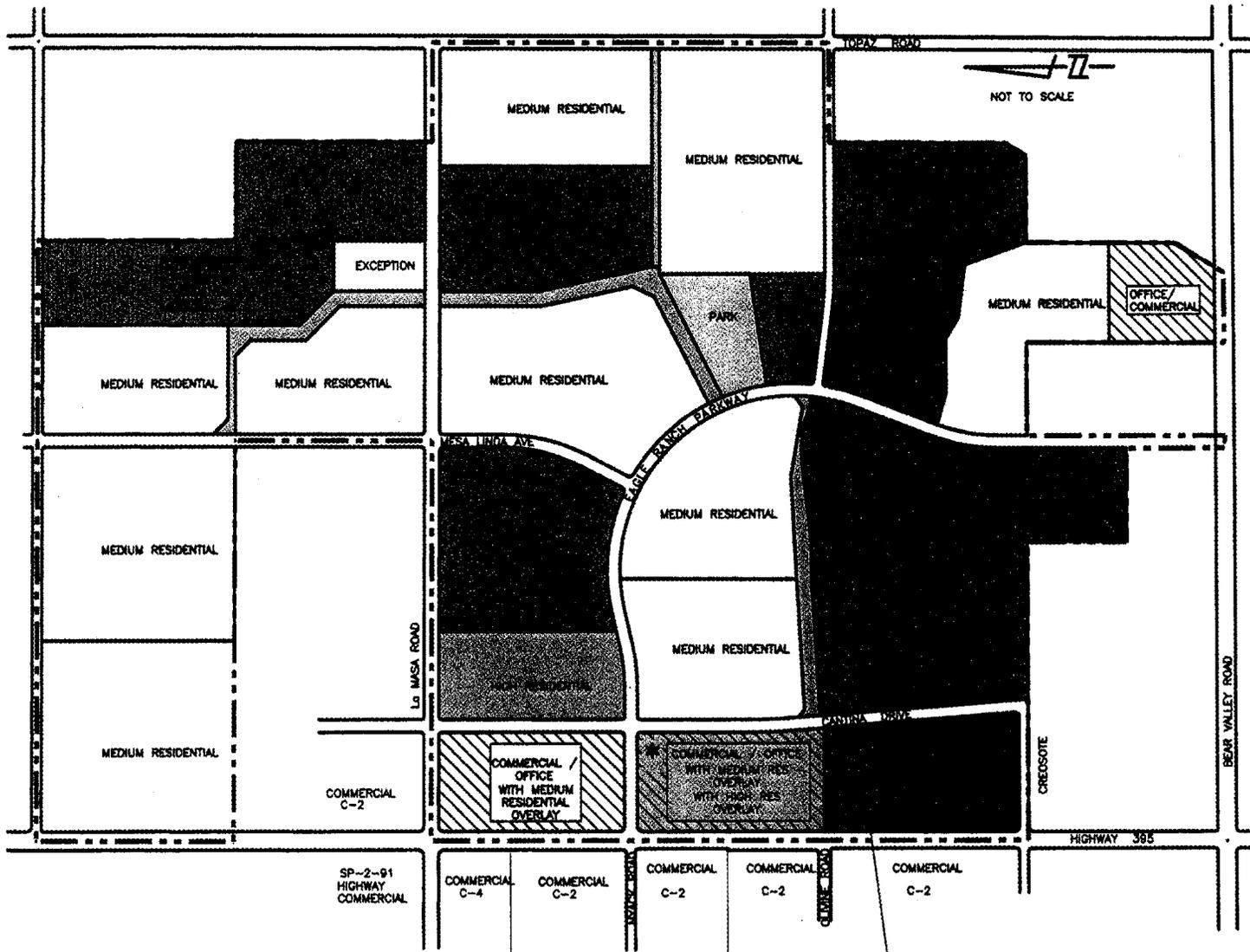
## ENGINEER

LUDWIG ENGINEERING  
109 E. THIRD STREET  
SAN BERNARDINO, CA 92410  
909/884-8217 FAX: 909/889-0153

## ASSESSOR'S PARCEL NO.

APN 3096-631-02





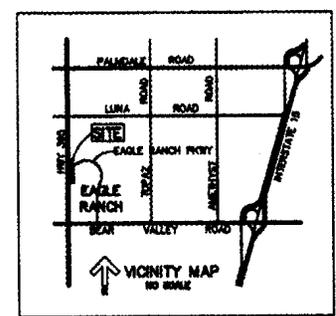
- ### Land Use Plan
- Village Road / Paseo  
Village Open Space / Paseo  
Planning Area Line  
Program
  - Estate Residential  
1-2 DU / AC
  - Low Residential  
2-5 DU / AC
  - Medium Residential  
4-6 DU / AC
  - High Residential  
20 DU / AC
  - Commercial / Office
  - Industrial
  - High School
  - Elementary School Site
  - Park
  - Commercial / Office  
High or Med Res Overlay
  - Industrial  
High or Med Res Overlay
  - Potential Fire Station Site
  - Potential Church Site  
Overlay District

**SPECIFIC PLAN AMENDMENT**

EXISTING;  
INDUSTRIAL WITH MEDIUM RESIDENTIAL OVERLAY ON  
NORTH 11.5 ACRES AND HIGH RESIDENTIAL OVERLAY  
ON SOUTH 10 ACRES

PROPOSED;  
INDUSTRIAL WITH MEDIUM RESIDENTIAL OVERLAY

**EXHIBIT 2**



132

Specific Development Plan

**Market**

The Victor Valley is emerging as one of the most dynamic housing markets in Southern California. Because of the success of well planned communities located in a growing market area, Mesa Verde will be developed as a master planned community. The most clear cut market in the Victor Valley region is to develop a residential community to house locally employed persons and commuters to other areas in San Bernardino County.

It was established that the development program provide a full range of commercial, residential, and recreational facilities as well as support uses which will distinguish is as a planned community from the residential subdivisions now being developed in the Victor Valley. In addition, there is a potential for developing a planned community that integrated both primary and secondary (retirement) housing.

The development program for Mesa Verde is summarized in the following table:

Table 2  
Development Program Summary

<u>Land Use</u>	<u>Density</u>	<u>Acres</u>	<u>Total</u> <sup>3</sup>
<b>Residential Development:</b>			
Low	2-5 DU/AC	212.6	960 DU's
Medium	4-6 DU/AC	274.8	1463 DU's
High	20 DU/AC	16.4	328 DU's
Subtotal			503.8
<b>Non-Residential Development:</b>			
Elementary School Site		8.2 AC	
Commercial/Office <sup>1/2</sup>		48.5	504
Industrial <sup>1/2</sup>		21.5	269 <del>129</del>
Open Space/Park		23.7	
Arterials		46.9	
<b>SUB TOTAL</b>		<b>148.8 AC</b>	
<b>TOTAL</b>		<b>652.6 AC</b>	<b>2962 DU's</b>

\*DU's = Dwelling Units

<sup>1</sup> Includes Planning Area 21 & 22 (South 10 AC) as a High Residential Overlay (20 DU/AC)

<sup>2</sup> Includes Planning Areas 20 and 22 (North 11.5 AC) as a Medium Residential Overlay (4-6 DU/AC)

<sup>3</sup> Unit column is based on acres. Total sum of units shall be no more than the number of units (2962) approved for the Specific Plan. (SP-2-88, Ordinance No. 1209).

A detailed development program by individual parcel is located in Appendix C.

**Market Flexibility**

Given what is viewed as a moderately long build-out period, the land use plan is designated with sufficient flexibility to permit adjustments to meet future market conditions while still achieving the objectives and design concepts for Mesa Verde.

The Mesa Verde development plan allows for logical redistribution of residential densities (densities transfer) over the entire site, with a priority given to an adjacent planning area. This will enable creative and imaginative design solutions within a flexible framework. The City of

## Specific Development Plan

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range from 6,500 s.f. to 15,000 s.f. Proposed densities range from 2 to 5 dwelling units per acre.

**Medium Residential:** A single detached dwelling or attached duplex unit on a single lot. Neighborhood tracts can be laid out in more formal arrangements along local streets and cul-de-sacs. The residential units may be arranged to give either direct access to the opens space/paseo system or access through a common path system accessible at cul-de-sacs. Density can range from 4-6 dwelling units per acre.

**High Residential:** Attached Multi-family units adjacent to the commercial uses help from the core of the village and offer access to community collectors and open space. Apartments and/or other multi-family units will constitute the attached unit mix. Densities will range to 20 dwelling units per acre. Ownership may be on a lot or on a space basis with common open space maintains by a homeowners' association.

### Commercial/Office Land use

The Specific Plan proposes two (38.3 acre total) commercial sites adjacent to Highway 395. Uses here will be "village" oriented, featuring supermarkets, drug stores, and other local-serving retail uses. These sites, because of highway orientation and access may contain some visitor serving commercial uses that are compatible with surrounding commercial and residential uses of Mesa Verde. An additional 10.2 acres of commercial land is located on Bear Valley Road. To ensure that this commercial development is consistent with the rest of Mesa Verde, the commercial development standards of the Mesa Verde Specific Plan will be followed in implementing the commercial site. A Medium residential Overlay (112 D.U.'s) is included in implementing Parcel 20 and a High Residential Overlay (392 D.U.'s) in implementing Parcel 21.

### Industrial Land use

Along Highway 395, a 21.5 acre site has been reserved for potential industrial uses. This parcel, known as a "swing parcel" is intended to have market flexibility. Because it is proposed for development in later phases, market factors may dictate residential uses are more appropriate. To ensure this parcel is consistent with the community development standards, the industrial includes a Medium Residential Overlay (129 69 D.U.'s (north 11.5 acres)) and a High Residential Overlay (200 D.U.'s (south 10 acres)) in implementing Parcel 22.

### School/Park Site

Along the eastern edge of development an 8.2 acre site has been reserved for a potential elementary school. A park is located adjacent to the elementary school. All of these facilities are located adjacent to and are accessible to the village-wide open space and paseo network.

The principal focus of the park, along with proposed joint use of school facilities, will be active recreation for local residents. Sidewalks and bicycle lanes are planned along the main project collector roads for trail alignments, allowing project residents non-vehicular access to the park and school.

### Open Space/Trail Network

An important feature of the overall land use plan is the concept of enhanced desert open space and its provisions for recreation opportunities.

The two major components of the open space network as shown in Exhibit 9 are the park, the school site, and the central enhanced desert open space/paseo system.

The major component that provides pedestrian mobility is the open space spine that meanders east and west through the center of Mesa Verde. The pathway/paseo system within the open space will connect residential neighborhoods together and provide access to the school and public park.

Within the paseo network can be both pedestrian walking and jogging paths and/or an exercise course, as well as bicycle lanes and/or paths. Minor linking pathways can traverse the development along roads, between development areas, through residential areas, and within open space corridors to link the entire development open space network together. The adjacent power easement can also serve to connect Mesa Verde with the region. It is proposed that the open space/trail network be implemented and maintained through a variety of assessment districts and/or homeowner associations.

Specific Development Plan

**SPECIFIC PLAN ALLOCATIONS  
TABLE 3**

	Planning Area	Gross Acres	Total Units <sup>1</sup>	Comments
<b>Residential Development:</b>				
Low (2-5 D.U./AC)	4	43.9	219	w/Estates Residential Overlay (1-2 D.U./AC)
	6	25.5	127	
	11	21.8	56 (RFM)	
	12	19.1	48 (RFM)	
	14	27.7	138	
	15	43.7	218	
	18	30.9	154	w/Commercial/Office Overlay <sup>3</sup>
Medium (4-6 D.U./ AC)	1	38.1	228	
	2	20.6	123	
	3	21.7	130	
	5	25.5	131 (RFM)	
	7	35.8	157 (RFM)	
	10	38.0	171 (RFM)	
	13	22.3	107 (RFM)	
	16	26.0	136 (RFM)	
	17	24.2	145	
	24	22.6	135	
High (20 D.U./AC)	19	16.4	328	w/Medium Residential Overlay (4-6 D.U./AC)
Sub-Total		503.8 AC	<u>2751 DU</u>	
<b>Non-Residential Development:</b>				
Elementary Schools	9	8.2		
Commercial/Office	20	18.7	112	
Commercial/Office	21	19.6	392	
Commercial/Office Industrial	23	10.2		
Industrial <sup>4</sup>	22	21.5	269 <u>129</u>	
Park/Village Open Space	8	23.7		
Major Roads	46.9			
Sub-Total		148.8 AC		
<b>TOTAL</b>		<b>652.6 AC</b>	<b>2962 D.U.<sup>2</sup></b>	

\*DU -- Dwelling Units

<sup>1</sup>Note: Unit column is based on acres of Recorded Final Maps (RFM)

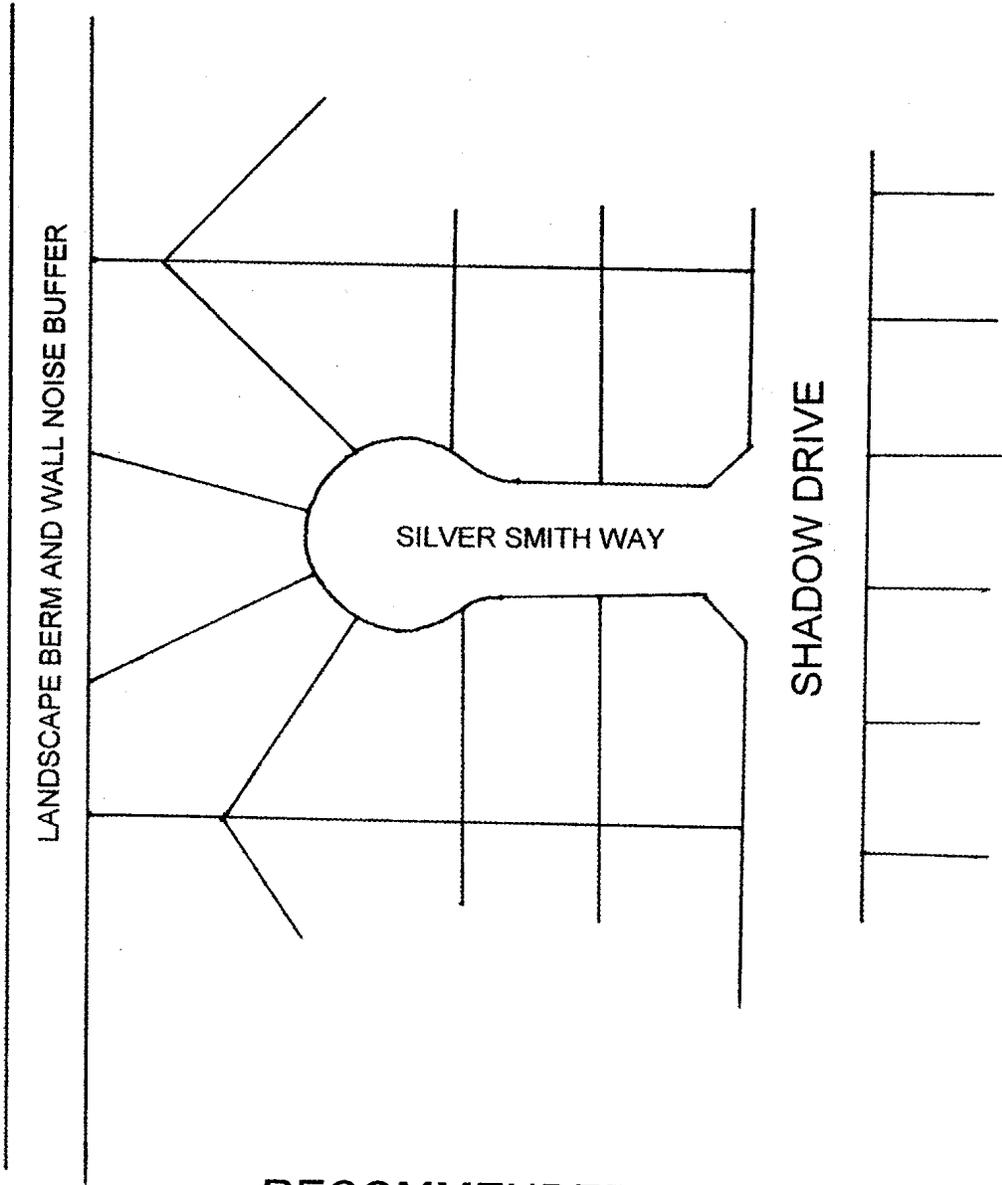
<sup>2</sup>Total sum of units shall be no more than the number of units (2962) approved for the Specific Plan. (SP-2-88, Ordinance No.: 1209)

<sup>3</sup>Commercial Office Overlay applies only to the southern portion of Planning Area 15.

<sup>4</sup>Planning Area 22 consists of a Medium Residential Overlay (4-6 D.U./AC) on the north 11.5 AC and a High Residential Overlay (20 D.U./AC) the southern 10 AC. on 21.5 AC.

HIGHWAY 395

LANDSCAPE BERM AND WALL NOISE BUFFER

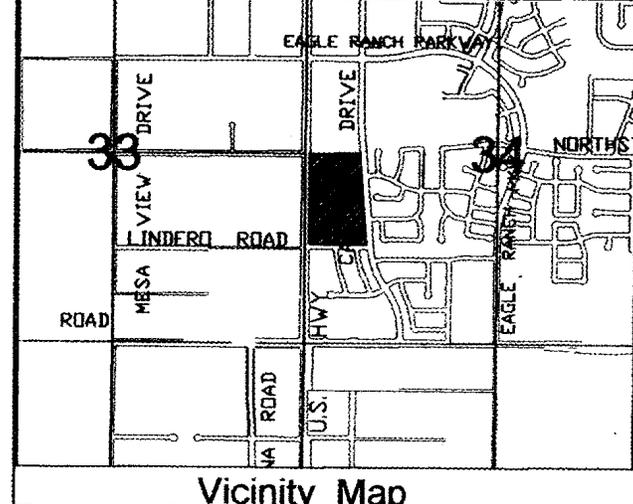
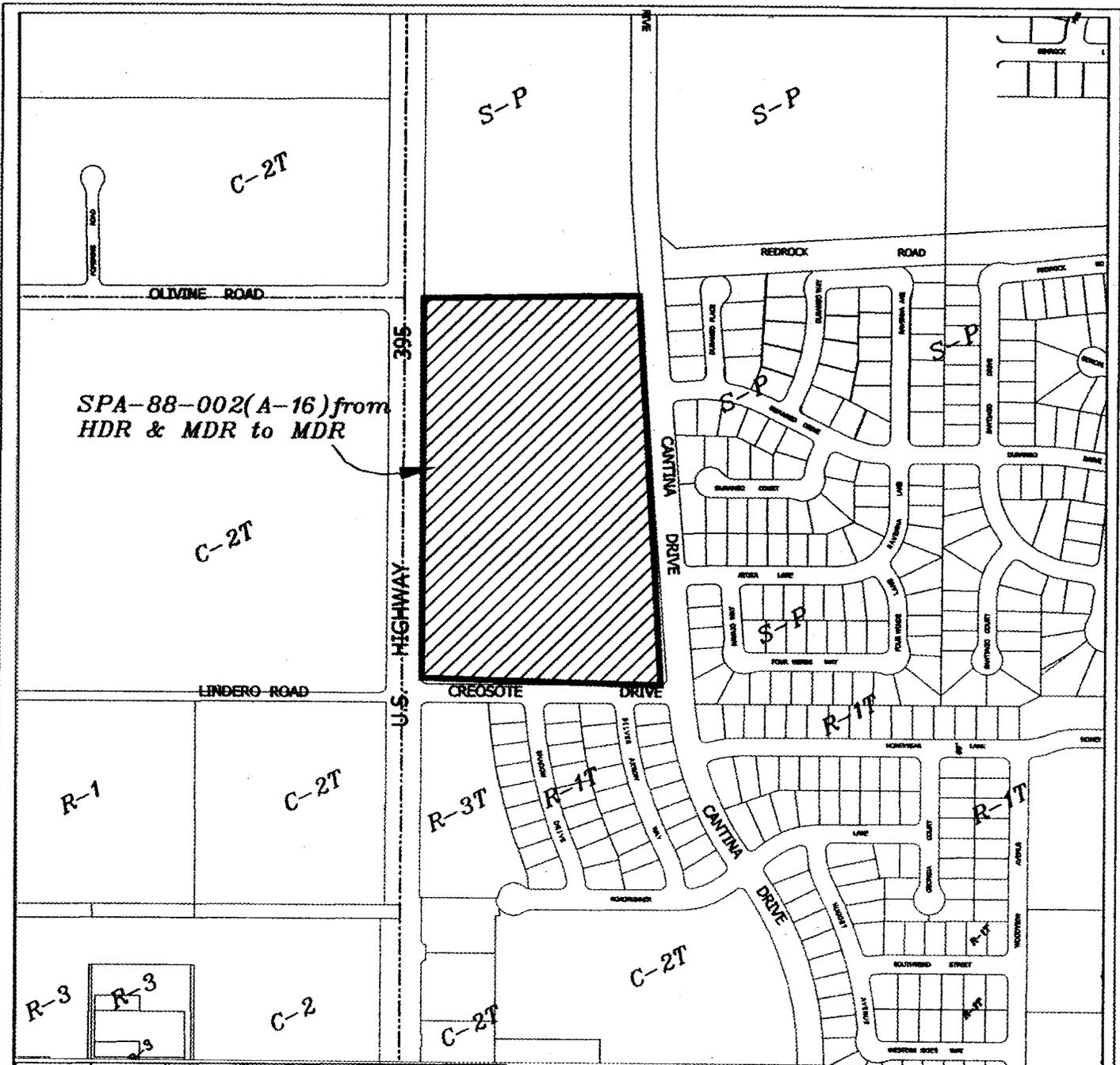


RECOMMENDED CUL-DE-SAC LAYOUT

EXHIBIT 6

NOT TO SCALE





Title: <b>PROPERTY LOCATION MAP</b>			
Zoning: SP-2-91	Area: ± 21.60 Acres		
Assessor Parcel Number: 3096-631-02		Location:	
The northwest corner of Creosote Drive and Cantina Drive.			
TR 17146			
Drawn By: BD	Checked By:	Date: 07-11-06	Case Number: TT-06-032 & SPA-88-002(A-16)

Vicinity Map

Graphics are diagrammatic only - Not to Scale

Prepared by: City of Victorville Planning Department



Specific Plan Amendment SPA-88-002(A-16)  
and Tentative Tract TT-06-032

CITY OF VICTORVILLE PLANNING DEPARTMENT  
14343 Civic Drive, Victorville, California 92392  
(760) 955-5135 FAX (760) 245-8250

MITIGATED NEGATIVE DECLARATION  
Preparation Date: May 25, 2006

**Name or Title of Project:** Proposed Specific Plan Amendment SPA-88-002(A-16) and Tentative Tract TT-06-032 (17146).

**Location:** Southwest corner of Cantina Drive and Olivine Road.

**Entity or Person Undertaking Project:** Overland Opportunity Fund, LLC.

**Description of Project:**

SPA-88-002(A-16) and TT-06-030 -- to allow for the development of a 108-lot single-family residential subdivision on 24.18 acres.

**Statement of Findings:** The Planning Commission has reviewed the Initial Study for this proposed project and has found that there are no adverse environmental impacts to either the man-made or physical environmental setting if the following mitigation measures are implemented in conformance with the Mitigation Monitoring Policy, and does hereby direct staff to file a Notice of Determination, pursuant to the California Environmental Quality Act (CEQA).

A copy of the Initial Study and other applicable documents used to support the proposed Negative Declaration is available for review at the City of Victorville Planning Department.

**Mitigation Measures:**

**NPDES**

1. Prior to issuance of a grading permit the applicant shall obtain coverage under the statewide general National Pollutant Discharge Elimination System (NPDES) permit for control of construction and post-construction related storm water. In addition, the applicant shall prepare a Storm Water Pollution Prevention Plan (SWPPP) as required in the NPDES permit and identify site-specific best management practices that will be used.

**Mohave Ground Squirrel:**

2. Prior to issuance of a ground disturbance permit the applicant shall conduct a trapping survey for the Mohave ground squirrel in accordance with California Department of Fish and Game protocol. If the trapping survey provides negative results, the applicant shall submit the survey to the Department for concurrence that the applicant may grade within the next year. If the trapping survey provides a positive finding or if the developer decides not to conduct trapping, the following mitigation measures shall apply:
  - a. The applicant shall provide mitigation lands at a ratio of 1:1. These lands will be purchased in an area known to support populations of the species. The mitigation lands will be evaluated to ensure they provide habitat equal to or better than the habitat that will be lost as a result of development of the project site. In addition, CDFG approval of the mitigation lands will be obtained before acquisition is completed, and an Incidental Take Permit will be applied for as part of the overall mitigation process.
  - b. Appropriate enhancement and endowment fees will be provided by the project proponent as per CDFG requirements. These fees will be paid on a 1:1 basis prior to commencement of ground disturbing activities.

**Burrowing Owl:**

3. Pre-construction surveys on the site and in the surrounding area out to 500 feet should be conducted no more than 30 days prior to ground disturbing activities. If ground-disturbing activities are delayed for more than 30 days, additional surveys will be required.
4. If owls are observed on the site during future surveys, mitigations which will be required to reduce impacts to less than significant will include the following:
  - a. Occupied burrows should not be disturbed during the nesting season (February 1 through August 31) unless a qualified biologist approved by the Department verifies through non-invasive methods either: (1) the birds have not begun egg-laying and incubation; or (2) that juveniles from the occupied burrows are foraging independently and are capable of independent survival;
  - b. To offset the loss of foraging and burrow habitat on the project site, a minimum of 6.5 acres of burrowing owl habitat per pair or unpaired birds should be acquired and permanently protected;
  - c. Existing unsuitable burrows should be enhanced or new burrows created at a ratio of 2:1 on the protected lands site; and
  - d. The project proponent should provide funding for long-term management and monitoring of the protected land. A monitoring plan for the protected land should be required which includes success criteria, remedial measures, and annual reports to the Department.

**Other**

5. The applicant shall provide for an on-site paleontological/archaeological inspector to monitor all grading operations, or a letter from said licensed professional indicating that monitoring is not necessary during grading. Further, if disturbed resources are required to be collected and preserved, the applicant shall be required to participate financially up to the limits imposed by Public Resources Code Section 21083.2. The results of said monitoring shall be filed with the Director of Planning or his designee prior to the final approval of the development.

Public Review Period: May 30, 2006, thru June 29, 2006.

Tentative Public Hearing Date: July 26, 2006.

Adopted by the Planning Commission on \_\_\_\_\_.

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RYAN McEACHRON, CHAIRMAN  
VICTORVILLE PLANNING COMMISSION

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BILL WEBB  
DIRECTOR OF PLANNING

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**INITIAL STUDY  
ENVIRONMENTAL CHECKLIST FORM**

1. **Project title:** Proposed Specific Plan Amendment SPA-88-002(A-16) and Tentative Tract TT-06-032 (Tract 17146).
2. **Lead agency name and address:** City of Victorville Planning Department, PO Box 5001, Victorville, California 92393-5001.
3. **Contact person and phone number:** John Dubasik, Associate Planner 760-955-5135.
4. **Project location:** Southwest corner of Cantina Drive and Olivine Road.
5. **Project sponsor's name and address:** Overland Opportunity Fund, LLC, 212 South Palm Avenue, Suite 200, Alhambra, CA 91801.
6. **General Plan designation:** Specific Plan.
7. **Zoning:** S-P-88-002 (Mesa Verde Specific Plan).
8. **Description of project:** (Describe the whole action involved, including but not limited to later phases of the project, and any secondary, support, or off-site features necessary for its implementation. Attach additional sheets if necessary.)

SPA-88-002(A-16) and TT-06-032 – to allow for the development of a 108-lot single-family residential subdivision on 24.18 acres.

9. **Surrounding land uses and setting:** The proposed project is bounded on the north by vacant S-P zoned land, on the south by residences on R-1T zoned land, on the east by residences on S-P zoned land and on the west by vacant C-2T zoned land. The subject property is undeveloped.
10. **Other public agency whose approval is required** General construction storm water permit (NPDES) – State Water Resources Board, California Department of Fish and Game. Recordation of a final map, issuance of building permits and completion of structures to code is required by the City prior to establishment of the use.

**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTS:**

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

<input type="checkbox"/>	Land Use and Planning	<input type="checkbox"/>	Transportation/Circulation	<input type="checkbox"/>	Public Services
<input type="checkbox"/>	Population and Housing	<input type="checkbox"/>	Biological Resources	<input type="checkbox"/>	Utilities and Service Systems
<input type="checkbox"/>	Geological Problems	<input type="checkbox"/>	Energy and Mineral Resources	<input type="checkbox"/>	Aesthetics
<input type="checkbox"/>	Water	<input type="checkbox"/>	Hazards	<input type="checkbox"/>	Cultural Resources
<input type="checkbox"/>	Air Quality	<input type="checkbox"/>	Noise	<input type="checkbox"/>	Recreation
		<input type="checkbox"/>	Mandatory Findings of Significance		

**DETERMINATION:**

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have significant effect on the environment, and a NEGATIVE DECLARATION will be prepared. (De Minimis)
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on an attached sheet have been added to the project. A NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a significant effect(s) on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets, if the effect is a "potentially significant impact" or "potentially significant unless mitigated". An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that the proposed project WILL NOT have a significant effect on the environment, because no new potentially significant effects have been identified beyond those previously analyzed adequately in an earlier EIR (Final Program Environmental Impact Report for the City's 1997 Comprehensive General Plan Update, State Clearinghouse No. 97011040), pursuant to applicable standards, and no additional mitigation measures beyond those imposed as part of that previous EIR are necessary to be imposed upon the proposed project to reduce mitigable impacts to a insignificant level. Therefore, no additional environmental documentation is necessary.

Signature:  Date: May 25, 2006  
 John Dubasik, Associate Planner For: Victorville Planning Department

**EVALUATION OF ENVIRONMENTAL IMPACTS:**

- 1) A brief explanation is provided for all answers except "No Impact" answers that are adequately supported by the information sources the lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer is explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) "Potentially Significant Impact" is noted if there is substantial evidence that an effect is significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Potentially Significant Unless Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Significant Impact". The lead agency describe the mitigation measures, and briefly explains how

they reduce the effect to a less than significant level (mitigation measures from Section XVII, "Earlier Analyses", may be cross-referenced).

5) Earlier analyses may be referenced where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). Earlier analyses are discussed in Section XVII at the end of the checklist.

6) The lead agency incorporates into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document, where appropriate, includes a reference to the page or pages where the statement is substantiated. See the sample question below. A source list is attached, and other sources used or individuals contacted are cited in the discussion.

	<i>Potentially Significant</i>		
<i>Potentially Significant Impact</i>	<i>Unless Mitigation Incorporated</i>	<i>Less than Significant Impact</i>	<i>No Impact</i>

**ENVIRONMENTAL IMPACTS:**

**I. LAND USE AND PLANNING.** *Would the proposal*

- a) Conflict with general plan designation or zoning? (1, Figure 3 and 2)
- b) Conflict with applicable environmental plans or policies adopted by agencies with jurisdiction over the project? (3, 1)
- c) Be incompatible with existing land use in the vicinity? (4)
- d) Affect agricultural resources or operations (e.g., impacts to soils or farmlands, or impacts from incompatible land uses)? (5)
- e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)? (4)

			X
			X
			X
			X
			X

Comments: The General Plan Land Use Designation for the project site is Specific Plan and the zoning is S-P-88-002 (Mesa Verde Specific Plan). The proposed Specific Plan Amendment changes the designation on the subject property (Planning Area 22) from High Density Residential to Medium Density Residential. Single-family residences are a permitted use. The General Plan designation and zoning allow for a density of up to six dwelling units per gross acre for the project site. Since the proposed project has a density of approximately 4.46 dwelling units per gross acre, the proposal is consistent with the Victorville General Plan and zoning. The Resource Element of the General Plan does not identify this site as having special environmental significance. The proposal does not create any land use incompatibilities since it is in compliance with the General Plan. While the vacant land could be used for agricultural purposes, the soil at this location is limited by the hazard of soil blowing, high water intake rate and low fertility. Further, the limited size of the property (approximately 24 acres) and its proximity to residential uses do not make this site viable for agricultural use. Consequently, the property's value for

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Potentially Significant Impact	Unless Mitigation Incorporated	Less than Significant Impact	No Impact
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crop production is marginal. Further, the project would not disrupt or divide an established community. No mitigation necessary.

**II. POPULATION AND HOUSING.** *Would the proposal:*

- a) Cumulatively exceed official regional or local population projections? (6, 4)
- b) Induce substantial growth in an area either directly or indirectly (e.g., through projects in an undeveloped area or extension of major infrastructure)? (4)
- c) Displace existing housing, especially affordable housing? (4)

			X
			X
			X

Comments: The proposed project will increase the population by approximately 281 people based on 2.6 people per dwelling unit. The density of the proposal is consistent with the General Plan and zoning designation, therefore, the proposed subdivision does not exceed official regional or local population projections. During the project's construction there will likely increase the need for housing within the community since these uses will employ workers. However, since several apartment complexes and rental units exist within the City, the demand for workers' housing would be satisfied (7, 41). The project site is currently undeveloped, however, because of its proximity to existing developments, development of this project would not involve the major extension of infrastructure. Since the site is currently vacant, it will not displace existing housing. No mitigation necessary.

**III. GEOLOGIC PROBLEMS.** *Would the proposal result in or expose people to potential impacts involving:*

- a) Fault rupture? (8, Figure 1)
- b) Seismic ground shaking? (8, Table 2)
- c) Seismic ground failure, including liquefaction? (5) and 8, 4 and Table 2)
- d) Seiche, tsunami, or volcanic hazard? (8, Table 2)
- e) Landslides or mudflows? (8, 7 and Figure 3)
- f) Erosion, changes in topography or unstable soil conditions from excavation, grading or fill? (8, Figure 3)
- g) Subsidence of land? (3, Figure 8)
- h) Expansive soils? (5)
- i) Unique geologic or physical features? (5)

			X
		X	
			X
			X
			X
			X
			X
			X
			X

Comments: There are no known or suspected fault traces located within the Victorville Planning Area. Additionally, the City Planning Area is not subject to the provisions of Alquist-Priolo Special Studies Zones. The City is located in an area with a high potential for severe ground shaking. However, as a function of development all buildings must comply with the Victorville Municipal Code and the latest adopted version of the Uniform Building Code, which will ensure that the buildings would adequately resist the forces of an earthquake (9, 1). No mitigation necessary.

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Impact

Less than  
Significant  
Impact

No  
Impact

**IV. WATER.** *Would the proposal result in:*

- a) Changes in absorption rates, drainage patterns, or the rate and amount of surface runoff? (11)
- b) Exposure of people or property to water related hazards such as flooding? (10)
- c) Discharge into surface waters or other alteration of surface water quality (e.g., temperature, dissolved oxygen or turbidity)? (4)
- d) Changes in the amount of surface water in any water body? (4)
- e) Changes in currents, or the course or direction of water movements? (4)
- f) Change in the quantity of ground waters, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations or through substantial loss of groundwater recharge capability? (11)
- g) Altered direction or rate of flow of groundwater? (4)
- h) Impacts to groundwater quality? (4)
- i) Substantial reduction in the amount of groundwater otherwise available for public water supplies? (11)

		X	
			X
			X
			X
			X
			X
			X
	X		
		X	

Comments: The proposed development may significantly change absorption rates and potential drainage patterns, as well as affect the amount of surface water runoff. However, the project will connect to a storm drainage system that will alleviate any negative impacts due to the increased runoff. In addition, the City has adopted a flood drainage fee that is assessed on all properties in the City and is to be used for constructing drainage structures (20, 1).

Measures that achieve a reduction in pollutants generated by developments after construction will be integrated into the Storm Water Pollution Prevention Plan (SWPPP) that must be prepared for projects in accordance with National Pollutant Discharge Elimination System (NPDES) permitting procedures. All projects are required to comply with NPDES requirements, including permits, prior to issuance of a grading permit. Therefore, the following mitigation measure shall be incorporated to ensure the impact is less than significant:

1. Prior to issuance of a grading permit the applicant shall obtain coverage, if required, under the statewide general National Pollutant Discharge Elimination System (NPDES) permit for control of construction and post-construction related storm water. In addition, if coverage is required, the applicant shall prepare a Storm Water Pollution Prevention Plan (SWPPP) as required in the NPDES permit and identify site-specific best management practices that will be used.

*Potentially Significant*  
*Potentially Significant Impact*     *Unless Mitigation Incorporated*     *Less than Significant Impact*     *No Impact*

Section 15206 of the CEQA Guidelines scales projects as to having regional significance. CEQA defines projects of state wide regional significance as a residential development of more than 500 dwelling units. The proposed 108-lot single-family residential subdivision does not meet the criteria identified in the CEQA guidelines as regionally significant. Any new construction shall employ all water conservation measures outlined in the State Appliance Efficiency Standards as enforced by the Building Department as part of obtaining a building permit for the development. In addition, all combustible liquids, oils and solvents used in conjunction with the facility shall be handled in accordance with the Uniform Fire Code, which will ensure that groundwater quality is not degraded by this facility (12, 125).

Although the actual water demand for the development is currently unknown, new development creates additional demand for the water purveyor. The Baldy Mesa Water District is the water purveyor for this site and as such may have to purchase replacement water if the district exceeds the free production allowance as stipulated in the final Judgment to the Mojave Basin Area Adjudication which was entered on January 10, 1996. The District charges connection fees based on the amount of usage to help provide for replacement water if needed.

**V. AIR QUALITY.** *Would the proposal:*

- a) Violate any air quality standard or contribute to an existing or projected air quality violation? (13, 1)
- b) Expose sensitive receptors to pollutants? (4)
- c) Alter air movement, moisture, or temperature, or cause any changes in climate? (13, 1)
- d) Create objectionable odors? (11)

			X
			X
			X
			X

Comments: The project is consistent with the City's General Plan. All uses identified within the Victorville General Plan are classified as area sources by the Mojave Desert Air Quality Management District. Programs have been established in the 1991 Air Quality Attainment Plan that address emissions caused by area sources. Further, the proposed project does not meet any threshold that requires air quality analysis or mitigation under the Air Quality Attainment Plan. Therefore, the impacts are considered by the Mojave Desert Air Quality Management District to be insignificant (13, 1). Proposed is a 108-lot single-family residential subdivision, other than during construction and vehicular traffic, no permanent objectionable odors will be created. No mitigation necessary.

**VI. TRANSPORTATION/CIRCULATION.** *Would the proposal result in:*

- a) Increased vehicle trips or traffic congestion? (11)
- b) Hazards to safety from design features (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? (11)
- c) Inadequate emergency access or access to nearby uses? (4)
- d) Insufficient parking capacity on-site or off-site? (11)
- e) Hazards or barriers for pedestrians or bicyclists? (11)

		X	
			X
			X
			X
			X

	<i>Potentially Significant</i>	<i>Potentially Significant Unless Mitigation Incorporated</i>	<i>Less than Significant Impact</i>	<i>No Impact</i>
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- f) Conflicts with adopted policies supporting alternative transportation (e.g., bus turnouts, bicycle racks)? (11)
- g) Rail, waterborne or air traffic impacts? (11)

			X
			X

Comments: The City of Victorville General Plan Circulation Element is designed so the master-planned roadways operate at a Level of Service of "C" or better at build-out (14, 8). In evaluating Level of Service, existing land use designations were applied. Development of the project will result in increased generation of vehicular trips; which will impact master planned roadways in the short term. However, this short-term increase will be mitigated through the assessment of development impact fees, which provides funding for the construction of roadways to reduce the impacts of additional vehicular traffic. Section 18.60.90 of the Victorville Municipal Code requires the proposed single-family residences to contain two covered parking spaces per dwelling unit. The proposed 108-lot single-family residential subdivision would be required to have a minimum of 216 parking spaces. No mitigation necessary.

**VII. BIOLOGICAL RESOURCES.** *Would the proposal result in impacts to:*

- a) Endangered, threatened or rare species or their habitats (including but not limited to plants, fish, insects, animals, and birds)? (15)
- b) Locally designated species (e.g., heritage trees)? (15)
- c) Locally designated natural communities (e.g., oak forest, coastal habitat, etc.)? (4)
- d) Wetland habitat (e.g., marsh, riparian, and vernal pool)? (4)
- e) Wildlife dispersal or migration corridors? (15)

	X		
		X	
			X
			X
			X

Comments: Development of the site would consist of the removal of all vegetation and grading of the entire site for single-family residential lots and streets. According to the California Department of Fish and Game (CDFG), five listed or sensitive species, including the desert tortoise, Mohave ground squirrel, burrowing owl, sharp-shinned hawk, and loggerhead shrike may occur within the City limits. A biological survey dated November 1, 2006, was prepared for the project site by RCA Associates, Inc., that found no evidence of the above listed species on the project site. However, the site does support habitat for the Mohave ground squirrel and, since the burrowing owl is migratory and could utilize existing burrows of other animals, the following mitigation measures shall be incorporated to ensure the impact is less than significant:

**Desert Tortoise:**

None

**Sharp-shinned Hawk and Loggerhead Shrike:**

None

Potentially  
Significant  
Unless  
Mitigation  
Incorporated  
Less than  
Significant  
Impact  
No  
Impact

**Mohave ground squirrel:**

2. Prior to issuance of a ground disturbance permit the applicant shall conduct a trapping survey for the Mohave ground squirrel in accordance with California Department of Fish and Game protocol. If the trapping survey provides negative results, the applicant shall submit the survey to the Department for concurrence that the applicant may grade within the next year. If the trapping survey provides a positive finding or if the developer decides not to conduct trapping, the following mitigation measures shall apply:
  - a. The applicant shall provide mitigation lands at a ratio of 1:1. These lands will be purchased in an area known to support populations of the species. The mitigation lands will be evaluated to ensure they provide habitat equal to or better than the habitat that will be lost as a result of development of the project site. In addition, CDFG approval of the mitigation lands will be obtained before acquisition is completed, and an Incidental Take Permit will be applied for as part of the overall mitigation process.
  - b. Appropriate enhancement and endowment fees will be provided by the project proponent as per CDFG requirements. These fees will be paid on a 1:1 basis prior to commencement of ground disturbing activities.

**Burrowing Owl:**

3. Pre-construction surveys on the site and in the surrounding area out to 500 feet should be conducted no more than 30 days prior to ground disturbing activities. If ground-disturbing activities are delayed for more than 30 days, additional surveys will be required.
4. If owls are observed on the site during future surveys, mitigations which will be required to reduce impacts to less than significant will include the following:
  - a. Occupied burrows should not be disturbed during the nesting season (February 1 through August 31) unless a qualified biologist approved by the Department verifies through non-invasive methods either: (1) the birds have not begun egg-laying and incubation; or (2) that juveniles from the occupied burrows are foraging independently and are capable of independent survival;
  - b. To offset the loss of foraging and burrow habitat on the project site, a minimum of 6.5 acres of burrowing owl habitat per pair or unpaired birds should be acquired and permanently protected;
  - c. Existing unsuitable burrows should be enhanced or new burrows created at a ratio of 2:1 on the protected lands site; and
  - d. The project proponent should provide funding for long-term management and monitoring of the protected land. A monitoring plan for the protected land should be required which includes success criteria, remedial measures, and annual reports to the Department.

**VIII. ENERGY AND MINERAL RESOURCES. *Would the proposal:***

- a) Conflict with adopted energy conservation plans? (6, 36)
- b) Use nonrenewable resources in a wasteful and inefficient manner? (11)

			X
			X

	<i>Potentially Significant</i>		
<i>Potentially Significant Impact</i>	<i>Unless Mitigation Incorporated</i>	<i>Less than Significant Impact</i>	<i>No Impact</i>

- c) Result in the loss of availability of a known mineral resource that would be of future value to the region and the residents of the State? (3, 10)

			X
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Comments: The proposed project will not significantly increase the use of substantial amounts of fuel or energy, nor create the need to develop new sources of energy since the site is in close proximity to existing development. Further, utilization of energy conservation measures required under the State Appliance Efficiency Standards in Title 20, such as efficient mechanical systems designed in accordance with heating calculations and other code regulations will reduce the use of energy. No mitigation necessary.

**IX. HAZARDS.** *Would the proposal:*

- a) A risk of accidental explosion or release of hazardous substances (including, but not limited to, oil, pesticides, chemicals, or radiation)? (11)
- b) Possible interference with an emergency response plan or emergency evacuation plan? (8, Figure 5)
- c) The creation of any health hazard or potential health hazard? (11)
- d) Exposure of people to existing sources of potential health hazards? (4)
- e) Increased fire hazard in areas with flammable brush, grass, or trees? (11)

			X
			X
			X
			X
			X

Comments: The proposed project poses a low probability of subjecting the public to health hazards due to its residential use and fire and building code requirements and does not interfere with existing emergency/evacuation plans (8, Figure 5). Prior to the development of the site the ground will be graded which removes all flammable brush, grass, and/or trees. No mitigation necessary.

**X. NOISE.** *Would the proposal result in:*

- a) Increases in existing noise levels? (11)
- b) Exposure of people to severe noise levels? (11)

		X	
		X	

Comments: Since the site is vacant, the proposed development will increase local noise levels both during construction and following occupancy of the site. Residential uses do not create unacceptable noise levels or expose people to severe noise levels and the proposed residences will be constructed using normal noise reduction construction techniques. No mitigation necessary.

**XI. PUBLIC SERVICES.** *Would the proposal have an effect upon, or result in a need for new or altered government services in any of the following areas:*

- a) Fire protection? (11)
- b) Police protection? (11)

		X	
		X	

	<i>Potentially Significant</i>	<i>Potentially Significant Unless Mitigation Incorporated</i>	<i>Less than Significant Impact</i>	<i>No Impact</i>
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- c) Schools? (11)
- d) Maintenance of public facilities, including roads? (11)
- e) Other government services? (11)

		X	
		X	
		X	

Comments: The proposed development may result in a need for increase in public services. Consequently, the public service agencies may need to increase budgets to commit to those increased services. With regard to capital facilities, development impact fees will be utilized by the public service agencies to ensure the appropriate levels of capital resources necessary to serve the development. Further, the development will be subject to other fees and assessments that will reduce the impact of this development to a level of non-significance (18, 314). No mitigation necessary.

**XII. UTILITIES AND SERVICE SYSTEMS.** *Would the proposal result in a need for new systems or supplies, or substantial alterations to the following utilities:*

- a) Power or natural gas? (11)
- b) Communications systems? (11)
- c) Local or regional water treatment or distribution facilities? (11)
- d) Sewer or septic tanks? (11)
- e) Storm water drainage? (11)
- f) Solid waste disposal? (11)
- g) Local or regional water supplies? (11)

			X
			X
			X
			X
			X
			X
			X

Comments: Inasmuch as utilities are already provided near the area, only minor extensions to the proposed development would be required. Consequently, the need for altered utility systems would be insignificant, and no new systems will be necessary. Also see discussion under section IV. WATER. No mitigation necessary.

**XIII. AESTHETICS.** *Would the proposal:*

- a) Affect a scenic vista or scenic highway? (11)
- b) Have a demonstrable negative aesthetic effect? (11)
- c) Create light or glare? (11)

			X
			X
		X	

Comments: The proposed project will not affect any scenic vistas or scenic highways. The proposed project will not have any adverse impact to the aesthetics of the area as the development within the project area will be subject to compliance with the provisions of the Victorville Municipal Code and the Mesa Verde Specific Plan which includes height limitations, landscaping and yard requirements, as well as any other design requirements imposed as part of the review process (19). Further, any light or glare produced shall be oriented so as not to create a nuisance. No mitigation necessary.

**XIV. CULTURAL RESOURCES.** *Would the proposal:*

- a) Disturb paleontological resources? (4)

	X		
--	---	--	--

	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less than Significant Impact	No Impact
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- b) Disturb archaeological resources? (4)
- c) Have the potential to cause a physical change which would affect unique ethnic cultural values? (4)
- d) Restrict existing religious or sacred uses within the potential impact area? (4)

	X		
			X
			X

Comments: The site is not known to be within an area with existing religious or sacred uses. However, because the City of Victorville is in a potential resource rich area as far as paleontological resources are concerned, monitoring of grading activities is a necessary activity associated with any development. Therefore, the following mitigation measure shall be incorporated to ensure the impact is less than significant:

- 5. The applicant shall provide for an on-site paleontological/archaeological inspector to monitor all grading operations, or a letter from said licensed professional indicating that monitoring is not necessary during grading. Further, if disturbed resources are required to be collected and preserved, the applicant shall be required to participate financially up to the limits imposed by Public Resources Code Section 21083.2. The results of said monitoring shall be filed with the Director of Planning or his designee prior to the final approval of the development.

**XV. RECREATION.** *Would the proposal:*

- a) Increase the demand for neighborhood or regional parks or other recreational facilities? (11)
- b) Affect existing recreational opportunities? (11)

		X	
		X	

Comments: The proposed site will be used for a 108-lot single-family residential subdivision that may create additional demand on existing recreational facilities. Consequently, the project will be subject to payment of development impact fees, which will reduce its impact to a level of non-significance (18, 314). No mitigation necessary.

*Potentially Significant*  
*Potentially Significant Impact*     *Unless Mitigation Incorporated*     *Less than Significant Impact*     *No Impact*

**MANDATORY FINDINGS OF SIGNIFICANCE.**

- a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?
- b) Does the project have the potential to achieve short-term, to the disadvantage or long-term, environmental goals?
- c) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)
- d) Does the project have environmental effects that will cause substantial adverse affects on human beings, either directly or indirectly?

			X
			X
		X	
			X

Comments: c) With the increase in building activity recently experienced in the Victor Valley/High Desert area, it is reasonably foreseeable that a large portion of residentially zoned land will develop with single-family homes in the future. However, the City's General Plan anticipated such development and prescribed measures that have been implemented to provide adequate services within the City proper and its sphere of influence.

Regarding biological resources, the City is currently involved in a cumulative impact analysis through our active participation in the development of the West Mojave Habitat Conservation Plan. This plan will mitigate all future development of land within the City and the Victor Valley/High Desert in general through mitigation measures and/or fees that have been reviewed by the Department of Fish and Game. The plan is in the last phase of the approval process. Until such plan is in effect, the City imposes mitigation measures, which along with implementation of 2081 permits, results in the conservation of more suitable habitat outside the city limits of Victorville. In addition, recent biological surveys and trappings detected no Desert Tortoises or Mohave ground squirrels within the southern three-quarters of the City, where most of the development is occurring. Therefore, the cumulative impacts are considered less than significant.

## XVII. EARLIER ANALYSES.

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, one or more effects have been adequately analyzed in an earlier EIR or negative declaration. Section 15063 (c)(3)(D). In this case a discussion identifies the following:

- a) **Earlier analyses used.** Earlier analyses are identified and stated where they are available for review.
- b) **Impacts adequately addressed.** Effects from the above checklist that were identified to be within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards are noted with a statement whether such effects were addressed by mitigation measures based on the earlier analysis.
- c) **Mitigation measures.** For effects that are "Less than Significant with Mitigation Incorporated", describe the mitigation measures which are incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project are described.

**Authority:** Public Resources Code Sections 21083 and 21087.

**Reference:** Public Resources Code Sections 21080(c), 21080.1, 21083, 21083.3, 21093, 21094, 21151; *Sundstrum v. County of Mendocino*, 202 CalApp 3d 296 (1988); *Leonoff v. Monterey Board of Supervisors*, 222 CalApp 3d 1337 (1990).

## REFERENCES

1. 1997 City of Victorville General Plan Land Use Element.
2. City of Victorville Official Zoning Map.
3. 1997 City of Victorville General Plan Resource Element.
4. Aerial photos of the City of Victorville.
5. United States Soil Conservation Service *Soil Survey of San Bernardino County, California*.
6. 1997 City of Victorville General Plan Housing Element.
7. California Department of Finance Demographic Research Unit Report E-5, January 1, 1999.
8. 1997 City of Victorville General Plan Safety Element.
9. Latest adopted version of the Uniform Building Code.
10. Flood Insurance Rate Map, Community Number 065068, Effective Date March 18, 1996, Federal Emergency Management Agency
11. SPA-88-002(A-16) and TT-06-032 applications filed May 1, 2006.
12. 1991 Uniform Fire Code.
13. Personal communication with Christian Ihenacho, Supervising Air Quality Planner, Mojave Desert Air Quality Management District on August 30, 1993.
14. 1997 City of Victorville General Plan Circulation Element.
15. United States Bureau of Land Management California Desert Conservation Area, 1988.
16. Chapter 13.33 of the Victorville Municipal Code.
17. 1997 City of Victorville General Plan Noise Element.
18. Victorville Municipal Code Buildings, and Construction Ordinance, Chapter 15.04.
19. Victorville Municipal Code, Chapter 18.16 and the Mesa Verde Specific Plan.
20. Victorville Municipal Code, Chapter 6.30.

TI-06-032  
 IN THE CITY OF VICTORVILLE,  
 COUNTY OF SAN BERNARDINO, CALIFORNIA  
**TENTATIVE TRACT MAP**  
**No. 17146**

A SUBDIVISION OF LOT 22 OF TRACT NO. 13990  
 IN THE CITY OF VICTORVILLE, IN THE COUNTY OF  
 SAN BERNARDINO, STATE OF CALIFORNIA.

APRIL 2006



SCALE 1"=80'

**OWNER/SUBDIVIDER**

RY PROPERTIES  
 210 SOUTH PALM AVENUE, SUITE 200  
 ALHAMBRA, CALIFORNIA 91801  
 (626) 262-3700 FAX: (626) 262-4500 FAX

**ENGINEER**

LUDWIG ENGINEERING  
 109 EAST 3RD STREET  
 SAN BERNARDINO, CA 92410  
 909-884-8217 FAX: 909-889-0153

**ASSESSOR'S PARCEL NO.**

APN 3096-631-02

**ZONING & LAND USE**

PRESIDENTIAL INDUSTRIAL WITH HIGH OR MED. RES. OVERLAY  
 PROPOSED MEDIUM RESIDENTIAL OVERLAY

**GENERAL PLAN DESIGNATION**

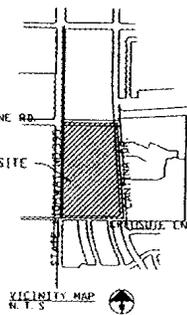
SPECIFIC PLAN SP-288

**SERVICES**

- ELECTRIC** ..... SOUTHERN CALIFORNIA EDISON CO.  
 12253 HEPPERIA RD  
 VICTORVILLE, CA 92392  
 PH: (760) 951-3244
- SEWER** ..... CITY OF VICTORVILLE  
 15762 CIVIC CENTER  
 VICTORVILLE, CA 92393-5001  
 PH: (760) 939-0332
- WATER** ..... BAILEY NESS WATER  
 10313 BLANCH RD  
 VICTORVILLE, CA 92392  
 PH: (760) 949-0332
- GAS** ..... SOUTHWEST GAS CORP.  
 17421 HARRISBURG RD  
 VICTORVILLE, CA 92393  
 PH: (760) 951-4055
- TELEPHONE** ..... VERIZON  
 12911 PARK AVE., SUITE 200  
 VICTORVILLE, CA 92392  
 PH: (760) 243-0834
- CABLE TELEVISION** ..... CHARTER COMMUNICATIONS  
 9236 "C" AVE.  
 HEPPERIA, CA 92345  
 PH: (760) 943-3000  
 PH: (866) 499-8080

**AREAS**

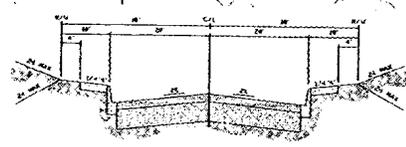
TOTAL ACRES	24.18 AC
TOTAL NUMBER LOTS	108 LOTS
UNITS PER ACRE	4.47 U.P.A.
MINIMUM LOT SIZE ACRES	5,000 S.F.
TOTAL LOTFRONT FEET	6 LOTS



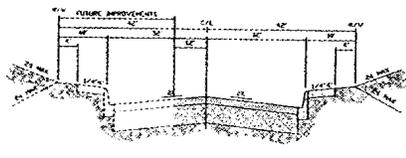
VICINITY MAP  
 N.T.S.

**PROPOSED STREET NAMES**

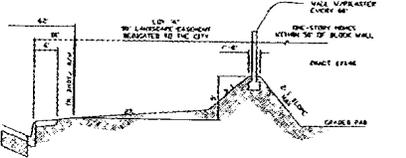
ALT. 1	ALT. 2
SILVERPOON LANE	GREEN GLEN LN.
SILVERUPPER COURT	GREEN CANYON CT.
SILVERMIDWAY	GREENHIDE WAY
SILVERING COURT	GREENVIEW COURT



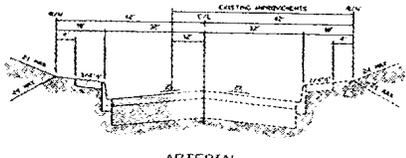
LOCAL STREETS  
 TYPICAL SECTION (60' R/W)  
 SCALE: NOT TO SCALE



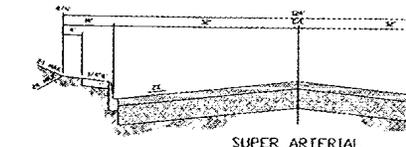
ARTERIAL  
 OLIVINE RD AND CANTINA DR. (84' R/W)  
 SCALE: NOT TO SCALE



SECTION "A-A"  
 LANDSCAPE LOT EAST SIDE HWY 395  
 SCALE: NOT TO SCALE



ARTERIAL  
 CANTINA DR. (84' R/W)  
 SCALE: NOT TO SCALE



SUPER ARTERIAL  
 STATE HIGHWAY NO. 395  
 SCALE: NOT TO SCALE

**NOTES**

- THIS TRACT CONTAINS 4,442 S.F. OF NEW STREETS
- UNLESS OTHERWISE INDICATED THE SURROUNDING LAND USE IS "VACANT"
- CONTOUR SURVEY, SURVEY ENGINEERING FILES 1000
- DEVELOPMENT OF SITE WILL HAVE MINIMAL EFFECT ON EXISTING DRAINAGE PATTERNS. STORM WATER RUNOFF WILL FOLLOW EXISTING AND NATURAL DRAINAGE COURSES OR BE CARRIED IN PROPOSED STREETS AND DRAINAGE FACILITIES AS INDICATED ON THE MAP AND DETAILED IN ACCOMPANYING DRAINAGE STUDY.
- CROWNROOF WILL BE BALANCED ON SITE.
- ESTIMATED CROWNROOF DENSITY: 15,500 S.F.
- IMPROVEMENTS ARE PER TYPICAL SUBDIVISION AND ARE TO BE BUILT ACCORDING TO CITY OF ADELANTO STANDARDS
- SETBACKS: 20' FRONT YARD  
 25' REAR YARD
- THIS IS A CALCULATED MAP. LOT DIMENSIONS ARE AVAILABLE AND THE DEVELOPER REQUESTS REVIEW FOR COMPLIANCE WITH CURRENT CODES AND POLICIES WITH REGARD TO GEOMETRICS.
- SECONDARY ACCESS TO BE PROVIDED WHERE NECESSARY.
- INDICATES PAD ELEVATION.

**Ludwig Engineering**  
 CIVIL ENGINEERING ARCHITECTURE  
 109 EAST 3RD STREET  
 SAN BERNARDINO, CA 92410  
 (909) 884-8217  
 FAX: (909) 889-0153



Specific Plan Amendment SPA-88-002(A-16)  
and Tentative Tract TT-06-032



**California Regional Water Quality Control Board  
Lahontan Region**



Linda S. Adams  
Secretary for  
Environmental Protection

Victorville Office  
14440 Civic Drive, Suite 200, Victorville, California 92392  
(760) 241-6583 • Fax (760) 241-7308  
<http://www.waterboards.ca.gov/lahontan>

Arnold Schwarzenegger  
Governor

John Dubasik, Associate Planner  
City of Victorville  
P.O. Box 5001  
Victorville, CA 92393-5001



File: Environmental Doc Review  
San Bernardino County

June 29, 2006

**COMMENTS ON SPECIFIC PLAN AMENDMENT SPA-88-002 (A-16) AND PROPOSED TENTATIVE TRACT TT-06032 LOCATED AT THE INTERSECTION OF CANTINA DRIVE AND OLIVINE ROAD IN THE CITY OF VICTORVILLE, APN 3096-631-02, SCH 2006051140**

Please refer to the items checked for staff comments on the above-referenced project:

The site plan for this project does not specifically identify features for the post-construction period that will control stormwater on-site or prevent pollutants from non-point sources from entering and degrading surface or ground waters. The foremost method of reducing impacts to watersheds from urban development is "Low Impact Development" (LID), the goals of which are maintaining a landscape functionally equivalent to predevelopment hydrologic conditions and minimal generation of nonpoint source pollutants. LID results in less surface runoff and less pollution routed receiving waters. Principles of LID include:

- Maintaining natural drainage paths and landscape features to slow and filter runoff and maximize groundwater recharge,
- Reducing the impervious cover created by development and the associated transportation network, and
- Managing runoff as close to the source as possible.

We understand that LID development practices that would maintain aquatic values could also reduce local infrastructure requirements and could benefit energy conservation, air quality, open space, and habitat. Many planning tools exist to implement the above principles, and a number of recent reports and manuals provide specific guidance regarding LID.

We request you require these principles to be incorporated into the proposed project design. We request natural drainage patterns be maintained to the extent feasible.

The proposal does not provide enough information to determine the type of wastewater disposal system that will be used (i.e. septic system, sewer, etc.).

Discharge of any material other than domestic wastewater to an onsite septic tank wastewater disposal system is prohibited unless a Report of Waste Discharge is filed with the Regional Board.

- [ ] The proposed project deals with a non-sewage discharge to land and may need to be regulated by the Lahontan Regional Water Quality Control Board. Therefore, the County must require the proponents to contact the Regional Board for filing of a complete report of waste discharge.
  - [ ] The proposed project appears to exceed the Regional Board's 500 gallon per acre per day limitation on the discharge to septic tank disposal systems. Please address how this requirement will be met in the document and proposed project design.
  - [ ] The proposal does not provide enough information to determine if the Regional Board's 500 gallon per acre per day limitation of the discharge to septic tank disposal systems is exceeded. Please address in the document how this requirement will be met.
  - [ ] The proposed project is located in an area where septic tank disposal systems are prohibited unless an exemption is requested and granted by the Regional Board. If the project proponent intends to request an exemption, the environmental document must contain the information necessary to make the findings for an exemption (Please review the exemption criteria contained in the Water Quality Control Plan for the Lahontan Region (Basin Plan) accessible on the Regional Board's homepage ([http://www.waterboards.ca.gov/lahontan/BPlan/BPlan\\_Index.htm](http://www.waterboards.ca.gov/lahontan/BPlan/BPlan_Index.htm)).
  - [ X ] The project will require development of a Stormwater Pollution Prevention Plan and a NPDES General Construction Stormwater Permit. This permit is accessible on the State Board's Homepage ([www.swrcb.ca.gov](http://www.swrcb.ca.gov)). Best Management Practices must be used to mitigate project impacts. The environmental document must describe the mitigation measures or Best Management Practices.
  - [ ] The project may require development of a Stormwater Pollution Prevention Plan and a NPDES General Industrial Stormwater Permit. This permit is accessible on the State Board's Homepage (<http://www.swrcb.ca.gov>). Best Management Practices must be used to mitigate project impacts. The environmental document must describe the mitigation measures or Best Management Practices.
  - [ ] The project appears to propose a discharge of waste to surface water. Therefore an NPDES permit for the project may be necessary. Describe potential impacts to surface water quality and beneficial uses of water. Also describe measures to be taken to reduce pollutant loading to surface waters to meet numerical and narrative water quality objectives contained in the Water Quality Control Plan for the Lahontan Region (<http://www.waterboards.ca.gov/lahontan/>).
  - [ ] The proposed project may result in discharges of waste that may need to be regulated by the Regional Board. Please review the general permits and the Water Quality Control Plan for the Lahontan Region (Basin Plan) accessible on the Regional Board's homepage ([http://www.waterboards.ca.gov/lahontan/BPlan/BPlan\\_Index.htm](http://www.waterboards.ca.gov/lahontan/BPlan/BPlan_Index.htm)) (provide more specific information here on the type of waste or form of regulation)
- 
-

- Please require written confirmation from the project proponent that they obtain Regional Board concurrence before approving this project.
- The project may require a Federal Clean Water Act Section 401 Water Quality Certification from the Regional Board. Application forms can be found at our web site (<http://www.waterboards.ca.gov/lahontan/>)
- The project may require a WDR (Waste Discharge Requirement) Permit. Please see our web page [http://www.waterboards.ca.gov/lahontan/Permitting\\_Questions.htm](http://www.waterboards.ca.gov/lahontan/Permitting_Questions.htm) for more information.
- The proposal does not provide specific information on impacts to surface Waters of the State or Waters of the US. These surface waters include, but are not limited to, drainages, streams, washes, ponds, pools or wetlands. Waters of the State or Waters of the US may be permanent or intermittent. The Environmental Document needs to identify and quantify these impacts. Discuss purpose of project, need for surface water disturbance, and alternatives (avoidance, minimize disturbances and mitigation).
- Regional Board staff has determined that this project will not have a significant effect on water quality as proposed.
- Regional Board staff will make additional comments after a more detailed review is complete.
- Project may result in spills that will adversely impact ground and surface waters. Include spill contingency measures in the environmental document.
- Other

Please note that obtaining a permit and conducting monitoring does not constitute adequate mitigation. Development and implementation of acceptable mitigation is required.

Sincerely  
Print Name  
Title  
Phone No.  
E-Mail



Cindi Mitton  
Supervising Engineer  
(760) 241-7413  
cmitton@waterboards.ca.gov

RC:\CEQA\VV APN 3096-361-02 MD

CASE NO

SPA-88-002 (A)  
 TI-06-032 (17146)

AGENCY CHECKLIST

Environmental Assessment

Needed

Class \_\_\_ Exemption

Tract/Parcel  
 No.

3096-631-02

AGENCY LETTERS TO BE SENT TO:	Sent	Rec'd		Sent	Rec'd
Engineering Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Ad Hoc Committees</b>	<input type="checkbox"/>	<input type="checkbox"/>
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Eagle Ranch	<input type="checkbox"/>	<input type="checkbox"/>
Community Services Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Golden Mesa	<input type="checkbox"/>	<input type="checkbox"/>
Building Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Golden Triangle	<input type="checkbox"/>	<input type="checkbox"/>
Victorville Redevelopment Agency	<input type="checkbox"/>	<input type="checkbox"/>	Green Tree East	<input type="checkbox"/>	<input type="checkbox"/>
City Manager	<input type="checkbox"/>	<input type="checkbox"/>	Liberty Village	<input type="checkbox"/>	<input type="checkbox"/>
Police Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Old Town VV Property Owners	<input type="checkbox"/>	<input type="checkbox"/>
Finance Department (Sanitation)	<input type="checkbox"/>	<input type="checkbox"/>	Raintree	<input type="checkbox"/>	<input type="checkbox"/>
Public Works	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	South Central #4	<input type="checkbox"/>	<input type="checkbox"/>
Information Services	<input type="checkbox"/>	<input type="checkbox"/>	Tatum	<input type="checkbox"/>	<input type="checkbox"/>
Verizon California, Inc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
Southwest Gas Corporation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	City of Hesperia	<input type="checkbox"/>	<input type="checkbox"/>
Southern California Edison	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	City of Adelanto	<input type="checkbox"/>	<input type="checkbox"/>
Victor Valley Water District	<input type="checkbox"/>	<input type="checkbox"/>	Town of Apple Valley	<input type="checkbox"/>	<input type="checkbox"/>
Baldy Mesa Water District	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Mojave Regional Economic Development Council	<input type="checkbox"/>	<input type="checkbox"/>
Hesperia Water District	<input type="checkbox"/>	<input type="checkbox"/>	Victor Valley Board of Realtors	<input type="checkbox"/>	<input type="checkbox"/>
County Service Area 64	<input type="checkbox"/>	<input type="checkbox"/>	Building Industries Association	<input type="checkbox"/>	<input type="checkbox"/>
Mojave Water Agency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	High Desert Council of Engineering	<input type="checkbox"/>	<input type="checkbox"/>
Charter Communications	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Archaeological Information Center	<input type="checkbox"/>	<input type="checkbox"/>
			Local Agency Formation Commission (LAFCO)	<input type="checkbox"/>	<input type="checkbox"/>
Victor Elementary School District	<input type="checkbox"/>	<input type="checkbox"/>	Southern California Logistics Airport	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
VV Union High School District	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Victorville Chamber of Commerce	<input type="checkbox"/>	<input type="checkbox"/>
Adelanto Elementary School District	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
Snowline Joint Unified School District	<input type="checkbox"/>	<input type="checkbox"/>	<b>Indian Tribes</b>		
Hesperia Unified School District	<input type="checkbox"/>	<input type="checkbox"/>	Morongo Band of Mission Indians	<input type="checkbox"/>	<input type="checkbox"/>
Victor Valley College	<input type="checkbox"/>	<input type="checkbox"/>	San Fernando Band of Mission Indians	<input type="checkbox"/>	<input type="checkbox"/>
Victor Valley Wastewater Reclamation Authority	<input checked="" type="checkbox"/>	<input type="checkbox"/>	San Manuel Band of Mission Indians	<input type="checkbox"/>	<input type="checkbox"/>
Burrtec Waste Industries	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Serrano Band of Indians	<input type="checkbox"/>	<input type="checkbox"/>
U.S. Post Office	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
Caltrans	<input type="checkbox"/>	<input type="checkbox"/>	<b>Development Agreements</b>	<input type="checkbox"/>	<input type="checkbox"/>
Department of Fish and Game	<input type="checkbox"/>	<input type="checkbox"/>	Century-Crowell - Foxfire	<input type="checkbox"/>	<input type="checkbox"/>
Lahontan Water Quality Control Board	<input type="checkbox"/>	<input type="checkbox"/>	Inco Homes - Mesa Verde; Vista Verde	<input type="checkbox"/>	<input type="checkbox"/>
Flood Control District	<input type="checkbox"/>	<input type="checkbox"/>	Pacific Bay - Brentwood	<input type="checkbox"/>	<input type="checkbox"/>
Mojave Desert Air Quality Management District	<input type="checkbox"/>	<input type="checkbox"/>	Southdown - Southwestern Industrial Park	<input type="checkbox"/>	<input type="checkbox"/>
County Transportation	<input type="checkbox"/>	<input type="checkbox"/>			
County Health Department	<input type="checkbox"/>	<input type="checkbox"/>			
County Planning Department	<input type="checkbox"/>	<input type="checkbox"/>			
County Solid Waste Management Department	<input type="checkbox"/>	<input type="checkbox"/>			

# MEMORANDUM

DATE July 12, 2006

FROM John A. McGlade,  
City Engineer

*BG for JAMB*

TO Bill Webb  
Director of Planning



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SUBJECT **SPECIFIC PLAN AMENDMENT SPA-88-002 (A-16),  
Overland Opportunity Fund, LLC**

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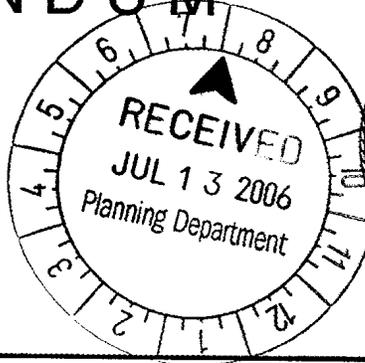
The Engineering Department has no comment on the Specific Plan Amendment.

JAMc:MRM:mrm

# MEMORANDUM

DATE July 12, 2006  
FROM John A. McGlade,  
City Engineer  
TO Bill Webb  
Director of Planning

*BB for James*



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SUBJECT **TENTATIVE TRACT TT-06-032, Overland Opportunity Fund, LLC**

---

The Engineering Department recommends that the following conditions be attached to the subject Tentative Tract:

1. The applicant shall provide a final map in accordance with the provisions of the Subdivision Map Act, as amended January 1, 2006, and all applicable provisions of Title 17 of Victorville Municipal Code.
2. That the applicant shall comply with all applicable provisions of Title 17 of the Victorville Municipal Code.
3. The subdivision map shall show any easement of record traversing the subject property.
4. The tentative map approval for this subdivision shall expire three (3) years from the date of said approval.
5. The subdivider shall be required to provide public utility, sewer, and/or drainage easements as required by the City Engineer.
6. That the applicant shall dedicate all of the streets shown on the approved tentative map.
7. That the applicant shall install physically handicapped ramps at all intersections.
8. The applicant shall install all improvements required by Section 17.64.010, 17.64.020, 17.64.030, and 17.64.040 of the Victorville Municipal Code along the frontage of subject property in accordance with the requirements of the City Engineer and the Standard Specifications for Public Works Improvements of the City of Victorville.
9. The applicant shall install sewer, water, gas, underground electricity and telephone. Further the applicant shall install underground communications cable.
10. The applicant shall install streetlights on decorative marbelite standards and relocate existing streetlights as required by the City Engineer.
11. The applicant shall install fire hydrants and/or on site protection as required by the Fire Chief.

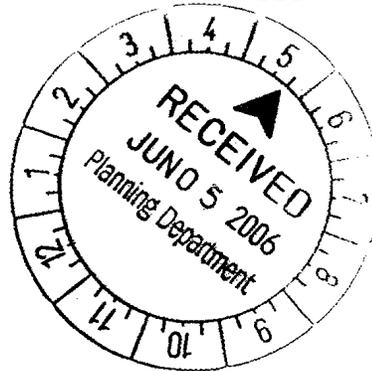
12. The applicant's Engineer shall submit a grading plan for the City Engineer's approval and signature. Said grading plan shall address all drainage problems, including nuisance water, within the subject parcels and provide drainage structures of various types, including walls, to adequately handle the on site drainage, that to be accepted from upstream properties and that to be accepted by downstream properties. Hydrologic and hydraulic calculations shall be submitted to support the subdivider's Engineer's design.
13. That the subdivider or any successor in interest of any of the parcels to be created by this subdivision shall be responsible for any costs incurred in the relocation of existing utility facilities where such facilities conflict with street improvements installed within offers of dedication required by these conditions of approval when said improvements are caused to be installed.
14. That the applicant shall pay all existing sewer or any other City of Victorville assessments against the subject property.
15. That the applicant shall provide improved secondary access as required by the Fire Chief.
16. The subdivider shall be required to enter into a subdivision agreement as approved by the City of Victorville.
17. The minimum width for any peripheral street shall be the half width plus 12' of pavement plus a standard parkway on the development side.
18. The subdivider shall conduct a grading operation on the subject property in a manner that will not cause sand or dust to blow onto the property of others. An adequate dust palliative shall be used at all times. Upon completion of grading the subdivider shall maintain the site in a manner that will not cause sand or dust to blow onto the property of others until such a time as the subdivision is finalized and the lots are occupied.
19. The applicant shall provide temporary fencing as required by staff to prevent windblown construction debris from leaving the construction site.
20. The applicant shall, prior to the final approval and recordation of the subdivision, make application and gain approval of a development agreement as it relates to fees, including but not limited to sewer and storm drain.
21. That the applicant shall annex this subdivision into the existing Street Lighting District.
22. Replace the Durango Drive connection of Silver Arrow Way to Cantina Drive with a connection at the Akota Lane alignment.
23. Participate in the fair share cost, as determined by a traffic study to be provided by the applicant and accepted by the City of Victorville, for the traffic signal installation and intersection improvements at the intersection of Highway 395 and Olivine Road.

24. Olivine Road, from Cantina Drive to Highway 395, is not to be connected to Highway 395 until the traffic signal at the intersection of Highway 395 and Olivine Road is operational.

JAMc:MRM:mrm

# MEMORANDUM

**DATE:** May 31, 2006  
**FROM:** John Becker  
Fire Chief  
**TO:** Bill Webb  
Director of Development



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**SUBJECT:** PLANNING COMMISSION MEETING – JUNE 14, 2006

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**GPA-06-003 (B), ZC-06-018**

**Conditions:**

- Realignment will impact roadway north of Palmdale as well as limiting access to other parcels.

**SPA-88-002 (A-16), TT-06-032 (TRACT 17146)**

**Conditions:**

The Fire Department recommends that the following conditions be attached to the subject Tentative Tract:

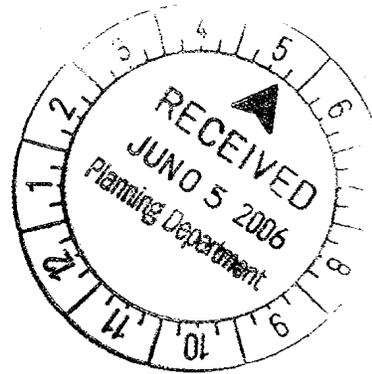
- All homes exceeding 5,000 square feet in area (including attached garages) must be protected by automatic fire sprinkler systems.
- Approved water supply system, complete with fire hydrants complying with Fire Department Standard No. 5, shall be in place prior to any combustible construction.
- Paved access from 2 points shall be required for completion and occupancy. Plans shall be submitted and approved prior to construction commencement.
- Required fire flow for this project is 1,500 gpm @ 20 psi at furthest remote hydrant. Contact Water District to assure availability of required fire flow.
- Streets greater than 150' in length shall require cul-de-sacs or approved turnarounds per Fire Department standard. Any street exceeding 500' will require paved secondary access.
- Tracts with more than 100 homes shall have a water system feed from two different distribution lines.
- Whenever construction phasing creates dead-end streets greater than 150 feet in length, temporary turnarounds complying with Fire Department Standard No. 1 shall be provided.

May 31, 2006

John Becker, Fire Chief  
Bill Webb, Director of Development

PLANNING COMMISSION MEETING – JUNE 14, 2006

Page 2



**Comments:**

Tentative Tract Map must have notes indicating Emergency Access routes to existing pavement for plan check review.

Development of this project will significantly increase the call volume for Engine 313.

Fire Department unable to provide a timely response to this area.

If approved, the City's overall ISO rating could be impacted, resulting in higher insurance rates.

This area is outside the ISO Class "3" Area.

**TT-03-014 (TRACT 14563)**

**Conditions:**

The Fire Department recommends that the following conditions be attached to the subject Tentative Tract:

- All homes exceeding 5,000 square feet in area (including attached garages) must be protected by automatic fire sprinkler systems.
- Approved water supply system, complete with fire hydrants complying with Fire Department Standard No. 5, shall be in place prior to any combustible construction.
- Paved access from 2 points shall be required for completion and occupancy. Plans shall be submitted and approved prior to construction commencement.
- Required fire flow for this project is 1,500 gpm @ 20 psi at furthest remote hydrant. Contact Water District to assure availability of required fire flow.
- Streets greater than 150' in length shall require cul-de-sacs or approved turnarounds per Fire Department standard. Any street exceeding 500' will require paved secondary access.
- Whenever construction phasing creates dead-end streets greater than 150 feet in length, temporary turnarounds complying with Fire Department Standard No. 1 shall be provided.
- Ninth shall be paved south to Nisqualli.

# MEMORANDUM

DATE May 23, 2006  
FROM Jon E. Gargan   
Director of Community Services  
TO Bill Webb  
Director of Development



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SUBJECT **PLANNING COMMISSION MEETING OF JUNE 14, 2006**

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Case No.: SPA-88-002 (A-16) Tract 17146  
TT-06-032  
Abuts Highway 395  
Reverse Frontage on Olivine & Cantina

Applicant: Overland Opportunity Fund, LLC

- The Community Services Department has no comments at this time regarding the above-referenced project.
- All Landscape and Drainage Maintenance Assessment Districts must meet the requirements as described in the Community Services Department's LMAD and DFAD Specification and Details Booklet.
- This project does not provide land for park development. It is recommended that a minimum of ten acres or greater be included for a future park site.

Should you have any questions regarding the above responses, please contact me or Becky Wasserman at extension 5275.

Submitted by: Ray Salberg   
Golf Course and Grounds Manager

JEG:RS:bw

# MEMORANDUM



DATE: May 26, 2006

FROM: Kevin Collins, Senior Plan Checker   
Development Department, Building Division

TO: Development Department, Planning Division

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SUBJECT: Specific Plan Amendment & Tentative Tract SPA-88-002(A-16) & TT-06-032(17146)  
Overland Opportunity Fund, LLC, Parcel No. 3096-631-02

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In response to your Request for Comments for the upcoming Planning Commission meeting on June 14, 2006, listed below are comments with regard to the above-entitled matter:

The Building Division has no comments at this time.

KC/mh



# MEMORANDUM



DATE May 25, 2006  
FROM **MARK A. TAYLOR**, Captain  
Police Department  
TO **BILL WEBB**, Director of Development  
Department of Development

SPA-88-002(A-16) - TT-06-032

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SUBJECT **REQUEST FOR COMMENTS – PLANNING COMMISSION**

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As per your request dated May 18, 2006, the Police Department has no comments regarding any of the cases to be heard at the upcoming Planning Commission Meeting on June 14, 2006.

If you have any further questions regarding my position with the above planning commission issues, please contact me at the earliest convenience.

MAT/KL/pw



# MEMORANDUM

**DATE:** May 30, 2006  
**FROM:** Rod E. Sorensen   
Acting Director of Public Works  
**TO:** Bill Webb  
Director of Planning



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**SUBJECT:** Request for Comments  
Planning Commission Meeting – June 14, 2006

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Public Works staff has reviewed the cases tentatively scheduled to be heard at the June 14, 2006, Planning Commission meeting. Below are comments to these cases.

TT-06-032 – North side of Silverspoon: Appears to have a catch basin with a drainpipe leading to Olivine Road. Perhaps the structure will be a parkway drain. Please provide clarification, design and elevations. The designated 15-foot-wide drainage easement flows through Lot 9.

TT-03-014 – Ninth Avenue and Winona Street: Verify existing sewer and storm drain infrastructure inaccuracies, identified with existing sewer main and manholes, with Engineering Department.

TT-06-033 – Concerns:

1. Proposed "maintenance road," 20 feet wide, alongside the west side of the Oro Grande Wash (Section "A" – "A") identifies a 16-foot wide gravel maintenance road. This is not acceptable. A paved ACC or PCC surface with an "A" curb at the toe of the slope should be required. The paved surface will support the weight of the maintenance equipment and reduce surface maintenance requirements. Vegetation and irrigation system should be required to reduce slope erosion.

2. Sanitary sewer system identifies gravity sewer, force main, and proposed sewer lift station at the northeast intersection of El Nida Street and Tapia Place. The Public Works Department objects to any type of sewer lift station being accepted by the Sanitary District. Detailed drawings must be presented and reviewed by representatives of the Public Works and Engineering departments prior to approval. Drawings should include specific elevation information and type and diameter of pipe and pump station information. Historically, construction of sewer pump stations in residential neighborhoods is problematic due to odors, noise, and potential overflow

conditions. Another concern is that the pump station is directly alongside the Oro Grande Wash. A sewer overflow condition into this wash will create concerns with the Lahontan Regional Water Board. Many questions must be addressed and alternatives considered prior to approving this proposal.

3. Drainage channel: Will it be accessible to maintenance crews for graffiti abatement?

TT-06-037 – Drainage easements at proposed 15-foot-wide drainage easements at Quail Meadows Street and at Valle Grande Street: Detailed Section "G" does not indicate fencing at property lines and should provide gates or mode of acceptable security against vehicular or pedestrian traffic.

SP-06-055 – Are street improvements part of the development at Bear Valley Road at Mariposa?

Please do not hesitate to call with any questions you may have.

RES:pg  
Attachment

cc: Mike Jenks, Assistant Director of Public Works  
Joe Flores, Public Works Manager  
Louie Rodriguez, Public Works Supervisor





June 7, 2006

City of Victorville  
14343 Civic Drive  
Victorville, CA 92392-2399

Attention: John Dubasik  
Planning Department

Subject: Tract Map No. 17146  
APN3096-631-02

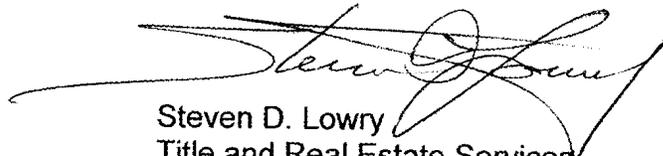
TT-06-032

Please be advised that the division of the property shown on Tract Map No. 17146 will not unreasonably interfere with the free and complete exercise of any easements and/or facilities held by Southern California Edison Company within the boundaries of said map.

This letter should not be construed as a subordination of the Company's rights, title and interest in and to said easement(s), nor should this letter be construed as a waiver of any of the provisions contained in said easement(s) or a waiver of costs for relocation of any affected facilities.

In the event that the development requires relocation of facilities, on the subject property, which facilities exist by right of easement or otherwise, the owner/developer will be requested to bear the cost of such relocation and provide Edison with suitable replacement rights. Such costs and replacement rights are required prior to the performance of the relocation.

If you have any questions, or need additional information in connection with the subject subdivision, please contact me at (714) 934-0808.

  
Steven D. Lowry  
Title and Real Estate Services  
Corporate Real Estate Department



# Baldy Mesa Water District

June 1, 2006

Bill Webb  
Planning Department  
City of Victorville  
14343 Civic Drive  
Victorville, CA 92393-2399



Dear Mr. Webb,

Enclosed are comments regarding projects that will go before the Planning Commission on June 14, 2006.

**Case No.:** TT-06-032 (T17146 – 108 Lots)

**APN:** 3096-631-02

**Owner:** Overland Opportunity Fund

**Case Planner:** John Dubasik

The proposed tentative tract would require construction of substantial off-site and on-site potable water facilities, and could require the installation of reclaimed water pipelines as required by Baldy Mesa Water District. The plans will need to be reviewed by the District, with all work to be completed and material installed per Baldy Mesa Water District standard drawings and specifications. Please keep in mind that we no longer allow dead end lines. The District may require property for facilities needed to serve this development. This project would also require the Developer to request a will-serve letter from the District.

**Case No.:** TT-06-033 (T17914 – 154 Lots)

**APN:** 0405-322-10

**Owner:** Braswell Family Limited Partnership

**Case Planner:** John Dubasik

The proposed tentative tract would require construction of substantial off-site and on-site potable water facilities, and could require the installation of reclaimed water pipelines as required by Baldy Mesa Water District. The plans will need to be reviewed by the District, with all work to be completed and material installed per Baldy Mesa Water District standard drawings and specifications. Please keep in mind that we no longer allow dead end lines. The District may require property for facilities needed to serve this development. This project would also require the Developer to request a will-serve letter from the District.

Should you have any questions or need additional information regarding these projects, please contact me at (760) 949-0332.

Sincerely,

Doug Mathews  
Engineering Manager

DM/sc



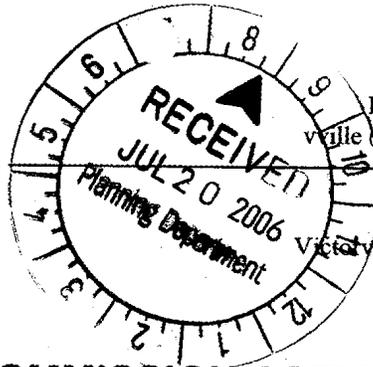
## MEMORANDUM

DATE: May 26, 2006  
TO: Bill Webb, Director, City of Victorville Development Department  
FROM: Peter R. Soderquist, Airport Director  
SUBJECT: SPA-88-002(A-16)&TT-06-032(17416)

This memo concerns the above referenced items which are scheduled to be heard at the **June 14, 2006** Planning Commission meeting.

Regarding SPA-88-002(A-16) & TT-06-032(17146) the Southern California Logistics Airport requests this project be conditioned to provide full disclosure as to the location of the airport. More specifically, purchasers of this land should be provided information relative to the direction and distance of the Southern California Logistics Airport. This disclosure should transition from owner to owner. Additionally, developers of this property should be encouraged to incorporate features into the design and construction of buildings were people live, work, or are otherwise received, to ensure that the interior noise of the structure is reduced to 45 decibels.

Peter Soderquist,  
Director



Date: July 13, 2006

### NOTIFICATION OF PLANNING COMMISSION ACTION

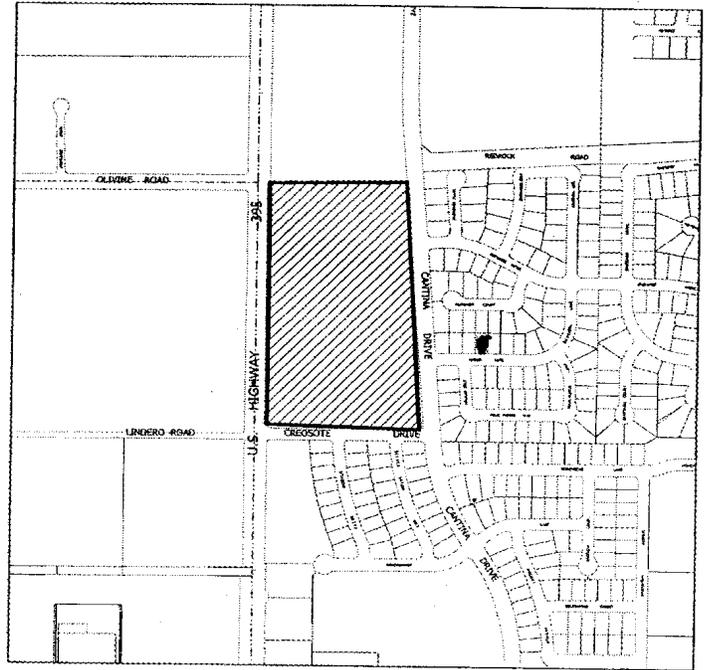
In reply refer to: Proposed Specific Plan Amendment and Tentative Tract

Case No.: SPA-88-002 (A-16) & TT-06-032

Dear Property Owner:

Overland Opportunity Fund, LLC is proposing the following projects:

- 1) A sixteenth amendment to Specific Plan 2-88 (Mesa Verde) to:
  - a. Revise the circulation element; and
  - b. To revise the land use overlay designation in Planning Area 22 from Multi-Family Residential (High Density) and Single-Family Residential (Medium Density) to Single-Family Residential (Medium Density); and



- 2) To allow for a 108-lot single-family residential subdivision on property generally located at the northwest corner of Creosote Drive and Cantina Drive.

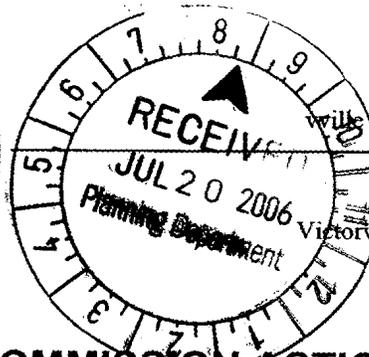
Inasmuch as your property is located within a 300-foot radius of property for the project, and pursuant to State Planning Law and/or Local Ordinance, you are being notified of the Public Hearing on this proposed project. For more details regarding this project, please call John Dubasik, Associate Planner, at (760) 955-5135. The Public Hearing will be held before the Planning Commission on July 28, 2006, in the Mojave Desert Air Quality Management District Boardroom, 14306 Park Avenue, Victorville, California, at 7:00 P.M.

If you do not plan to attend the Public Hearing and present your comments or wish to have your comments made part of the written record, please provide any comments and/or recommendations regarding the proposed project in the space below and return prior to July 28, 2006. All comments and/or recommendations will become public information and be provided to the Planning Commission in its deliberations on this proposal. PLEASE RESPOND IN BLACK INK SO IT CAN BE REPRODUCED.

Opinions and/or recommendations: *I am all for the single family Residential medium density, please make it happen*

Signature: *Roscar A. Setas* Assessor's Parcel No. \_\_\_\_\_

Address: (Please Print) *12272 ATOKA LANE, VICTORVILLE CA 92392* 175



Date: July 13, 2006

**NOTIFICATION OF PLANNING COMMISSION ACTION**

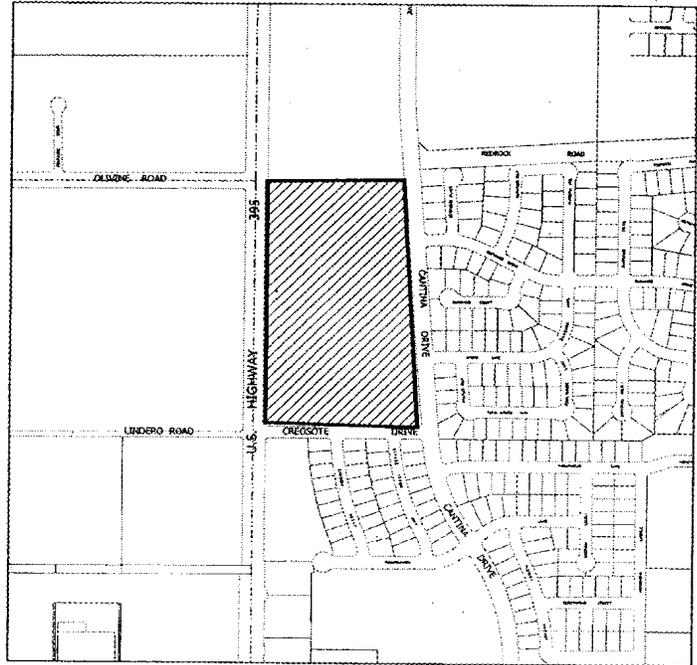
In reply refer to: Proposed Specific Plan  
Amendment and Tentative Tract

Case No.: SPA-88-002 (A-16) & TT-06-032

Dear Property Owner:

Overland Opportunity Fund, LLC is proposing the  
following projects:

- 1) A sixteenth amendment to Specific Plan 2-88  
(Mesa Verde) to:
  - a. Revise the circulation element; and
  - b. To revise the land use overlay designation in  
Planning Area 22 from Multi-Family  
Residential (High Density) and Single-  
Family Residential (Medium Density) to  
Single-Family Residential (Medium Density);  
and



- 2) To allow for a 108-lot single-family residential subdivision on property generally located at the northwest corner of Creosote Drive and Cantina Drive.

Inasmuch as your property is located within a 300-foot radius of property for the project, and pursuant to State Planning Law and/or Local Ordinance, you are being notified of the Public Hearing on this proposed project. For more details regarding this project, please call John Dubasik, Associate Planner, at (760) 955-5135. The Public Hearing will be held before the Planning Commission on July 28, 2006, in the Mojave Desert Air Quality Management District Boardroom, 14306 Park Avenue, Victorville, California, at 7:00 P.M.

If you do not plan to attend the Public Hearing and present your comments or wish to have your comments made part of the written record, please provide any comments and/or recommendations regarding the proposed project in the space below and return prior to July 28, 2006. All comments and/or recommendations will become public information and be provided to the Planning Commission in its deliberations on this proposal. PLEASE RESPOND IN BLACK INK SO IT CAN BE REPRODUCED.

Opinions and/or recommendations: NO MULTI-FAMILY RESIDENTIAL

Signature: [Signature] Assessor's Parcel No. 176

Address: (Please Print) 12252 DURANGO COURT, VICTORVILLE, CA 92392

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**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

**SUBMITTED BY:** Adair M. Patterson *AP*  
Director of Finance

**DATE:** August 3, 2006

**SUBJECT:** COMMERCIAL DEMAND SCHEDULE

**RECOMMENDATION:** That the Honorable City Council approve Commercial Demand Schedule No. 3 in the amount of \$5,375,261.78 covering Warrant Nos. 576519, 276974 and 576879 through 577329 inclusive.

**FISCAL IMPACT:** Total amount of warrants: \$5,375,261.78

Budget Amount: \$5,375,261.78  
Budget Account No. Various

---Finance Dept. Use Only---  
Additional Appropriation:

No

Yes/\$Amount:  
Finance Director Review &  
Approval *AP*

**DISCUSSION:** I hereby certify that the claims or demands covered by the attached list of warrants have been audited as to the accuracy and availability of funds for payment thereof and that said claims or demands are accurate and the funds are available for payment thereof.

*Adair Patterson*

\_\_\_\_\_  
DIRECTOR OF FINANCE

AP/ts  
c:\files\amm\demand.com

Attachment - Commercial Demand Schedule

Consent  
#6A  
8-15-06



<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>	<u>Payment Status</u>	<u>Payment Amount</u>
576879	7/24/2006	000000781	P	915.45
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576883	7/26/2006	0000014804	P	4,080.00
576884	7/26/2006	0000005131	P	276.92
576885	7/26/2006	0000006716	P	20.64
576886	7/26/2006	0000010965	P	19,760.00
576887	7/26/2006	0000009633	P	2,099.36
576888	7/26/2006	0000000158	P	530.00
576889	7/26/2006	0000002668	P	435.00
576890	7/26/2006	0000008507	P	235.00
576891	7/26/2006	0000012801	P	147.00
576892	7/26/2006	0000000038	P	19.90
576893	7/26/2006	0000000038	P	23.26
576894	7/26/2006	0000000038	P	63.92
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576896	7/26/2006	0000000265	P	15,935.37
576897	7/26/2006	0000000265	P	6,199.27
576898	7/26/2006	0000000270	P	1,162.19
576899	7/26/2006	0000000309	P	382.52
576900	7/26/2006	0000013415	P	5,592.23
576901	7/26/2006	0000000254	P	2,750.70
576902	7/26/2006	0000004242	P	3,732.08
576903	7/26/2006	0000000792	P	50.00
576904	7/26/2006	0000007195	P	80.42
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576921	7/26/2006	0000006348	P	104.06
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Check No.	Date	Vendor	Payment Status	Payment Amount
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576936	7/26/2006	0000004364 Gapelu, Shivonn	P	159.50
576937	7/26/2006	0000015971 Gastelum, Norma	P	44.80
576938	7/26/2006	0000015768 General Physics Corporation	P	24,950.00
576939	7/26/2006	0000013394 Golden Office Trailers, Inc.	P	3,478.17
576940	7/26/2006	0000015963 Gonzales Environmental Consulting LL'	P	982.30
576941	7/26/2006	0000001943 Goodspeed Distributing, Inc.	P	155,496.93
576942	7/26/2006	0000003047 Graves & King	P	10,995.61
576943	7/26/2006	0000002968 The Grumpy Golfer	P	943.81
576944	7/26/2006	0000005697 Verizon	P	117.71
576945	7/26/2006	0000001155 Hesperia Hose Supply	P	280.24
576946	7/26/2006	0000000278 Hi Desert Alarm	P	592.00
576947	7/26/2006	0000001162 Hi-Desert Communications	P	2,507.95
576948	7/26/2006	0000004221 Hi Desert Plan Room	P	49.03
576949	7/26/2006	0000001184 High Desert Laser Graphics	P	1.72
576950	7/26/2006	0000001218 Home Depot, Inc.	P	343.53
576951	7/26/2006	0000008055 IKON Office Solutions, Inc.	P	2,185.17
576952	7/26/2006	0000007512 Imperial Sprinkler Supply, Inc.	P	891.12
576953	7/26/2006	0000010267 International Code Council	P	170.70
576954	7/26/2006	0000007761 I O S Capital	P	1,215.54
576955	7/26/2006	0000014600 Iteris	P	356.92
576956	7/26/2006	0000008825 iWater, Inc.	P	509.52
576957	7/26/2006	0000003039 Jim's Ott's Pots	P	21.00
576958	7/26/2006	0000012411 Johnson Power Systems	P	618.90
576959	7/26/2006	0000015733 John Williams	P	390.00
576960	7/26/2006	0000006646 KFROG Stations	P	1,175.00
576961	7/26/2006	0000004324 Kosmont & Associates, Inc.	P	404.52
576962	7/26/2006	0000008484 Lantex Voice Data System	P	2,181.94
576963	7/26/2006	0000001416 Lawson Products, Inc.	P	665.59
576964	7/26/2006	0000001439 League of California Cities	P	175.00
576965	7/26/2006	0000001462 Lindy T's Too!	P	157.75
576966	7/26/2006	0000006704 Lorman Education Services	P	339.00
576967	7/26/2006	0000008208 Lowe's	P	60.11
576968	7/26/2006	0000011722 Lowe's	P	80.67
576969	7/26/2006	0000013967 Lowe's	P	55.90
576970	7/26/2006	0000001489 M&D Fire Equipment Company, Inc.	P	229.24
576971	7/26/2006	0000007650 Maaco	P	350.00
576972	7/26/2006	0000002716 MANPOWER	P	938.25
576973	7/26/2006	0000000361 Mark Brown & Associates, Inc.	P	75.00
576974	7/26/2006	0000008886 Mark Christopher Chevrolet	P	2,500.00
576975	7/26/2006	0000010734 MBS, a Konica Minolta Business Soluti	P	81.17
576976	7/26/2006	0000014892 McCormick, Kidman, & Behrens, LLP	P	456.81
576977	7/26/2006	0000010739 McGraw, Deborah	P	215.50
576978	7/26/2006	0000001560 Mesa Veterinary Care Center	P	780.67
576979	7/26/2006	0000002835 Minolta Business Systems, Inc.	P	503.22
576980	7/26/2006	0000001592 Mobile Occupational Service	P	2,005.00
576981	7/26/2006	0000005448 MWB Business Systems	P	1,007.21
576982	7/26/2006	0000009511 National Waterworks	P	78.66
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Check No.	Date	Vendor	Payment Status	Payment Amount
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576991	7/26/2006	0000012163 Orkin Pest Control	P	842.24
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576993	7/26/2006	0000003033 Pitney Bowes	P	150.00
576994	7/26/2006	0000002837 Platronics Communications	P	590.40
576995	7/26/2006	0000011559 Premiumwear, Inc	P	234.79
576996	7/26/2006	0000007517 Prime Time	P	1,200.00
576997	7/26/2006	0000013149 Project Partners	P	5,238.56
576998	7/26/2006	0000001886 Prudential Overall Supply	P	194.11
576999	7/26/2006	0000001760 PTL Electric	P	550.00
577000	7/26/2006	0000014506 Qwest	P	49.04
577001	7/26/2006	0000012372 Radio Mexico	P	500.00
577002	7/26/2006	0000001916 R.D.O. Equipment Co.	P	92.79
577003	7/26/2006	0000002389 Ron Turley Associates, Inc.	P	16,010.00
577004	7/26/2006	0000001987 Rotary Club - Victorville	P	353.00
577005	7/26/2006	0000002746 Roto-Rooter Plumbers	P	611.00
577006	7/26/2006	0000006714 San Diego Commercial Finance	P	60.00
577007	7/26/2006	0000002066 San Bernardino County Child Support	P	2,113.33
577008	7/26/2006	0000002063 San Bernardino County Fire Departmen	P	16,795.00
577009	7/26/2006	0000007912 San Bernardino Co Sheriff's Court Serv.	P	70.46
577010	7/26/2006	0000002155 Smart & Final	P	85.31
577011	7/26/2006	0000002170 Snap-On Tools Corp.	P	527.92
577012	7/26/2006	0000002188 Southern California Edison	P	27,943.81
577013	7/26/2006	0000013276 Southern California Golf News	P	700.00
577014	7/26/2006	0000002225 Standard Electric Works	P	80.11
577015	7/26/2006	0000002227 Staples Credit Plan	P	186.58
577016	7/26/2006	0000014875 Stathis, Jacqueline	P	606.50
577017	7/26/2006	0000014926 Steiny & Company, Inc.	P	3,510.57
577018	7/26/2006	0000004812 Stericycle Inc.	P	139.51
577019	7/26/2006	0000011750 Sully-Miller Contracting Co.	P	75,843.72
577020	7/26/2006	0000004991 Tague Insurance Agency	P	13,589.00
577021	7/26/2006	0000002313 Target Specialty Products	P	902.18
577022	7/26/2006	0000002312 Target Stores	P	204.19
577023	7/26/2006	0000002346 Titleist	P	1,083.56
577024	7/26/2006	0000013439 Tom Kirby Classic Enterprises	P	96.44
577025	7/26/2006	0000004246 Truesdail Laboratories, Inc.	P	40.50
577026	7/26/2006	0000002399 Type-Set-Go	P	414.84
577027	7/26/2006	0000014613 UniFirst Corporation	P	35.00
577028	7/26/2006	0000002426 United Parcel Service	P	53.20
577029	7/26/2006	0000002430 United Way Desert Communities	P	45.00
577030	7/26/2006	0000002401 USA Bluebook	P	226.57
577031	7/26/2006	0000002475 Victor Elementary School District	P	2,299.70
577032	7/26/2006	0000014631 Victor Kelly Alarms	P	171.59
577033	7/26/2006	0000012106 Video Vision	P	7,903.08
577034	7/26/2006	0000008430 Vulcan Materials Company	P	518.44
577035	7/26/2006	0000008078 Victor Valley Animal Hospital	P	680.00
577036	7/26/2006	0000002481 Victor Valley Animal Protective League	P	8,483.00
577037	7/26/2006	0000005896 Victor Valley Hand Car Wash, Inc.	P	209.00
577038	7/26/2006	0000002507 Victorville Professional Firefighters	P	2,422.39
577039	7/26/2006	0000002879 Victor Valley Transit Authority	P	930.00



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Check No.	Date	Vendor	Payment Status	Payment Amount
577040	7/26/2006	000002862 Victor Valley Towing, Inc.	P	25.00
577041	7/26/2006	0000012959 Victor Valley Veterinary Clinic	P	65.00
577042	7/26/2006	0000002499 Victor Valley Water District	P	13,480.07
577043	7/26/2006	0000012329 Wallace, Raquel	P	70.50
577044	7/26/2006	0000002533 Wal-Mart Store #01-1588	P	940.45
577045	7/26/2006	0000002554 Waxie Sanitary Supply	P	261.32
577046	7/26/2006	0000002603 Willdan, Inc.	P	70,080.00
577047	7/26/2006	0000015293 William Bower Associates Inc.	P	21,312.25
577048	7/26/2006	0000002632 Xerox Corporation	P	146.95
577049	7/26/2006	0000002632 Xerox Corporation	P	4,741.71
577050	7/26/2006	0000008243 4imprint	P	2,268.10
577051	7/26/2006	0000015908 Aaron, Madinah	P	98.00
577052	7/26/2006	0000015860 Alliance Title Company	P	74.81
577053	7/26/2006	0000015972 Allsup, Ron	P	85.00
577054	7/26/2006	0000013779 ARMA International	P	150.00
577055	7/26/2006	0000015974 Baker, Bennie H.	P	32.52
577056	7/26/2006	0000015973 Barnes & Noble	P	100.00
577057	7/26/2006	0000011435 Barreau, Shirley	P	60.00
577058	7/26/2006	0000015964 Bradshaw, Marybeth	P	156.00
577059	7/26/2006	0000002924 Cales, Brandon	P	1,100.44
577060	7/26/2006	0000015966 Canon Factory Service Center	P	107.00
577061	7/26/2006	0000000556 Chicago Title Co.	P	40,000.00
577062	7/26/2006	0000009374 CMRTA	P	400.00
577063	7/26/2006	0000008111 Collins, Kevin	P	1,311.00
577064	7/26/2006	0000003633 Colver, Tony	P	222.80
577065	7/26/2006	0000008506 DEO Enterprises	P	9,610.49
577066	7/26/2006	0000000863 El Pollo Loco	P	222.56
577067	7/26/2006	0000005185 Francis, Norm	P	590.00
577068	7/26/2006	0000014864 G&M Containers	P	1,799.96
577069	7/26/2006	0000015969 H&N Development, Inc.	P	50.00
577070	7/26/2006	0000002809 High Desert Homeless Services, Inc.	P	4,500.00
577071	7/26/2006	0000003109 Kenneth K. Hoppens	P	440.00
577072	7/26/2006	0000014247 Inland Energy, Inc.	P	253,577.36
577073	7/26/2006	0000004263 Inland Fair Housing & Mediation Board	P	1,805.94
577074	7/26/2006	0000015970 Johnson, Dawn Sr.	P	25.00
577075	7/26/2006	0000009316 Mattke, John	P	80.38
577076	7/26/2006	0000001661 National Association of Foreign Trade	P	750.00
577077	7/26/2006	0000012809 Orange Coast Title	P	84.16
577078	7/26/2006	0000010040 PAL Humane Society	P	120.00
577079	7/26/2006	0000001748 P.A.P.A.	P	195.00
577080	7/26/2006	0000001748 P.A.P.A.	P	60.00
577081	7/26/2006	0000013917 Ryland Homes	P	1,698.86
577082	7/26/2006	0000009807 Salberg, Ray	P	75.00
577083	7/26/2006	0000014807 San Bernardino, City of	P	935.05
577084	7/26/2006	0000002050 San Bernardino County Recorder	P	24.00
577085	7/26/2006	0000007755 Shenanigans' Youth Theatre Group	P	300.00
577086	7/26/2006	0000015450 Sierra, Ramon	P	120.00
577087	7/26/2006	0000015450 Sierra, Ramon	P	60.00
577088	7/26/2006	0000006009 Skillpath Seminars	P	214.03
577089	7/26/2006	0000002196 Southern California Housing Developm	P	296,144.36
577090	7/26/2006	0000014132 Sparks-Copeland, Francesca	P	84.00
577091	7/26/2006	0000015968 TFW Construction Inc.	P	50.00
577092	7/26/2006	0000015967 United Drywall Group LLC	P	50.00
577093	7/26/2006	0000002506 Victorville Firemen's Association	P	305.00



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City of Victorville Accounts Payable

Commercial Demand

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<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>	<u>Payment Status</u>	<u>Payment Amount</u>
577094	7/26/2006	0000002506 Victorville Firemen's Association	P	200.00
577095	7/26/2006	0000002504 City of Victorville Sanitation	P	25.03
<b>Check Total:</b>				<u>1,386,657.74</u>



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City of Victorville Accounts Payable

Commercial Demand

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1

Run Date

31.Jul.2006

Run Time

5:05:17 PM

<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>	<u>Payment Status</u>	<u>Payment Amount</u>
576519	7/12/2006	0000004553 Enviro Chek	V	-3,621.42
577096	7/27/2006	0000000781 State of California Board of	P	343,417.00
577097	7/31/2006	0000002228 Standard Insurance Co.	P	4,058.45
<b>Check Total:</b>				<u>343,854.03</u>



<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>	<u>Payment Status</u>	<u>Payment Amount</u>	
576974	7/26/2006	000008886	Mark Christopher Chevrolet	V	-2,500.00
577098	8/2/2006	0000013312	A&B Hitches and Mufflers	P	57.06
577099	8/2/2006	000002201	AAAE	P	225.00
577100	8/2/2006	0000012587	AAA Hose Connection	P	20.20
577101	8/2/2006	0000000047	Aardvark Pumping Servic	P	25.39
577102	8/2/2006	0000007363	Agajanian & Associates	P	18,900.00
577103	8/2/2006	0000009789	Aqua Tech Systems	P	5,725.31
577104	8/2/2006	0000000280	City of Barstow	P	1,893.10
577105	8/2/2006	0000000290	Battery Mart	P	1,048.68
577106	8/2/2006	0000000247	BCS Mechanical-Heating-Cooling-Plum	P	3,554.00
577107	8/2/2006	0000000297	Beck Oil, Inc.	P	1,103.91
577108	8/2/2006	0000000254	BNY Western Trust Company	P	2,756.00
577109	8/2/2006	0000015877	Boot Barn / American Worker	P	215.50
577110	8/2/2006	0000007827	Business & Legal Reports, Inc.	P	378.67
577111	8/2/2006	0000007827	Business & Legal Reports, Inc.	P	297.60
577112	8/2/2006	0000015941	C&M Electric	P	194.81
577113	8/2/2006	0000004242	California Bio-Mass, Inc.	P	1,987.34
577114	8/2/2006	0000006657	California Municipal Utilities Associati	P	2,350.00
577115	8/2/2006	0000010630	California Overnight	P	95.33
577116	8/2/2006	0000000510	Callaway Golf	P	200.18
577117	8/2/2006	0000016046	Camou, Robert	P	260.00
577118	8/2/2006	0000010029	CA Shopping Cart Retrieval	P	672.00
577119	8/2/2006	0000006067	Causey's Heating & Air-Conditioning	P	3,956.97
577120	8/2/2006	0000000543	Chabin Concepts, Inc.	P	8,656.25
577121	8/2/2006	0000012938	Cingular Wireless	P	190.12
577122	8/2/2006	0000010362	CIPTUG	P	1,000.00
577123	8/2/2006	0000005970	Clear Channel Communications	P	912.00
577124	8/2/2006	0000005970	Clear Channel Communications	P	600.00
577125	8/2/2006	0000016058	Colizzi, Casandra	P	15.00
577126	8/2/2006	0000000613	Commercial Engine Service	P	632.76
577127	8/2/2006	0000016047	The Compliance Group	P	937.50
577128	8/2/2006	0000010538	Conroy's Flowers	P	85.11
577129	8/2/2006	0000014230	Cooline	P	401.00
577130	8/2/2006	0000000668	Covered Wagon Pet & Equestrian	P	42.02
577131	8/2/2006	0000000671	Crawford's Distributing	P	473.89
577132	8/2/2006	0000000712	Daily Press	P	2,095.12
577133	8/2/2006	0000000743	Dell Marketing L.P.	P	5,028.07
577134	8/2/2006	0000000761	Desert Stationers	P	102.89
577135	8/2/2006	0000012049	Desert West Karts	P	74.35
577136	8/2/2006	0000016060	Designs By Vista	P	256.71
577137	8/2/2006	0000008893	DGA Consultants, Inc.	P	103,722.81
577138	8/2/2006	0000015943	Diversified Cryogenics, Inc.	P	99.92
577139	8/2/2006	0000013443	DRMcNatty & Associates, Inc.	P	1,500.00
577140	8/2/2006	0000015864	Earth Tech Inc.	P	49,137.76
577141	8/2/2006	0000013765	Electromark	P	738.79
577142	8/2/2006	0000004553	Enviro Chek	P	3,621.42
577143	8/2/2006	0000008681	Exhibit Works	P	5,118.48
577144	8/2/2006	0000006286	FirstLine, LLC	P	302.98
577145	8/2/2006	0000009437	Fore-Par	P	81.50
577146	8/2/2006	0000015787	Freeman Holdings of California, LLC	P	410.15
577147	8/2/2006	0000001003	G & M Business Interiors	P	1,398.54
577148	8/2/2006	0000001740	G.A. Osborne Pipe-Supply	P	398.11
577149	8/2/2006	0000014442	Gigantic Idea Studio	P	337.50



Check No.	Date	Vendor	Payment Status	Payment Amount
577150	8/2/2006	0000011689 Golf Ventures West	P	672.38
577151	8/2/2006	0000001943 Goodspeed Distributing, Inc.	P	63,306.10
577152	8/2/2006	0000001063 Goodyear Service Store	P	2,009.63
577153	8/2/2006	0000001074 Graham Equipment	P	226.28
577154	8/2/2006	0000011211 Great America Leasing Corp.	P	433.50
577155	8/2/2006	0000006269 Green, de Bortnowsky & Quintanilla, Ll	P	118,754.22
577156	8/2/2006	0000005697 Verizon	P	416.72
577157	8/2/2006	0000010761 Verizon Internet Solutions	P	82.42
577158	8/2/2006	0000001100 H & E Home Builders	P	195.80
577159	8/2/2006	0000001104 Haaker Equipment Co.	P	360.70
577160	8/2/2006	0000001123 Harbor Freight Tools	P	91.54
577161	8/2/2006	0000001096 HCS-Cutler	P	361.01
577162	8/2/2006	0000010428 Headsets.com	P	298.75
577163	8/2/2006	0000001155 Hesperia Hose Supply	P	120.46
577164	8/2/2006	0000001162 Hi-Desert Communications	P	15.00
577165	8/2/2006	0000008848 Hi Desert Fire Protection Service	P	148.80
577166	8/2/2006	0000001184 High Desert Laser Graphics	P	193.96
577167	8/2/2006	0000006742 High Desert Golf Center	P	160.00
577168	8/2/2006	0000001194 Hightech Signs	P	484.34
577169	8/2/2006	0000006707 Joseph M. Ho, M.D., Inc.	P	1,251.00
577170	8/2/2006	0000001218 Home Depot, Inc.	P	288.37
577171	8/2/2006	0000001218 Home Depot, Inc.	P	50,000.00
577172	8/2/2006	0000016062 Hopson, Roberta	P	163.00
577173	8/2/2006	0000015311 Ice Energy, Inc.	P	100,331.41
577174	8/2/2006	0000007512 Imperial Sprinkler Supply, Inc.	P	2,355.30
577175	8/2/2006	0000001271 Infotex, Inc.	P	1,735.00
577176	8/2/2006	0000007761 I O S Capital	P	1,304.34
577177	8/2/2006	0000009603 JCA Engineering, Inc.	P	4,160.00
577178	8/2/2006	0000008022 J.F. Porter Company, Inc.	P	13,178.61
577179	8/2/2006	0000012411 Johnson Power Systems	P	168.78
577180	8/2/2006	0000001359 Kamper's Korner	P	1,100.14
577181	8/2/2006	0000010837 Klamath Bay	P	116.70
577182	8/2/2006	0000001399 Kleinfelder, Inc.	P	6,660.63
577183	8/2/2006	0000001426 Lab Safety Supply co.	P	709.20
577184	8/2/2006	0000001416 Lawson Products, Inc.	P	674.35
577185	8/2/2006	0000008560 LeHigh Safety Shoe Co.	P	285.90
577186	8/2/2006	0000004986 Leslie's Pool Supplies	P	339.42
577187	8/2/2006	0000001462 Lindy T's Too!	P	1,928.99
577188	8/2/2006	0000006704 Lorman Education Services	P	20.00
577189	8/2/2006	0000010660 Loveland's Automotive Service	P	2,320.56
577190	8/2/2006	0000011722 Lowe's	P	76.58
577191	8/2/2006	0000001489 M&D Fire Equipment Company, Inc.	P	104.30
577192	8/2/2006	0000007650 Maaco	P	2,972.00
577193	8/2/2006	0000002716 MANPOWER	P	2,242.85
577194	8/2/2006	0000000361 Mark Brown & Associates, Inc.	P	110.00
577195	8/2/2006	0000010832 Mark Christopher Charity Classic	P	2,500.00
577196	8/2/2006	0000001548 McMaster-Carr Supply Co.	P	413.72
577197	8/2/2006	0000001558 Merrill's Garage Door, Inc.	P	75.00
577198	8/2/2006	0000016055 MLCLINEJR	P	3,250.00
577199	8/2/2006	0000001599 Mojave Desert AQMD	P	229.21
577200	8/2/2006	0000005448 MWB Business Systems	P	274.38
577201	8/2/2006	0000001648 NAPA Auto Parts	P	6,933.18
577202	8/2/2006	0000013396 Noah's Ark Animal Hospital	P	65.00
577203	8/2/2006	0000001711 Office Depot	P	564.47



Check No.	Date	Vendor	Payment Status	Payment Amount
577204	8/2/2006	000005341 Oriental Trading Company, Inc.	P	254.61
577205	8/2/2006	0000010156 Outback	P	1,635.00
577206	8/2/2006	0000001789 Parkhouse Tire, Inc.	P	77.83
577207	8/2/2006	0000009637 Parsons Brinckerhoff	P	8,591.35
577208	8/2/2006	0000001800 Paulson Paint	P	192.19
577209	8/2/2006	0000001810 Pep Boys	P	507.96
577210	8/2/2006	0000001815 Pervo Paint Co.	P	16,734.11
577211	8/2/2006	0000003033 Pitney Bowes	P	326.05
577212	8/2/2006	0000015872 Power Management, Inc.	P	111.59
577213	8/2/2006	0000004918 Precision Window Tinting	P	100.00
577214	8/2/2006	0000001886 Prudential Overall Supply	P	678.90
577215	8/2/2006	0000001760 PTL Electric	P	25,847.50
577216	8/2/2006	0000014577 PureRite Drinking Water	P	200.72
577217	8/2/2006	0000004348 Quill Corporation	P	1,077.03
577218	8/2/2006	0000004834 Radio Shack	P	463.97
577219	8/2/2006	0000001930 Rancho Motor Company	P	994.57
577220	8/2/2006	0000004504 S & S Worldwide	P	175.55
577221	8/2/2006	0000002019 Safelite Glass Corp.	P	241.07
577222	8/2/2006	0000002016 Safety-Kleen Corp.	P	176.98
577223	8/2/2006	0000002073 San Bernardino County Sheriff's Dept.	P	1,110,000.00
577224	8/2/2006	0000002071 San Bernardino County Solid Waste	P	369.20
577225	8/2/2006	0000002070 San Bernardino County Treasurer	P	12,035.00
577226	8/2/2006	0000016064 Scaletta, Christopher	P	185.58
577227	8/2/2006	0000008057 Selectron Technologies, Inc.	P	3,026.00
577228	8/2/2006	0000002155 Smart & Final	P	66.37
577229	8/2/2006	0000016050 Smith, Patron	P	34.00
577230	8/2/2006	0000002188 Southern California Edison	P	31,672.76
577231	8/2/2006	0000002206 Spartan Motors, Inc.	P	452.82
577232	8/2/2006	0000003860 SportsTurf	P	858.76
577233	8/2/2006	0000002227 Staples Credit Plan	P	32.71
577234	8/2/2006	0000002238 Stater Bros. Markets	P	43.05
577235	8/2/2006	0000014926 Steiny & Company, Inc.	P	3,506.68
577236	8/2/2006	0000003077 Stirling Airports International, LLC	P	387,979.66
577237	8/2/2006	0000003077 Stirling Airports International, LLC	P	111,594.00
577238	8/2/2006	0000007039 Stody Industrial & Welding Supply, In	P	79.68
577239	8/2/2006	0000002269 Sunland Ford	P	1,848.98
577240	8/2/2006	0000002204 Southwest Gas Corporation	P	10,035.73
577241	8/2/2006	0000002322 Tempo	P	2,310.46
577242	8/2/2006	0000003171 Tennis & Trophy World	P	109.91
577243	8/2/2006	0000011036 Time Warner Telecom	P	2,942.27
577244	8/2/2006	0000002346 Titleist	P	614.34
577245	8/2/2006	0000002360 Town & Country Tire	P	130.74
577246	8/2/2006	0000002372 Transwest Ford Truck Sales	P	215.03
577247	8/2/2006	0000015947 tWrite inc.	P	18,000.00
577248	8/2/2006	0000014613 UniFirst Corporation	P	53.56
577249	8/2/2006	0000002426 United Parcel Service	P	255.27
577250	8/2/2006	0000002403 URS Corporation	P	36,814.53
577251	8/2/2006	0000016051 U.S. Dept. of Transportation	P	11.97
577252	8/2/2006	0000002508 Victorville Glass	P	1,711.25
577253	8/2/2006	0000002736 Victor Valley High School District	P	135.78
577254	8/2/2006	0000002511 Victorville Motors	P	283.86
577255	8/2/2006	0000002879 Victor Valley Transit Authority	P	330.00
577256	8/2/2006	0000002499 Victor Valley Water District	P	28,214.99
577257	8/2/2006	0000002498 Victor Valley Wastewater Reclamation	P	265,882.09



Check No.	Date	Vendor	Payment Status	Payment Amount
577258	8/2/2006	000002533 Wal-Mart Store #01-1588	P	94.00
577259	8/2/2006	0000011361 Walters Wholesale Electric Co.	P	74.95
577260	8/2/2006	000002554 Waxie Sanitary Supply	P	3,219.81
577261	8/2/2006	000002555 Wayne's Engine Rebuilders	P	184.78
577262	8/2/2006	000002558 Webcoat Products	P	1,249.46
577263	8/2/2006	0000016053 Westbay Solutions Group	P	1,000.00
577264	8/2/2006	000002579 Western Outdoor Power Equipment Co.	P	2,352.93
577265	8/2/2006	0000015293 William Bower Associates Inc.	P	750.00
577266	8/2/2006	0000015293 William Bower Associates Inc.	P	22,887.25
577267	8/2/2006	000002632 Xerox Corporation	P	57.31
577268	8/2/2006	000002648 ZEP Manufacturing	P	235.27
577269	8/2/2006	0000010830 Zions Bank	P	91,867.22
577270	8/2/2006	000002201 AAAE	P	795.00
577271	8/2/2006	0000015445 Abuan, Anna L.	P	128.63
577272	8/2/2006	0000012751 Atkins, Lela	P	614.40
577273	8/2/2006	0000015805 Bennett-Jackson, Bonita	P	441.00
577274	8/2/2006	0000015805 Bennett-Jackson, Bonita	P	241.50
577275	8/2/2006	0000009818 BIA	P	260.00
577276	8/2/2006	0000009818 BIA	P	15.00
577277	8/2/2006	0000016061 Bowen, Robert	P	107.55
577278	8/2/2006	0000005734 Brown, Michael	P	20.14
577279	8/2/2006	0000006406 Burnell, Don	P	158.38
577280	8/2/2006	0000004461 Cabriales, Rodolfo N.	P	1,166.60
577281	8/2/2006	0000012381 Camarena, John	P	250.00
577282	8/2/2006	0000009344 Carter & Burgess, Inc.	P	761,767.53
577283	8/2/2006	0000003633 Colver, Tony	P	36.64
577284	8/2/2006	0000016059 Crenshaw, Thomas	P	643.85
577285	8/2/2006	0000015316 Dalin, Kyra	P	262.50
577286	8/2/2006	0000008506 DEO Enterprises	P	9,246.18
577287	8/2/2006	0000014843 Duncan, Penny L.	P	245.00
577288	8/2/2006	0000010264 Expansion Management	P	1,350.00
577289	8/2/2006	0000015258 Fitzgerald-Gutierrez, Jennifer M.	P	529.38
577290	8/2/2006	0000010120 Gil, Cindy	P	11.16
577291	8/2/2006	0000015410 Gonzalez, Oscar	P	100.00
577292	8/2/2006	0000012566 Guerra Fencing Studio	P	315.00
577293	8/2/2006	0000016063 Hamilton-Yates, Carla	P	455.00
577294	8/2/2006	0000001115 Hand of Wisdom	P	218.40
577295	8/2/2006	0000001173 High Desert Domestic Violence	P	3,150.10
577296	8/2/2006	0000003626 Hunter, Robert C.	P	761.52
577297	8/2/2006	0000013828 Jauss, George	P	627.50
577298	8/2/2006	0000002945 Jenkins, Timothy	P	50.00
577299	8/2/2006	0000015906 Jomaa, Walid	P	1,010.63
577300	8/2/2006	0000007566 Legal Aid Society of San Bernardino, Ir	P	1,250.60
577301	8/2/2006	0000016018 Luis, Carlos	P	49.00
577302	8/2/2006	0000001494 Maintenance Superintendent Associatio	P	1,050.00
577303	8/2/2006	0000007793 Marriott Hotel	P	1,488.60
577304	8/2/2006	0000015310 McBride, Susan L.	P	264.00
577305	8/2/2006	0000016054 Mills, Westley	P	84.00
577306	8/2/2006	0000015407 Morris, Nathan Vern	P	13.13
577307	8/2/2006	0000013881 Munn-Arvinger, Lee	P	252.00
577308	8/2/2006	0000015817 Nelson, Lisa	P	392.00
577309	8/2/2006	0000003200 O'Dell, Darrell	P	80.00
577310	8/2/2006	0000009129 Ogilvie-Harper, Marquita	P	287.32
577311	8/2/2006	0000015477 Phat Cat Swinger, LLC	P	800.00



<u>Check No.</u>	<u>Date</u>	<u>Vendor</u>	<u>Payment Status</u>	<u>Payment Amount</u>
577312	8/2/2006	0000013376 Phillips, Darryl	P	429.80
577313	8/2/2006	0000011023 RK Gott's Tumbling	P	1,949.19
577314	8/2/2006	0000003589 Rodriguez, Louie	P	247.87
577315	8/2/2006	0000014515 Sauve, Jaime	P	910.00
577316	8/2/2006	0000002037 San Bernardino County	P	25.00
577317	8/2/2006	0000002050 San Bernardino County Recorder	P	1,896.00
577318	8/2/2006	0000002050 San Bernardino County Recorder	P	1,740.00
577319	8/2/2006	0000014902 Seishin Shotokan Karate, Inc.	P	424.38
577320	8/2/2006	0000015742 Sheraton Hotel	P	546.68
577321	8/2/2006	0000006816 Soderquist, Peter	P	265.18
577322	8/2/2006	0000016049 Taco Grande Mexican Food	P	315.10
577323	8/2/2006	0000009567 Tate, Mark	P	84.00
577324	8/2/2006	0000009312 Toys R Us	P	103.41
577325	8/2/2006	0000002504 City of Victorville Sanitation	P	97.98
577326	8/2/2006	0000016052 W. E. O'Neil Construction Co.	P	62.15
577327	8/2/2006	0000012374 The Westin La Paloma Resort & Spa	P	190.49
577328	8/2/2006	0000012141 Wicker, Tina	P	490.00
577329	8/2/2006	0000002818 Craig Willhite's Instruction	P	764.75

Check Total:

3,644,750.01



**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

SUBMITTED BY: Adair Patterson  
Director of Finance

DATE: July 25, 2006

SUBJECT: PAYROLL WARRANT LIST

RECOMMENDATION: That the Honorable City Council approve Payroll Demand Schedule No. 1A, for Payroll Period June 17, 2006 through June 30, 2006, in the amount of \$1,195,335.17 covering Warrant Nos. 20181 through 20241 and Advice Nos. 101702 through 102243 inclusive.

FISCAL IMPACT: Payroll gross total amount  
\$1,195,335.17

Budget Amount: \$1,195,335.17  
Budget Account No.: Various

DISCUSSION: I hereby certify that the claims or demands covered by the attached list of warrants have been audited as to the accuracy and availability of funds for payment thereof and that said claims or demands are accurate and the funds are available for payment thereof.

--Finance Dept. Use Only--  
Additional Appropriation:

No  
 Yes/Amount:

Finance Director Review and  
Approval AP

  
\_\_\_\_\_  
DIRECTOR OF FINANCE

AMP/hdk

Attachment - Payroll Warrant List



# City of Victorville

Date: 07/25/06

## City Council Payroll Report Payroll Period Ending: June 30, 2006

<u>Employee Number</u>	<u>Check #</u>	<u>Total Gross</u>	<u>Check Date</u>
1417	101961	1,660.23	7/7/2006
2396	102095	739.76	7/7/2006
1515	20187	1,767.77	7/7/2006
1871	101775	1,697.62	7/7/2006
2052	102096	401.28	7/7/2006
1883	102186	2,334.84	7/7/2006
1970	101866	1,663.92	7/7/2006
1305	102187	3,582.69	7/7/2006
1379	20239	1,481.17	7/7/2006
1097	101867	1,997.44	7/7/2006
2414	20201	373.67	7/7/2006
1169	101776	1,767.77	7/7/2006
1024	101796	2,638.69	7/7/2006
1005	101712	1,959.31	7/7/2006
2402	102097	372.02	7/7/2006
1007	101713	3,364.69	7/7/2006
1063	101704	1,767.77	7/7/2006
2357	101748	1,507.00	7/7/2006
1746	101962	2,269.46	7/7/2006
2142	102053	659.08	7/7/2006
1681	20202	788.83	7/7/2006
1258	102098	782.08	7/7/2006
2354	101777	1,697.62	7/7/2006
2422	20203	430.43	7/7/2006
1853	102028	2,368.69	7/7/2006
1025	101963	2,221.92	7/7/2006
1520	101868	1,956.27	7/7/2006
2343	102099	977.60	7/7/2006
2326	102075	1,038.70	7/7/2006
1026	101964	4,151.96	7/7/2006
1949	101767	2,471.48	7/7/2006
2043	101778	2,218.73	7/7/2006
2405	102100	351.12	7/7/2006
1061	101705	3,440.85	7/7/2006
2210	101950	3,489.69	7/7/2006
1244	102188	3,676.82	7/7/2006
1099	101869	2,581.92	7/7/2006
1170	101779	5,190.42	7/7/2006
1457	101714	2,318.38	7/7/2006
1027	101965	1,879.92	7/7/2006
1027	101966	10,655.08	7/7/2006
1100	101870	1,997.44	7/7/2006
2329	102101	684.32	7/7/2006
2384	102076	782.08	7/7/2006
1078	101835	2,638.69	7/7/2006
1308	102054	263.68	7/7/2006
1727	101871	1,697.62	7/7/2006
1243	102189	3,304.87	7/7/2006
1187	102190	3,933.07	7/7/2006

2382	102102	806.52	7/7/2006
1101	101872	2,220.93	7/7/2006
1966	101967	1,631.15	7/7/2006
2157	102103	979.20	7/7/2006
1849	101797	3,364.69	7/7/2006
1212	20236	5,059.52	7/7/2006
2092	101798	2,419.92	7/7/2006
2394	101799	1,507.00	7/7/2006
1699	102104	604.89	7/7/2006
1497	101873	2,368.70	7/7/2006
1739	102192	3,439.00	7/7/2006
1261	20204	794.30	7/7/2006
1721	102193	3,262.17	7/7/2006
1174	102194	5,384.91	7/7/2006
1697	101749	2,845.68	7/7/2006
2192	101874	1,507.00	7/7/2006
1451	101715	2,130.08	7/7/2006
2416	102105	456.45	7/7/2006
2415	102106	643.72	7/7/2006
2149	102107	44.94	7/7/2006
1843	102055	98.88	7/7/2006
1103	101875	2,175.31	7/7/2006
1973	101716	2,880.08	7/7/2006
1644	101800	2,368.69	7/7/2006
1104	101836	2,193.31	7/7/2006
1450	102241	1,481.17	7/7/2006
1833	102195	2,713.61	7/7/2006
2050	101801	1,697.62	7/7/2006
1748	101717	2,269.46	7/7/2006
2377	102108	782.08	7/7/2006
1426	102109	782.08	7/7/2006
1381	102242	1,481.17	7/7/2006
1225	101750	2,792.10	7/7/2006
2217	20185	2,318.38	7/7/2006
2411	20205	100.32	7/7/2006
1068	101951	3,327.62	7/7/2006
1227	20237	3,969.27	7/7/2006
1989	102197	2,310.68	7/7/2006
2034	102110	977.60	7/7/2006
1030	101968	2,221.92	7/7/2006
1963	101876	2,367.28	7/7/2006
1079	101837	3,363.58	7/7/2006
1898	101877	1,697.62	7/7/2006
1576	101751	2,638.69	7/7/2006
1620	102111	871.86	7/7/2006
2017	20206	351.12	7/7/2006
1523	102198	3,631.08	7/7/2006
1437	102077	1,069.25	7/7/2006
1032	101969	2,126.93	7/7/2006
1105	101878	3,300.26	7/7/2006
1265	102112	341.22	7/7/2006
2254	101802	2,221.92	7/7/2006
2082	101718	1,598.85	7/7/2006
1962	102029	2,221.92	7/7/2006
1353	101780	1,697.62	7/7/2006
1033	101970	2,000.38	7/7/2006

1266	101879	2,000.38	7/7/2006
2204	102030	1,507.01	7/7/2006
2323	101803	2,269.46	7/7/2006
1392	102031	4,030.69	7/7/2006
2205	101971	2,472.54	7/7/2006
1267	101972	1,697.62	7/7/2006
1678	102113	56.75	7/7/2006
1909	102114	320.64	7/7/2006
1850	101804	3,010.23	7/7/2006
1767	101719	2,000.38	7/7/2006
1447	101781	2,581.92	7/7/2006
1108	101880	2,816.04	7/7/2006
2214	102056	1,643.52	7/7/2006
2126	102115	830.96	7/7/2006
2231	102049	1,007.44	7/7/2006
2360	102116	684.32	7/7/2006
1109	101881	2,139.35	7/7/2006
1268	102117	764.72	7/7/2006
1172	101782	3,042.90	7/7/2006
1110	101882	2,085.77	7/7/2006
2262	102078	1,038.70	7/7/2006
1111	101883	2,368.69	7/7/2006
1919	101952	3,559.06	7/7/2006
1080	101838	3,364.69	7/7/2006
1750	101884	2,000.38	7/7/2006
2228	20241	1,767.77	7/7/2006
2228	101885	1,767.77	7/7/2006
2228	101885	(1,767.77)	7/7/2006
2053	102199	2,334.84	7/7/2006
1112	101886	2,445.78	7/7/2006
1070	20183	2,682.30	7/7/2006
2373	102019	1,507.00	7/7/2006
2238	101805	1,767.77	7/7/2006
2103	102094	1,107.69	7/7/2006
2282	102057	154.08	7/7/2006
2413	102118	681.12	7/7/2006
2115	101953	2,000.38	7/7/2006
2327	102079	782.08	7/7/2006
1656	101887	1,567.46	7/7/2006
2364	101806	1,959.31	7/7/2006
1271	20207	391.04	7/7/2006
2337	101752	2,318.38	7/7/2006
2319	102058	34.24	7/7/2006
2279	101954	2,541.09	7/7/2006
1978	101973	1,732.23	7/7/2006
2139	101720	1,959.31	7/7/2006
2156	102119	438.90	7/7/2006
1199	102200	5,706.03	7/7/2006
1715	101721	1,959.31	7/7/2006
1165	101839	2,817.31	7/7/2006
2347	101840	1,804.23	7/7/2006
1522	101807	2,944.23	7/7/2006
2105	101808	2,445.78	7/7/2006
1272	101974	2,000.38	7/7/2006
2166	102120	976.10	7/7/2006
2190	101888	1,208.50	7/7/2006

2345	102121	794.30	7/7/2006
2150	102080	861.51	7/7/2006
1037	102032	1,841.62	7/7/2006
2040	102052	305.96	7/7/2006
2424	20208	348.27	7/7/2006
2063	102122	175.56	7/7/2006
1453	101722	2,269.46	7/7/2006
2160	102123	315.59	7/7/2006
1249	101889	2,099.13	7/7/2006
2397	101955	2,222.73	7/7/2006
2355	101809	1,507.00	7/7/2006
2332	101890	1,598.85	7/7/2006
2026	101753	1,697.62	7/7/2006
2206	101891	1,919.15	7/7/2006
2236	102068	782.08	7/7/2006
2125	101956	1,954.92	7/7/2006
2259	101841	3,418.36	7/7/2006
1438	101892	2,269.46	7/7/2006
1971	102033	1,785.81	7/7/2006
1315	101783	2,160.07	7/7/2006
2369	101842	3,217.92	7/7/2006
2020	102124	849.29	7/7/2006
2312	102081	1,038.70	7/7/2006
2087	101975	1,567.46	7/7/2006
1987	20195	607.76	7/7/2006
1190	102201	3,969.27	7/7/2006
1841	20188	1,841.62	7/7/2006
1407	101843	3,659.60	7/7/2006
1448	20210	461.31	7/7/2006
1009	101723	3,364.69	7/7/2006
1117	20189	2,944.23	7/7/2006
1118	101810	2,638.69	7/7/2006
1232	102202	4,505.44	7/7/2006
2163	101893	1,841.62	7/7/2006
2391	102020	2,000.38	7/7/2006
1740	102203	4,621.40	7/7/2006
2099	102125	427.70	7/7/2006
1625	101894	2,368.69	7/7/2006
1233	102204	4,777.87	7/7/2006
2248	20211	879.84	7/7/2006
2221	101754	1,919.15	7/7/2006
1316	102059	197.76	7/7/2006
1801	101755	1,841.62	7/7/2006
2363	101784	1,697.62	7/7/2006
1218	102205	2,992.51	7/7/2006
1319	102060	73.13	7/7/2006
1588	101895	1,855.95	7/7/2006
2305	20196	17.12	7/7/2006
2189	101724	1,919.15	7/7/2006
1900	101785	1,767.77	7/7/2006
2109	102126	977.60	7/7/2006
1119	20190	2,085.77	7/7/2006
1038	101976	5,042.54	7/7/2006
1082	101844	8,855.38	7/7/2006
2084	101977	1,631.15	7/7/2006
1706	102021	3,202.62	7/7/2006

1011	101725	2,269.46	7/7/2006
1901	101845	4,155.69	7/7/2006
1698	101896	2,269.46	7/7/2006
1890	102034	1,819.18	7/7/2006
2366	101726	1,537.00	7/7/2006
1121	101897	2,812.24	7/7/2006
1664	102127	721.92	7/7/2006
2062	101978	1,567.46	7/7/2006
2224	101898	1,025.22	7/7/2006
1123	101899	2,620.71	7/7/2006
1903	101979	1,537.00	7/7/2006
2278	101846	2,581.92	7/7/2006
2324	101957	1,974.01	7/7/2006
2181	102082	782.08	7/7/2006
1865	101900	1,507.00	7/7/2006
2039	102128	684.32	7/7/2006
1597	102206	2,259.82	7/7/2006
2223	101811	1,959.31	7/7/2006
1335	102207	3,816.04	7/7/2006
2297	102129	612.26	7/7/2006
2031	101756	2,419.92	7/7/2006
1749	101958	3,353.44	7/7/2006
2209	101812	1,767.77	7/7/2006
1234	102208	3,933.74	7/7/2006
2386	102130	721.92	7/7/2006
2285	102131	708.76	7/7/2006
2113	102022	3,069.23	7/7/2006
2025	102132	696.96	7/7/2006
1197	102209	3,799.51	7/7/2006
2232	102050	753.71	7/7/2006
1610	102133	552.96	7/7/2006
2350	101786	1,697.62	7/7/2006
1084	101847	2,817.31	7/7/2006
1957	101768	1,879.92	7/7/2006
2108	102134	1,059.68	7/7/2006
2403	102135	879.84	7/7/2006
1723	101901	1,732.23	7/7/2006
1999	101813	1,919.15	7/7/2006
2412	20181	398.74	6/23/2006
2107	102035	1,507.00	7/7/2006
1125	101902	2,368.69	7/7/2006
1124	101903	2,581.92	7/7/2006
2336	101757	1,841.62	7/7/2006
1277	102136	274.95	7/7/2006
2120	102069	250.00	7/7/2006
1760	101904	1,913.25	7/7/2006
1952	102023	1,697.62	7/7/2006
2401	20212	386.65	7/7/2006
2090	101848	3,290.38	7/7/2006
2093	101980	2,581.92	7/7/2006
2301	102137	702.65	7/7/2006
2378	102138	782.08	7/7/2006
1382	102243	1,481.17	7/7/2006
2417	20213	785.18	7/7/2006
2069	101981	1,631.15	7/7/2006
1975	102139	394.10	7/7/2006

1547	101814	2,269.46	7/7/2006
1758	101982	2,817.31	7/7/2006
1866	101983	2,817.31	7/7/2006
2225	101815	2,269.46	7/7/2006
1990	102036	2,639.12	7/7/2006
1040	101984	1,879.92	7/7/2006
1126	101905	2,875.64	7/7/2006
1127	101906	3,489.69	7/7/2006
2168	20214	484.88	7/7/2006
2196	20197	8.56	7/7/2006
2340	101907	1,507.00	7/7/2006
2252	102210	2,439.27	7/7/2006
2258	101769	2,419.92	7/7/2006
2328	102061	395.52	7/7/2006
1128	101908	2,817.31	7/7/2006
2019	101727	1,732.23	7/7/2006
1995	102062	98.88	7/7/2006
1915	102140	261.36	7/7/2006
2421	20215	104.06	7/7/2006
2299	20198	17.12	7/7/2006
1012	101728	1,959.31	7/7/2006
1513	101909	1,812.06	7/7/2006
1250	102083	757.64	7/7/2006
1744	102037	2,794.60	7/7/2006
1162	101985	2,368.69	7/7/2006
2250	102141	262.73	7/7/2006
1207	102211	4,491.36	7/7/2006
2286	102084	782.08	7/7/2006
2381	20184	1,507.00	7/7/2006
2316	101729	1,537.00	7/7/2006
1518	101730	3,364.69	7/7/2006
1544	101731	2,318.38	7/7/2006
1855	102070	250.00	7/7/2006
2098	101758	1,631.15	7/7/2006
1907	101910	1,429.40	7/7/2006
2246	101986	1,663.92	7/7/2006
1086	101849	2,472.54	7/7/2006
2264	101987	1,507.00	7/7/2006
1131	101911	2,786.24	7/7/2006
1201	102212	5,199.60	7/7/2006
2146	20216	766.13	7/7/2006
2392	102142	721.92	7/7/2006
1188	20182	3,940.23	7/7/2006
2118	101912	1,507.00	7/7/2006
1710	101706	1,919.15	7/7/2006
2194	20217	445.28	7/7/2006
2321	102143	1,032.75	7/7/2006
2049	101732	1,697.62	7/7/2006
1998	101850	2,526.54	7/7/2006
2314	102144	720.98	7/7/2006
2404	102145	407.55	7/7/2006
2012	20218	1,399.32	7/7/2006
2102	101816	1,567.46	7/7/2006
2419	20219	562.87	7/7/2006
2097	101759	1,697.62	7/7/2006
2266	102146	718.74	7/7/2006

2376	101851	2,472.54	7/7/2006
2233	101760	1,919.15	7/7/2006
1132	101913	1,631.15	7/7/2006
2119	102085	830.96	7/7/2006
2195	101914	1,598.85	7/7/2006
1953	101817	1,804.23	7/7/2006
1979	102147	519.35	7/7/2006
1510	101988	2,000.38	7/7/2006
2406	20220	313.50	7/7/2006
2256	102213	3,021.62	7/7/2006
1643	101989	2,817.31	7/7/2006
1988	102214	2,412.18	7/7/2006
1282	101990	1,879.92	7/7/2006
2035	102148	164.97	7/7/2006
1955	101915	2,215.94	7/7/2006
1607	102149	513.24	7/7/2006
2387	20221	879.84	7/7/2006
1066	101818	1,767.77	7/7/2006
1449	101916	2,130.08	7/7/2006
2006	102024	2,000.38	7/7/2006
2379	101991	1,879.92	7/7/2006
2251	102215	2,412.18	7/7/2006
1524	102216	3,190.36	7/7/2006
2247	102150	800.41	7/7/2006
1321	102217	3,877.95	7/7/2006
1134	101917	2,085.77	7/7/2006
2310	101992	1,507.01	7/7/2006
2111	101918	2,568.87	7/7/2006
2134	101919	1,631.15	7/7/2006
1194	102218	3,758.33	7/7/2006
1087	102038	1,767.77	7/7/2006
1135	101920	2,368.69	7/7/2006
2302	101993	1,697.62	7/7/2006
1014	101733	1,767.77	7/7/2006
2353	101788	1,631.15	7/7/2006
1322	102063	371.25	7/7/2006
2288	102151	782.82	7/7/2006
1757	102071	250.00	7/7/2006
1377	102039	2,245.15	7/7/2006
1088	101852	5,271.46	7/7/2006
1015	101734	2,130.08	7/7/2006
1361	102152	385.90	7/7/2006
1394	101921	2,693.49	7/7/2006
2122	102153	501.02	7/7/2006
1043	101994	2,696.85	7/7/2006
1136	101922	2,000.38	7/7/2006
2155	102154	589.38	7/7/2006
1632	101923	2,126.93	7/7/2006
1077	101924	1,767.77	7/7/2006
1635	101735	3,364.69	7/7/2006
1064	102025	4,824.23	7/7/2006
1653	102072	250.00	7/7/2006
2334	102051	1,014.90	7/7/2006
1137	101925	2,085.77	7/7/2006
1017	101736	2,817.31	7/7/2006
2237	101737	2,000.38	7/7/2006

1703	101853	3,217.92	7/7/2006
2071	101819	2,221.92	7/7/2006
1941	101854	2,858.45	7/7/2006
1400	102026	2,368.69	7/7/2006
1655	101926	1,749.54	7/7/2006
2342	102155	782.08	7/7/2006
1389	101927	2,066.24	7/7/2006
1139	102048	1,767.77	7/7/2006
2383	102086	782.08	7/7/2006
2239	20222	782.08	7/7/2006
1140	20191	1,863.12	7/7/2006
1081	102040	2,368.69	7/7/2006
1173	101789	2,368.69	7/7/2006
1242	101790	1,919.15	7/7/2006
1621	101738	4,065.23	7/7/2006
2322	20199	360.00	7/7/2006
1044	101995	2,581.92	7/7/2006
1937	102041	2,893.09	7/7/2006
1875	101820	1,767.77	7/7/2006
2287	101770	1,507.00	7/7/2006
1923	102156	774.40	7/7/2006
2275	101739	1,732.23	7/7/2006
1531	102219	2,598.58	7/7/2006
1336	102220	5,965.03	7/7/2006
1427	101996	2,269.46	7/7/2006
1439	101928	2,085.77	7/7/2006
1333	102221	3,172.61	7/7/2006
1612	101929	1,507.00	7/7/2006
1062	101707	1,841.62	7/7/2006
1046	101997	1,767.77	7/7/2006
1364	102222	3,470.62	7/7/2006
1790	101702	1,919.15	7/7/2006
2390	20223	782.08	7/7/2006
2335	20200	769.86	7/7/2006
1287	101998	2,130.08	7/7/2006
1287	101999	4,088.42	7/7/2006
2046	101930	1,767.77	7/7/2006
2170	102157	438.90	7/7/2006
2296	102158	837.07	7/7/2006
2208	102223	2,786.71	7/7/2006
2409	101959	2,210.23	7/7/2006
2308	102159	971.49	7/7/2006
1090	101855	2,368.69	7/7/2006
1003	101740	5,471.46	7/7/2006
2410	102160	867.62	7/7/2006
1142	102047	5,948.59	7/7/2006
2399	20224	426.36	7/7/2006
1415	102224	2,262.54	7/7/2006
2240	101821	2,639.54	7/7/2006
1533	101741	1,959.31	7/7/2006
1902	101742	2,638.69	7/7/2006
2375	20193	1,507.00	7/7/2006
1178	101791	3,940.23	7/7/2006
1073	102042	3,364.69	7/7/2006
1202	20238	3,882.90	7/7/2006
2290	102161	977.60	7/7/2006

1168	102226	3,692.38	7/7/2006
1939	20225	1,220.13	7/7/2006
1332	102227	5,591.56	7/7/2006
1776	101856	2,817.31	7/7/2006
1254	101931	2,261.65	7/7/2006
2185	102064	684.80	7/7/2006
2226	102073	250.00	7/7/2006
1203	102228	3,741.87	7/7/2006
2361	101743	1,537.00	7/7/2006
1208	102229	3,799.51	7/7/2006
2263	102230	3,101.32	7/7/2006
1045	101857	2,472.54	7/7/2006
1911	20226	703.70	7/7/2006
2368	102087	782.08	7/7/2006
2178	101761	2,130.08	7/7/2006
1838	102162	782.08	7/7/2006
1001	101771	5,471.46	7/7/2006
1873	102163	696.54	7/7/2006
1762	102043	2,627.95	7/7/2006
2174	20227	1,149.19	7/7/2006
1733	102231	2,437.57	7/7/2006
1629	101703	4,418.54	7/7/2006
2008	102000	1,841.62	7/7/2006
1877	102001	3,489.69	7/7/2006
1742	101822	2,484.64	7/7/2006
2341	101762	2,318.38	7/7/2006
2128	101823	1,507.00	7/7/2006
2009	102002	1,507.00	7/7/2006
1091	101708	10,273.00	7/7/2006
2114	101824	2,581.92	7/7/2006
2220	101858	1,567.46	7/7/2006
1950	101709	4,616.54	7/7/2006
2096	102164	947.05	7/7/2006
1338	101932	2,521.35	7/7/2006
1940	20228	400.09	7/7/2006
1145	101933	3,095.02	7/7/2006
2423	20229	41.80	7/7/2006
2313	102165	684.32	7/7/2006
2229	102074	1,059.68	7/7/2006
2418	102166	275.88	7/7/2006
2320	102088	782.08	7/7/2006
1751	101744	3,217.92	7/7/2006
1383	20240	1,481.17	7/7/2006
1146	101934	1,938.68	7/7/2006
1147	101935	2,314.98	7/7/2006
2393	102167	867.62	7/7/2006
1626	102003	3,489.69	7/7/2006
2380	20209	879.84	7/7/2006
1048	102004	8,628.86	7/7/2006
1342	20186	2,987.54	7/7/2006
2060	102168	225.72	7/7/2006
1049	102005	2,275.50	7/7/2006
2235	101745	1,879.92	7/7/2006
1614	101772	2,756.38	7/7/2006
2349	102089	684.32	7/7/2006
1964	101936	2,581.92	7/7/2006

1452	101763	3,305.99	7/7/2006
2117	101825	2,419.92	7/7/2006
1938	102169	164.56	7/7/2006
2300	101746	1,845.86	7/7/2006
2295	102170	756.80	7/7/2006
2374	101860	2,492.79	7/7/2006
2307	102171	96.80	7/7/2006
1181	102232	6,284.62	7/7/2006
2002	101826	1,801.00	7/7/2006
2249	101827	2,221.92	7/7/2006
1904	101937	2,275.37	7/7/2006
2027	102044	2,158.00	7/7/2006
2352	101792	1,631.15	7/7/2006
1859	102045	5,271.46	7/7/2006
1959	102006	1,697.62	7/7/2006
2054	101773	2,221.92	7/7/2006
1328	102233	4,642.05	7/7/2006
1862	102065	197.76	7/7/2006
2038	102007	1,567.46	7/7/2006
1152	101938	4,218.54	7/7/2006
1051	102008	2,418.38	7/7/2006
1051	102009	2,958.83	7/7/2006
1022	101747	2,368.69	7/7/2006
1000	101764	5,271.46	7/7/2006
1747	101939	2,368.69	7/7/2006
1852	101793	2,937.51	7/7/2006
1851	101828	3,060.58	7/7/2006
1454	101794	2,756.38	7/7/2006
1996	101861	2,269.46	7/7/2006
2171	20230	307.45	7/7/2006
1893	101940	1,732.23	7/7/2006
1155	102046	2,221.92	7/7/2006
1627	101829	3,077.62	7/7/2006
2202	101862	2,285.21	7/7/2006
2197	102010	1,879.92	7/7/2006
1334	102234	4,665.30	7/7/2006
2085	102090	782.08	7/7/2006
1906	101941	2,471.48	7/7/2006
1707	101765	2,368.69	7/7/2006
2074	101942	1,631.15	7/7/2006
1156	101943	1,879.92	7/7/2006
2032	101766	2,443.40	7/7/2006
2395	102027	2,000.38	7/7/2006
2271	20231	376.20	7/7/2006
2291	102066	17.12	7/7/2006
1053	102011	2,175.31	7/7/2006
2400	102172	384.56	7/7/2006
1648	102012	1,804.23	7/7/2006
2257	102091	782.08	7/7/2006
2330	102173	782.08	7/7/2006
1822	101944	1,713.22	7/7/2006
2042	101774	3,440.85	7/7/2006
1157	101945	1,822.32	7/7/2006
1792	102174	97.76	7/7/2006
1581	101946	2,107.23	7/7/2006
1534	101830	2,269.46	7/7/2006

2408	102175	213.18	7/7/2006
1752	101947	2,175.31	7/7/2006
2267	20232	849.29	7/7/2006
2023	102176	818.29	7/7/2006
2389	102177	977.60	7/7/2006
1932	20192	1,507.01	7/7/2006
2339	102013	1,335.36	7/7/2006
2344	20235	1,087.58	7/7/2006
2253	102235	2,412.18	7/7/2006
1412	102178	782.08	7/7/2006
2359	102179	971.49	7/7/2006
1176	102236	3,799.51	7/7/2006
2388	102180	855.40	7/7/2006
1330	102067	494.40	7/7/2006
1177	102237	3,093.01	7/7/2006
1917	102181	389.70	7/7/2006
1056	102014	2,368.69	7/7/2006
1057	102015	1,767.77	7/7/2006
2211	101831	2,368.69	7/7/2006
2047	101832	5,271.46	7/7/2006
2138	101710	2,706.92	7/7/2006
1414	102238	5,172.78	7/7/2006
2420	20233	437.53	7/7/2006
1823	20234	993.13	7/7/2006
1182	102239	3,703.56	7/7/2006
1211	102240	4,334.84	7/7/2006
2153	102182	595.32	7/7/2006
1343	101863	2,638.69	7/7/2006
1058	102016	1,879.92	7/7/2006
2425	20194	146.88	7/7/2006
1766	102092	702.65	7/7/2006
2091	101833	2,419.92	7/7/2006
1977	102183	177.19	7/7/2006
2348	102093	782.08	7/7/2006
2191	102017	1,507.00	7/7/2006
1094	101864	3,845.61	7/7/2006
1159	101948	2,000.38	7/7/2006
1545	101711	2,126.06	7/7/2006
1912	102184	637.45	7/7/2006
1237	101834	5,271.46	7/7/2006
1729	101949	2,000.38	7/7/2006
2203	102018	3,342.92	7/7/2006
1304	102185	409.37	7/7/2006
1503	101865	2,175.31	7/7/2006
2260	101960	2,484.82	7/7/2006
1205	101795	2,848.71	7/7/2006
		1,195,335.17	



**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

SUBMITTED BY: Adair Patterson *Ap*  
Director of Finance

DATE: July 25, 2006

SUBJECT: PAYROLL WARRANT LIST

RECOMMENDATION: That the Honorable City Council approve Payroll Demand Schedule No. 1B, for Payroll Period July 1, 2006 through July 14, 2006, in the amount of \$1,505,150.63 covering Warrant Nos. 20242 through 20491 and Advice Nos. 102244 through 102772 inclusive.

FISCAL IMPACT: Payroll gross total amount  
\$1,505,150.63

Budget Amount: \$1,505,150.63  
Budget Account No.: Various

DISCUSSION: I hereby certify that the claims or demands covered by the attached list of warrants have been audited as to the accuracy and availability of funds for payment thereof and that said claims or demands are accurate and the funds are available for payment thereof.

--Finance Dept. Use Only--  
Additional Appropriation:

No  
 Yes/Amount:

Finance Director Review and  
Approval *Ap*

*Adair Patterson*

\_\_\_\_\_  
DIRECTOR OF FINANCE

AMP/hdk

Attachment - Payroll Warrant List



# City of Victorville

Date: 07/25/06

## City Council Payroll Report Payroll Period Ending: July 14, 2006

<u>Employee Number</u>	<u>Check #</u>	<u>Total Gross</u>	<u>Check Date</u>
1417	102502	1,762.69	7/21/2006
2396	102624	774.48	7/21/2006
1515	20257	1,836.54	7/21/2006
1515	20388	377.33	7/21/2006
1871	102317	1,762.69	7/21/2006
2052	102625	415.63	7/21/2006
1883	102719	2,525.64	7/21/2006
1970	102408	1,780.18	7/21/2006
1305	102720	3,685.54	7/21/2006
1097	102409	1,954.23	7/21/2006
2414	102626	346.50	7/21/2006
2281	20270	85.12	7/21/2006
1169	20352	300.05	7/21/2006
1169	102318	1,836.54	7/21/2006
1024	20360	1,395.42	7/21/2006
1024	102338	2,811.31	7/21/2006
1005	102256	2,037.31	7/21/2006
2402	102627	595.00	7/21/2006
2432	20288	780.19	7/21/2006
1007	102257	3,757.00	7/21/2006
1063	20328	218.22	7/21/2006
1063	102246	1,836.54	7/21/2006
2357	102292	1,562.85	7/21/2006
1746	20444	953.77	7/21/2006
1746	102503	2,362.69	7/21/2006
2142	102590	1,128.91	7/21/2006
1681	20289	864.27	7/21/2006
1258	102628	818.56	7/21/2006
2354	102319	2,197.60	7/21/2006
2422	20290	306.90	7/21/2006
1853	102565	2,251.19	7/21/2006
1025	20445	1,073.77	7/21/2006
1025	102504	2,312.84	7/21/2006
1520	20389	496.80	7/21/2006
1520	102410	2,409.41	7/21/2006
2343	102629	920.88	7/21/2006
2326	102606	1,119.13	7/21/2006
1026	20446	852.01	7/21/2006
1026	102505	1,954.23	7/21/2006
1949	20245	2,508.39	7/21/2006
2043	20353	224.70	7/21/2006
2043	102320	3,073.68	7/21/2006
2405	102630	568.75	7/21/2006
1061	20329	948.13	7/21/2006
1061	102247	3,843.31	7/21/2006
2210	102491	3,882.00	7/21/2006
1244	102721	4,008.58	7/21/2006
1099	20390	1,361.35	7/21/2006
1099	102411	3,158.99	7/21/2006

1170	20354	2,377.74	7/21/2006
1170	102321	6,134.85	7/21/2006
1457	20335	319.36	7/21/2006
1457	102258	2,413.93	7/21/2006
1027	20447	940.15	7/21/2006
1027	102506	1,954.23	7/21/2006
1100	20391	940.15	7/21/2006
1100	102412	2,012.99	7/21/2006
2329	102631	613.92	7/21/2006
2384	102607	818.56	7/21/2006
1078	20372	1,395.42	7/21/2006
1078	102377	2,750.38	7/21/2006
1308	102591	108.05	7/21/2006
1727	20392	450.00	7/21/2006
1727	102413	2,469.42	7/21/2006
1243	102722	3,872.50	7/21/2006
1187	20480	757.16	7/21/2006
1187	102723	4,107.81	7/21/2006
2382	102632	952.86	7/21/2006
1101	102414	2,311.55	7/21/2006
1966	20448	98.20	7/21/2006
1966	102507	1,692.54	7/21/2006
2157	102633	1,037.00	7/21/2006
1849	20361	1,468.63	7/21/2006
1849	102339	4,007.00	7/21/2006
1212	20324	3,859.89	7/21/2006
2092	102340	2,575.93	7/21/2006
2394	102341	1,562.85	7/21/2006
1699	102634	722.64	7/21/2006
2385	102592	17.92	7/21/2006
1497	20393	520.35	7/21/2006
1497	102415	2,466.54	7/21/2006
1739	102725	3,080.45	7/21/2006
2079	102593	215.04	7/21/2006
2429	20271	17.92	7/21/2006
1261	20291	818.56	7/21/2006
1721	102726	3,565.72	7/21/2006
1174	102727	4,374.42	7/21/2006
1697	20347	1,076.62	7/21/2006
1697	102293	3,231.43	7/21/2006
2192	102416	1,562.85	7/21/2006
1451	20336	1,090.25	7/21/2006
1451	102259	2,216.38	7/21/2006
2416	102635	351.45	7/21/2006
2415	102636	492.19	7/21/2006
2149	102637	462.34	7/21/2006
1843	102594	413.86	7/21/2006
1103	102417	2,263.93	7/21/2006
1973	102260	3,003.31	7/21/2006
1644	102342	2,811.31	7/21/2006
1104	102378	2,080.23	7/21/2006
1833	102728	3,396.26	7/21/2006
2050	102343	1,762.69	7/21/2006
1748	102261	2,362.69	7/21/2006
2377	102638	1,023.20	7/21/2006
1426	102639	818.56	7/21/2006

1225	102294	3,070.69	7/21/2006
2217	20255	2,413.93	7/21/2006
2411	20292	179.38	7/21/2006
1068	102492	3,433.00	7/21/2006
1227	20325	4,560.08	7/21/2006
1227	20488	1,589.18	7/21/2006
2448	20267	1,709.91	7/21/2006
1989	102730	2,525.64	7/21/2006
2034	102640	1,023.20	7/21/2006
1030	102508	2,312.85	7/21/2006
1963	102418	2,465.18	7/21/2006
1079	20373	1,019.60	7/21/2006
1079	102379	3,318.71	7/21/2006
1898	102419	1,762.69	7/21/2006
1576	20348	385.19	7/21/2006
1576	102295	3,027.07	7/21/2006
1620	102641	359.58	7/21/2006
2017	20293	420.00	7/21/2006
1523	20490	1,495.38	7/21/2006
1523	102731	3,761.96	7/21/2006
1437	102608	722.64	7/21/2006
1032	20449	875.33	7/21/2006
1032	102509	2,096.05	7/21/2006
1105	20394	1,430.31	7/21/2006
1105	102420	4,159.04	7/21/2006
1265	102642	217.80	7/21/2006
2254	20362	213.32	7/21/2006
2254	102344	2,362.69	7/21/2006
2082	102262	1,658.85	7/21/2006
1962	20472	835.15	7/21/2006
1962	102566	2,312.85	7/21/2006
1353	102322	2,197.60	7/21/2006
1033	102510	2,080.23	7/21/2006
1266	20395	437.67	7/21/2006
1266	102421	2,444.72	7/21/2006
2204	102567	1,616.42	7/21/2006
2323	102345	2,466.54	7/21/2006
1392	102568	4,406.85	7/21/2006
2205	20450	872.18	7/21/2006
2205	102511	2,575.93	7/21/2006
1267	20451	830.77	7/21/2006
1267	102512	1,871.42	7/21/2006
1678	102643	790.02	7/21/2006
1909	102644	715.77	7/21/2006
1850	20363	1,357.04	7/21/2006
1850	102346	3,356.85	7/21/2006
1767	102263	2,080.23	7/21/2006
1447	102323	3,418.18	7/21/2006
1108	20396	1,173.30	7/21/2006
1108	102422	2,936.23	7/21/2006
2214	102595	1,825.76	7/21/2006
2126	102645	780.19	7/21/2006
2231	102586	624.57	7/21/2006
2360	102646	818.56	7/21/2006
1109	20397	664.79	7/21/2006
1109	102423	3,230.27	7/21/2006

1268	102647	777.48	7/21/2006
1172	102324	4,538.97	7/21/2006
1110	102424	2,169.77	7/21/2006
2262	102609	1,061.57	7/21/2006
1111	20398	847.97	7/21/2006
1111	102425	2,466.54	7/21/2006
1919	102493	3,798.00	7/21/2006
1080	102380	3,757.00	7/21/2006
1750	20399	537.85	7/21/2006
1750	102426	2,179.64	7/21/2006
2228	20258	1,836.54	7/21/2006
2053	102732	2,525.64	7/21/2006
1112	20400	1,233.42	7/21/2006
1112	102427	2,466.54	7/21/2006
1070	20247	2,811.31	7/21/2006
2373	102556	1,562.85	7/21/2006
2238	102347	1,836.54	7/21/2006
2103	102623	1,014.78	7/21/2006
2440	20263	1,093.37	7/21/2006
2413	102648	697.95	7/21/2006
2115	102494	2,080.23	7/21/2006
2327	102610	613.92	7/21/2006
1656	20401	61.78	7/21/2006
1656	102428	1,641.03	7/21/2006
2364	102348	2,037.31	7/21/2006
1271	20294	409.28	7/21/2006
2337	102296	2,575.93	7/21/2006
2279	102495	2,479.04	7/21/2006
1978	20452	74.86	7/21/2006
1978	102513	1,799.15	7/21/2006
2139	20337	294.69	7/21/2006
2139	102264	2,037.31	7/21/2006
2156	102649	529.38	7/21/2006
1199	102733	3,940.27	7/21/2006
1715	102265	2,037.31	7/21/2006
1165	102381	3,070.69	7/21/2006
2347	102382	1,874.85	7/21/2006
1522	20364	287.79	7/21/2006
1522	102349	3,282.54	7/21/2006
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1272	102514	2,080.23	7/21/2006
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2345	102651	818.56	7/21/2006
2150	102611	850.54	7/21/2006
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2040	102589	1,249.85	7/21/2006
2424	20295	799.38	7/21/2006
2444	20248	1,901.51	7/21/2006
2063	102652	358.75	7/21/2006
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2397	102496	2,276.42	7/21/2006

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1315	20355	963.69	7/21/2006
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2369	102384	3,590.85	7/21/2006
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2087	102515	1,626.07	7/21/2006
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1841	20404	343.94	7/21/2006
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1448	20296	674.67	7/21/2006
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1117	20405	1,578.74	7/21/2006
1118	20365	741.31	7/21/2006
1118	102352	2,811.31	7/21/2006
1232	102735	3,761.96	7/21/2006
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2099	102656	818.56	7/21/2006
1625	102435	2,466.54	7/21/2006
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2366	102270	1,594.23	7/21/2006
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2378	102669	818.56	7/21/2006
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2286	102614	818.56	7/21/2006
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2233	102302	1,995.31	7/21/2006
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2375	20268	1,562.85	7/21/2006
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2380	20316	601.13	7/21/2006
1048	102542	3,757.00	7/21/2006
1342	20256	2,750.38	7/21/2006
1342	20383	1,206.45	7/21/2006
2060	102701	190.31	7/21/2006
1049	20465	680.05	7/21/2006
1049	102543	2,562.89	7/21/2006
2235	102289	1,954.23	7/21/2006
1614	102314	2,873.62	7/21/2006
1964	20435	1,290.45	7/21/2006
1964	102477	2,690.85	7/21/2006
1452	102305	3,558.00	7/21/2006
2117	102367	2,575.93	7/21/2006
1938	102702	172.21	7/21/2006
2300	102290	1,954.23	7/21/2006
2295	102703	594.00	7/21/2006
2374	102402	2,690.85	7/21/2006
2428	20281	17.92	7/21/2006
2435	20282	17.92	7/21/2006
1181	102764	3,859.89	7/21/2006
2002	102368	1,914.07	7/21/2006
2249	102369	2,362.69	7/21/2006
1904	20436	855.50	7/21/2006
1904	102478	2,263.93	7/21/2006
2027	102581	2,401.81	7/21/2006
2352	102334	2,106.40	7/21/2006
1859	20478	2,379.23	7/21/2006
1859	102582	5,884.85	7/21/2006
1959	102544	1,762.69	7/21/2006
2054	102315	2,312.85	7/21/2006
1328	102765	3,538.94	7/21/2006
1862	102602	103.47	7/21/2006
2038	20466	569.84	7/21/2006
2038	102545	1,626.07	7/21/2006
1152	20437	2,343.32	7/21/2006

1152	102479	4,721.62	7/21/2006
1051	102546	2,312.84	7/21/2006
1022	20346	1,027.85	7/21/2006
1022	102291	2,466.54	7/21/2006
2447	20317	6.40	7/21/2006
1000	20350	2,319.75	7/21/2006
1000	102306	5,884.85	7/21/2006
1747	20438	758.04	7/21/2006
1747	102480	2,466.54	7/21/2006
1852	102335	3,493.44	7/21/2006
1851	20370	1,460.03	7/21/2006
1851	102370	3,373.03	7/21/2006
1454	20358	641.39	7/21/2006
1454	102336	2,873.62	7/21/2006
1996	102403	2,362.69	7/21/2006
2171	102704	329.18	7/21/2006
1893	20439	612.04	7/21/2006
1893	102481	1,799.15	7/21/2006
1155	102583	2,437.87	7/21/2006
1627	20371	639.32	7/21/2006
1627	102371	3,433.00	7/21/2006
2202	20384	281.65	7/21/2006
2202	102404	2,517.91	7/21/2006
2197	20467	352.95	7/21/2006
2197	102547	1,954.23	7/21/2006
1334	102766	3,685.54	7/21/2006
2085	102619	652.29	7/21/2006
1906	102482	2,574.21	7/21/2006
1707	102307	2,466.54	7/21/2006
2427	20283	17.92	7/21/2006
2074	102483	1,692.54	7/21/2006
2426	20284	17.92	7/21/2006
1156	20440	940.15	7/21/2006
1156	102484	1,954.23	7/21/2006
2032	102308	2,575.93	7/21/2006
2437	20285	17.92	7/21/2006
2395	102564	2,080.23	7/21/2006
2271	20318	529.38	7/21/2006
1053	102548	2,556.57	7/21/2006
2400	102705	356.56	7/21/2006
1648	20468	736.30	7/21/2006
1648	102549	1,874.85	7/21/2006
2257	102620	626.71	7/21/2006
2330	102706	818.56	7/21/2006
2446	20254	1,125.13	7/21/2006
1822	102485	1,836.54	7/21/2006
2042	20351	1,700.77	7/21/2006
2042	102316	4,093.31	7/21/2006
1157	102486	1,836.54	7/21/2006
1792	102707	108.72	7/21/2006
1581	20441	1,037.63	7/21/2006
1581	102487	2,277.39	7/21/2006
2433	20319	409.28	7/21/2006
1534	102372	2,362.69	7/21/2006
2408	102708	306.25	7/21/2006
1752	102488	2,263.93	7/21/2006

2267	20320	882.51	7/21/2006
2023	102709	725.18	7/21/2006
2389	102710	1,023.20	7/21/2006
1932	20266	1,562.85	7/21/2006
2339	102550	1,437.87	7/21/2006
2344	20323	729.03	7/21/2006
2253	102767	2,962.72	7/21/2006
1412	102711	716.24	7/21/2006
2359	102712	824.96	7/21/2006
1176	102768	4,374.42	7/21/2006
2388	102713	799.38	7/21/2006
1330	102603	379.37	7/21/2006
1177	102769	3,761.96	7/21/2006
1917	102714	345.75	7/21/2006
1056	102551	2,466.54	7/21/2006
1057	20469	872.86	7/21/2006
1057	102552	1,836.54	7/21/2006
2211	102373	2,575.93	7/21/2006
2047	102374	5,884.85	7/21/2006
2138	102254	2,815.85	7/21/2006
1414	102770	3,538.94	7/21/2006
2420	20321	470.25	7/21/2006
1823	20322	498.96	7/21/2006
1182	102771	4,374.42	7/21/2006
1211	20487	1,487.94	7/21/2006
1211	102772	4,374.42	7/21/2006
2153	102715	567.28	7/21/2006
1343	20385	1,395.42	7/21/2006
1343	102405	2,750.38	7/21/2006
1058	102553	1,954.23	7/21/2006
2425	20269	306.96	7/21/2006
1766	102621	626.71	7/21/2006
2091	102375	2,575.93	7/21/2006
1977	102716	179.06	7/21/2006
2348	102622	818.56	7/21/2006
2191	102554	1,562.85	7/21/2006
1094	20386	1,335.00	7/21/2006
1094	102406	4,816.81	7/21/2006
1159	20442	537.85	7/21/2006
1159	102489	2,080.23	7/21/2006
1545	20334	925.16	7/21/2006
1545	102255	2,263.93	7/21/2006
1912	102717	658.44	7/21/2006
1237	102376	110,513.42	7/21/2006
1729	102490	2,080.23	7/21/2006
2203	102555	3,465.85	7/21/2006
1304	102718	153.48	7/21/2006
1503	20387	345.92	7/21/2006
1503	102407	2,263.93	7/21/2006
2260	102501	2,338.92	7/21/2006
1205	20359	1,311.12	7/21/2006
1205	102337	4,008.66	7/21/2006
		1,505,150.63	

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**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

SUBMITTED BY: Adair Patterson *Ap*  
Director of Finance

DATE: August 3, 2006

SUBJECT: PAYROLL WARRANT LIST

RECOMMENDATION: That the Honorable City Council approve Payroll Demand Schedule No. 2A, for Payroll Period July 15, 2006 through July 28, 2006, in the amount of \$1,325,052.38 covering Warrant Nos. 20492 through 20570 and Advice Nos. 102773 through 103316 inclusive and void/adjustment of Advice Nos. 98895 and 102451.

FISCAL IMPACT: Payroll gross total amount  
\$1,325,052.38

Budget Amount: \$1,325,052.38  
Budget Account No.: Various

DISCUSSION: I hereby certify that the claims or demands covered by the attached list of warrants have been audited as to the accuracy and availability of funds for payment thereof and that said claims or demands are accurate and the funds are available for payment thereof.

--Finance Dept. Use Only--  
Additional Appropriation:

No  
 Yes/Amount:

Finance Director Review and  
Approval *Ap*

*Adair Patterson*

DIRECTOR OF FINANCE

AMP/hdk

Attachment - Payroll Warrant List



# City of Victorville

Date: 08/03/06

City Council Payroll Report  
Payroll Period Ending: July 28, 2006

<u>Employee Number</u>	<u>Check #</u>	<u>Total Gross</u>	<u>Check Date</u>
1417	103034	1,762.69	8/4/2006
2396	103162	774.48	8/4/2006
1515	20510	1,836.54	8/4/2006
1871	102845	1,762.69	8/4/2006
2052	103163	367.50	8/4/2006
1883	103259	2,742.65	8/4/2006
1970	102939	1,833.21	8/4/2006
1305	103260	3,641.86	8/4/2006
1097	102940	2,092.89	8/4/2006
2414	103164	440.55	8/4/2006
2281	20519	161.28	8/4/2006
1169	102846	1,836.54	8/4/2006
1024	102865	2,811.31	8/4/2006
1005	102785	2,037.31	8/4/2006
2402	103165	656.25	8/4/2006
2432	20530	869.72	8/4/2006
1007	102786	3,757.00	8/4/2006
1063	102775	1,836.54	8/4/2006
2357	102820	1,562.85	8/4/2006
1746	103035	2,362.69	8/4/2006
2142	103123	1,034.65	8/4/2006
1681	20531	775.17	8/4/2006
1258	103166	818.56	8/4/2006
2354	102847	1,871.42	8/4/2006
2422	20532	460.35	8/4/2006
1853	103099	2,466.54	8/4/2006
1025	103036	2,312.84	8/4/2006
1520	102941	2,034.16	8/4/2006
2343	103167	818.56	8/4/2006
2326	103144	1,099.94	8/4/2006
1026	103037	1,954.23	8/4/2006
1949	102837	2,520.54	8/4/2006
2043	102848	2,823.87	8/4/2006
2405	103168	564.38	8/4/2006
1061	102776	3,843.31	8/4/2006
2210	103022	3,882.00	8/4/2006
1244	103261	4,863.79	8/4/2006
1099	102942	2,735.43	8/4/2006
1170	102849	5,684.85	8/4/2006
1457	102787	2,413.92	8/4/2006
1027	103038	1,954.23	8/4/2006
1100	102943	2,108.10	8/4/2006
2329	103169	920.88	8/4/2006
2384	103145	818.56	8/4/2006
1078	102908	3,161.69	8/4/2006
1308	103124	206.93	8/4/2006
1727	20496	3,047.08	7/31/2006
1727	102944	2,065.07	8/4/2006
1243	103262	6,055.08	8/4/2006

1187	103263	5,804.64	8/4/2006
2382	103170	844.14	8/4/2006
1101	102945	2,311.55	8/4/2006
1966	103039	1,692.54	8/4/2006
2157	103171	1,121.08	8/4/2006
1849	102866	3,757.00	8/4/2006
1212	20563	7,810.09	8/4/2006
2092	102867	2,575.92	8/4/2006
2394	102868	1,562.85	8/4/2006
1699	103172	684.27	8/4/2006
1497	102946	2,466.54	8/4/2006
1739	103265	4,328.02	8/4/2006
2079	103125	31.36	8/4/2006
1261	20533	818.56	8/4/2006
1721	103266	6,587.96	8/4/2006
1174	103267	4,746.12	8/4/2006
1697	102821	3,070.69	8/4/2006
2192	102947	1,562.85	8/4/2006
1451	102788	2,216.38	8/4/2006
2416	103173	947.93	8/4/2006
2415	103174	358.75	8/4/2006
2149	103175	301.95	8/4/2006
1843	103126	310.40	8/4/2006
1103	102948	2,044.44	8/4/2006
1973	102789	3,003.31	8/4/2006
1644	102869	2,811.31	8/4/2006
1104	102909	2,080.23	8/4/2006
1833	103268	3,391.15	8/4/2006
2050	102870	1,762.69	8/4/2006
1748	102790	2,362.69	8/4/2006
2377	103257	1,000.42	8/4/2006
2377	103258	460.44	8/4/2006
1426	103176	818.56	8/4/2006
1225	102822	3,480.10	8/4/2006
2217	20508	2,413.92	8/4/2006
2411	20534	336.88	8/4/2006
1068	103023	3,683.00	8/4/2006
1227	20564	4,457.53	8/4/2006
2448	103089	3,264.46	8/4/2006
1989	103270	3,444.73	8/4/2006
2034	103177	946.46	8/4/2006
1030	103040	2,473.59	8/4/2006
1963	102949	2,465.18	8/4/2006
1079	102910	3,644.64	8/4/2006
1898	102950	1,762.69	8/4/2006
1576	102823	2,973.49	8/4/2006
1620	103178	912.78	8/4/2006
2017	20535	389.38	8/4/2006
1523	103271	4,410.20	8/4/2006
1437	103146	677.87	8/4/2006
1032	103041	2,345.31	8/4/2006
1105	102951	4,076.08	8/4/2006
1265	103179	433.06	8/4/2006
2254	102871	2,362.69	8/4/2006
2082	102791	1,727.15	8/4/2006
1962	103100	2,312.85	8/4/2006

1353	102850	1,762.69	8/4/2006
1033	103042	2,080.23	8/4/2006
1266	102952	2,776.08	8/4/2006
2204	103101	1,646.01	8/4/2006
2323	102872	2,466.54	8/4/2006
1392	103102	4,406.85	8/4/2006
2205	103043	2,575.92	8/4/2006
1267	103044	1,762.69	8/4/2006
1678	103180	795.96	8/4/2006
1909	103181	519.75	8/4/2006
1850	102873	3,356.85	8/4/2006
1767	102792	2,080.23	8/4/2006
1447	102851	3,231.71	8/4/2006
1108	102953	2,936.22	8/4/2006
2214	103127	1,843.52	8/4/2006
2126	103182	665.08	8/4/2006
2231	103120	1,156.11	8/4/2006
2360	103183	1,023.20	8/4/2006
1109	102954	2,851.37	8/4/2006
1268	103184	780.01	8/4/2006
1172	102852	3,807.60	8/4/2006
1110	20493	1,063.66	7/21/2006
1110	102955	2,169.77	8/4/2006
2262	103147	1,061.57	8/4/2006
1111	102956	2,466.54	8/4/2006
1919	103024	3,798.00	8/4/2006
1080	102911	3,757.00	8/4/2006
1750	102957	2,216.65	8/4/2006
2228	102958	1,836.54	8/4/2006
2053	103272	3,674.51	8/4/2006
1112	102959	2,466.54	8/4/2006
1070	20502	2,811.31	8/4/2006
2373	103090	1,562.85	8/4/2006
2238	102874	1,836.54	8/4/2006
2103	103161	1,014.78	8/4/2006
2282	103128	67.20	8/4/2006
2440	103025	2,428.53	8/4/2006
2413	103185	326.70	8/4/2006
2115	103026	2,080.23	8/4/2006
2327	103148	818.56	8/4/2006
1656	102960	1,692.54	8/4/2006
2364	102875	2,037.31	8/4/2006
1271	20536	409.28	8/4/2006
2337	102824	2,575.92	8/4/2006
2319	20520	246.40	8/4/2006
2279	103027	2,479.04	8/4/2006
1978	103045	1,799.15	8/4/2006
2139	102793	2,037.31	8/4/2006
2156	103186	376.25	8/4/2006
1199	103273	4,510.69	8/4/2006
1715	102794	2,124.54	8/4/2006
1165	102912	3,070.69	8/4/2006
2347	102913	1,874.85	8/4/2006
1522	102876	3,282.54	8/4/2006
2105	102877	3,070.29	8/4/2006
1272	103046	2,080.23	8/4/2006

2166	103187	638.55	8/4/2006
2190	102961	1,562.85	8/4/2006
2345	103188	729.03	8/4/2006
2150	103149	831.35	8/4/2006
1037	103103	1,982.67	8/4/2006
2040	20570	1,249.85	8/4/2006
2424	20537	754.61	8/4/2006
2444	102878	2,362.69	8/4/2006
2063	103189	553.44	8/4/2006
1453	102795	2,362.69	8/4/2006
2160	103190	669.38	8/4/2006
1249	102962	2,481.19	8/4/2006
2397	103028	2,276.42	8/4/2006
2355	102879	1,562.85	8/4/2006
2372	20565	1,469.43	8/4/2006
2332	102963	1,658.85	8/4/2006
2026	102777	1,762.69	8/4/2006
2206	102964	1,995.31	8/4/2006
2236	103137	828.15	8/4/2006
2125	103029	2,059.05	8/4/2006
2259	102914	3,413.92	8/4/2006
1971	103104	1,799.15	8/4/2006
1315	102853	2,815.43	8/4/2006
2369	102915	3,590.85	8/4/2006
2020	103191	402.89	8/4/2006
2312	103150	1,061.57	8/4/2006
2087	103047	1,626.08	8/4/2006
1987	20521	1,211.84	8/4/2006
1190	103274	4,433.75	8/4/2006
1841	20511	1,914.08	8/4/2006
1407	102916	4,187.84	8/4/2006
2021	103192	902.88	8/4/2006
1448	20538	604.33	8/4/2006
1009	102796	3,757.00	8/4/2006
1117	20512	3,282.54	8/4/2006
1118	102880	2,811.31	8/4/2006
1232	103275	4,118.23	8/4/2006
2163	102965	1,995.31	8/4/2006
2391	103091	2,080.23	8/4/2006
1740	103276	5,722.44	8/4/2006
2099	103193	895.30	8/4/2006
1625	102966	2,466.54	8/4/2006
1233	103277	6,720.67	8/4/2006
2248	20561	1,281.63	8/4/2006
2248	20562	230.22	8/4/2006
2221	102825	1,995.31	8/4/2006
1316	103129	344.88	8/4/2006
1801	102826	1,914.08	8/4/2006
2363	102854	1,762.69	8/4/2006
1218	103278	4,046.24	8/4/2006
1319	103130	164.92	8/4/2006
1588	102967	2,034.16	8/4/2006
2305	20522	165.76	8/4/2006
2189	102797	1,995.31	8/4/2006
2109	103194	1,023.20	8/4/2006
1119	20513	2,169.77	8/4/2006

1038	103048	5,625.92	8/4/2006
1082	102917	2,080.23	8/4/2006
2084	103049	1,692.54	8/4/2006
1706	103092	3,558.00	8/4/2006
1011	102798	2,439.55	8/4/2006
1901	102918	4,634.31	8/4/2006
1698	102968	2,362.69	8/4/2006
1890	103105	1,914.08	8/4/2006
2366	102799	1,594.23	8/4/2006
2452	20503	1,190.92	8/4/2006
1121	102969	2,533.39	8/4/2006
1664	103195	755.84	8/4/2006
2062	103050	1,626.08	8/4/2006
2224	102970	1,626.08	8/4/2006
1123	102971	2,811.31	8/4/2006
1903	103051	1,594.23	8/4/2006
2278	102919	2,881.57	8/4/2006
2443	102881	1,406.35	8/4/2006
2324	103030	1,881.42	8/4/2006
2181	20529	818.56	8/4/2006
1865	102972	1,562.85	8/4/2006
2039	103196	716.24	8/4/2006
1597	103279	2,798.66	8/4/2006
2223	102882	2,037.31	8/4/2006
1335	103280	3,880.33	8/4/2006
2297	103197	739.49	8/4/2006
2031	102827	2,060.72	8/4/2006
1749	103031	2,690.85	8/4/2006
2209	102883	1,836.54	8/4/2006
1234	103281	6,590.96	8/4/2006
2386	103198	755.84	8/4/2006
2113	103093	3,407.54	8/4/2006
2453	20523	94.24	8/4/2006
2025	103199	693.91	8/4/2006
1197	103282	5,062.56	8/4/2006
2232	103121	1,038.93	8/4/2006
1610	103200	585.14	8/4/2006
2350	102855	1,377.21	8/4/2006
1084	102920	2,937.77	8/4/2006
1957	102838	1,954.23	8/4/2006
2108	103201	968.63	8/4/2006
2403	103202	1,023.20	8/4/2006
1723	102973	1,882.75	8/4/2006
1999	102884	1,995.31	8/4/2006
2107	103106	1,586.28	8/4/2006
1125	102974	2,466.54	8/4/2006
1124	102975	2,690.85	8/4/2006
2336	102828	1,914.08	8/4/2006
1277	103203	370.91	8/4/2006
2120	103138	200.00	8/4/2006
1760	102976	1,988.89	8/4/2006
1952	103094	1,762.69	8/4/2006
2401	20539	601.56	8/4/2006
2090	102921	3,673.00	8/4/2006
2093	103052	2,690.85	8/4/2006
2301	103204	652.29	8/4/2006

2378	103205	677.87	8/4/2006
1777	103131	413.86	8/4/2006
2417	20540	792.00	8/4/2006
2069	103053	1,692.54	8/4/2006
1975	103206	332.54	8/4/2006
1547	102885	2,391.51	8/4/2006
2441	20497	1,757.58	8/4/2006
1758	103054	2,937.77	8/4/2006
1866	103055	2,937.77	8/4/2006
2225	102886	2,466.54	8/4/2006
1990	103107	2,581.89	8/4/2006
1040	103056	1,954.23	8/4/2006
1126	102977	2,905.00	8/4/2006
1230	103207	281.38	8/4/2006
1127	102978	3,882.00	8/4/2006
2168	20541	380.63	8/4/2006
2196	20524	40.32	8/4/2006
2340	102979	1,562.85	8/4/2006
2252	103283	2,584.07	8/4/2006
2258	102839	3,139.46	8/4/2006
2328	103132	206.93	8/4/2006
1128	20494	3,280.96	7/21/2006
1128	102980	2,937.77	8/4/2006
2019	102800	1,799.15	8/4/2006
1915	103208	729.36	8/4/2006
2421	20542	1,158.30	8/4/2006
2299	20525	40.32	8/4/2006
1012	102801	2,037.31	8/4/2006
1513	102981	1,854.88	8/4/2006
1250	103151	792.98	8/4/2006
1744	103108	2,537.83	8/4/2006
1162	103057	2,466.54	8/4/2006
2250	103209	549.97	8/4/2006
1207	103284	4,798.86	8/4/2006
2286	103152	1,144.71	8/4/2006
2381	20504	1,562.85	8/4/2006
2316	20499	1,726.96	8/4/2006
2449	20498	2,080.23	8/4/2006
1518	102802	3,757.00	8/4/2006
1544	102803	2,413.92	8/4/2006
1855	103139	250.00	8/4/2006
2098	102778	1,692.54	8/4/2006
1907	20492	2,490.46	7/21/2006
1907	102451	(2,167.43)	7/21/2006
1907	102982	2,466.54	8/4/2006
2246	103058	1,799.15	8/4/2006
1086	102922	2,575.92	8/4/2006
2264	103059	1,562.85	8/4/2006
1131	102983	2,998.68	8/4/2006
1201	103285	10,602.52	8/4/2006
2146	20543	683.10	8/4/2006
2392	103210	755.84	8/4/2006
1188	20501	4,406.85	8/4/2006
2118	102984	1,562.85	8/4/2006
1710	102779	1,995.31	8/4/2006
2194	20544	412.80	8/4/2006

2321	103211	968.93	8/4/2006
2049	102804	1,762.69	8/4/2006
1998	102923	2,632.69	8/4/2006
2314	103212	665.08	8/4/2006
2404	103213	581.88	8/4/2006
2012	20545	1,536.36	8/4/2006
2102	102887	1,626.08	8/4/2006
2419	20546	475.20	8/4/2006
2097	102829	1,762.69	8/4/2006
2266	103214	810.40	8/4/2006
2439	20515	1,954.23	8/4/2006
2376	102924	2,883.90	8/4/2006
2233	102830	1,995.31	8/4/2006
1132	102985	1,692.54	8/4/2006
2119	103153	1,023.20	8/4/2006
2195	102986	1,658.85	8/4/2006
1953	102888	1,874.85	8/4/2006
2219	20526	224.00	8/4/2006
1979	103215	562.76	8/4/2006
1510	103060	1,108.25	8/4/2006
2406	20547	367.50	8/4/2006
2256	103286	2,677.95	8/4/2006
2450	20505	2,466.54	8/4/2006
1643	103061	2,937.77	8/4/2006
1988	103287	2,865.72	8/4/2006
1282	103062	1,954.23	8/4/2006
1955	102987	1,805.00	8/4/2006
1607	103216	735.43	8/4/2006
2387	103217	1,023.20	8/4/2006
1066	102889	1,836.54	8/4/2006
1449	102988	2,252.07	8/4/2006
2006	103095	2,080.23	8/4/2006
2379	103063	1,954.23	8/4/2006
2251	103288	3,992.31	8/4/2006
1524	103289	3,146.99	8/4/2006
2247	103218	908.09	8/4/2006
1321	103290	7,087.93	8/4/2006
1134	102989	2,169.77	8/4/2006
2310	103064	1,618.97	8/4/2006
2111	102990	2,037.31	8/4/2006
2134	102991	1,692.54	8/4/2006
1194	103291	3,876.97	8/4/2006
1087	103109	1,836.54	8/4/2006
1135	102992	2,466.54	8/4/2006
2302	103065	1,762.69	8/4/2006
1014	102805	1,836.54	8/4/2006
2353	102857	2,080.54	8/4/2006
1322	103133	435.86	8/4/2006
2288	103219	908.33	8/4/2006
2055	20506	965.36	8/4/2006
1757	103140	250.00	8/4/2006
1377	103110	2,388.94	8/4/2006
1088	102925	5,884.85	8/4/2006
1015	102806	2,216.38	8/4/2006
1361	103220	100.98	8/4/2006
1394	102993	2,612.82	8/4/2006

2122	103221	447.65	8/4/2006
1043	103066	2,811.31	8/4/2006
1136	102994	2,444.72	8/4/2006
2155	103222	623.44	8/4/2006
1632	102995	2,549.65	8/4/2006
1077	102996	1,836.54	8/4/2006
1635	102807	3,757.00	8/4/2006
1064	103096	5,379.46	8/4/2006
1653	103141	100.00	8/4/2006
2334	103122	351.52	8/4/2006
2445	102890	2,362.69	8/4/2006
1137	102997	2,169.77	8/4/2006
1017	102808	3,139.46	8/4/2006
2237	102809	2,080.23	8/4/2006
1703	102926	3,757.00	8/4/2006
2442	20507	1,562.85	8/4/2006
2071	102891	2,362.69	8/4/2006
2438	102892	1,923.73	8/4/2006
1941	102927	2,811.31	8/4/2006
1400	103097	2,466.54	8/4/2006
1655	102998	1,836.54	8/4/2006
2342	103223	818.56	8/4/2006
1389	102999	2,036.29	8/4/2006
1139	103119	1,836.54	8/4/2006
2383	103154	831.35	8/4/2006
2239	20548	716.24	8/4/2006
1140	20514	1,914.08	8/4/2006
1081	103111	2,466.54	8/4/2006
1173	102858	2,466.54	8/4/2006
1242	102859	2,468.46	8/4/2006
1621	102810	4,531.85	8/4/2006
2322	20527	376.96	8/4/2006
1044	103067	2,690.85	8/4/2006
1937	103112	3,285.05	8/4/2006
1875	102893	1,836.54	8/4/2006
2287	102840	1,562.85	8/4/2006
1923	103224	810.40	8/4/2006
2275	102811	1,799.15	8/4/2006
1531	103292	5,827.31	8/4/2006
1961	103134	215.04	8/4/2006
1336	103293	7,486.40	8/4/2006
1427	103068	2,362.69	8/4/2006
1439	103000	2,169.77	8/4/2006
1333	103294	3,536.36	8/4/2006
1612	103001	1,577.07	8/4/2006
1062	102780	1,914.08	8/4/2006
1046	103069	1,836.54	8/4/2006
1364	103295	3,087.31	8/4/2006
1790	102773	2,362.69	8/4/2006
2390	20549	818.56	8/4/2006
2335	20528	409.28	8/4/2006
1287	103070	2,216.38	8/4/2006
2046	103002	1,836.54	8/4/2006
2170	103225	459.38	8/4/2006
2296	103226	1,023.20	8/4/2006
2208	103296	3,572.43	8/4/2006

2409	103032	2,318.79	8/4/2006
2308	103227	745.02	8/4/2006
1090	102928	2,466.54	8/4/2006
1003	102812	6,084.85	8/4/2006
2410	103228	805.77	8/4/2006
1142	103118	6,219.14	8/4/2006
1415	103297	3,099.05	8/4/2006
2240	102894	2,789.57	8/4/2006
1533	102813	2,037.31	8/4/2006
1902	102814	2,750.38	8/4/2006
2375	20517	1,562.85	8/4/2006
1178	102860	4,406.85	8/4/2006
1073	103113	3,757.00	8/4/2006
1202	20566	4,243.57	8/4/2006
2290	103229	1,023.20	8/4/2006
1168	103299	4,482.87	8/4/2006
1939	20550	953.37	8/4/2006
1332	103300	6,021.11	8/4/2006
1776	102929	3,070.69	8/4/2006
1254	103003	2,080.23	8/4/2006
2226	103142	250.00	8/4/2006
1203	103301	4,850.58	8/4/2006
2361	102815	1,594.23	8/4/2006
1208	103302	4,717.66	8/4/2006
2263	103303	2,208.54	8/4/2006
1045	102930	2,957.79	8/4/2006
1911	20551	451.44	8/4/2006
2368	103155	818.56	8/4/2006
2178	102831	2,216.38	8/4/2006
1815	103230	350.00	8/4/2006
2144	103231	552.42	8/4/2006
1838	103232	920.88	8/4/2006
1001	20500	5,371.85	8/4/2006
1001	102841	6,084.85	8/4/2006
1873	103233	908.09	8/4/2006
1762	103114	2,124.54	8/4/2006
2174	20552	837.54	8/4/2006
1733	103304	3,040.07	8/4/2006
1629	102774	4,921.62	8/4/2006
2008	103071	1,914.08	8/4/2006
1877	103072	3,882.00	8/4/2006
1742	102895	2,466.54	8/4/2006
2341	102832	2,575.92	8/4/2006
2128	102896	1,562.85	8/4/2006
2009	103073	1,562.85	8/4/2006
1091	102781	10,712.92	8/4/2006
2114	102897	2,873.62	8/4/2006
2220	102931	1,798.42	8/4/2006
1950	102782	5,145.00	8/4/2006
2096	103234	1,176.68	8/4/2006
1338	103004	2,659.02	8/4/2006
1940	20553	308.88	8/4/2006
1145	103005	3,203.30	8/4/2006
2313	103235	511.60	8/4/2006
2229	103143	1,109.24	8/4/2006
2418	103236	555.63	8/4/2006

2320	103156	831.35	8/4/2006
1751	102816	3,511.00	8/4/2006
2434	103237	1,023.20	8/4/2006
1146	103006	2,077.32	8/4/2006
1147	103007	2,337.08	8/4/2006
2393	103238	722.64	8/4/2006
1626	103074	3,882.00	8/4/2006
2380	20554	869.72	8/4/2006
1048	103075	3,757.00	8/4/2006
1342	20509	3,115.99	8/4/2006
2060	103239	175.00	8/4/2006
1049	103076	2,402.15	8/4/2006
2235	102817	1,954.23	8/4/2006
1614	102842	2,873.62	8/4/2006
1964	103008	2,690.85	8/4/2006
1452	102833	3,558.00	8/4/2006
2117	102898	2,575.92	8/4/2006
1938	103240	177.28	8/4/2006
2300	102818	1,954.23	8/4/2006
2295	103241	742.50	8/4/2006
2374	102933	2,690.85	8/4/2006
1181	103305	7,308.22	8/4/2006
2002	102899	1,914.08	8/4/2006
2249	102900	2,362.69	8/4/2006
1904	103009	2,263.92	8/4/2006
2027	103115	1,870.59	8/4/2006
2352	102861	1,899.47	8/4/2006
1859	103116	5,884.85	8/4/2006
1959	103077	1,762.69	8/4/2006
2054	102843	2,312.85	8/4/2006
1328	20567	7,538.74	8/4/2006
1862	103135	206.93	8/4/2006
2038	103078	1,626.08	8/4/2006
1152	103010	4,721.62	8/4/2006
1051	103079	2,312.85	8/4/2006
1022	102819	2,466.54	8/4/2006
1000	102834	5,884.85	8/4/2006
1747	103011	2,466.54	8/4/2006
1852	102862	3,101.24	8/4/2006
1851	102901	3,536.00	8/4/2006
1454	102863	2,873.62	8/4/2006
1996	102934	2,362.69	8/4/2006
2171	103242	499.95	8/4/2006
1893	103012	2,063.87	8/4/2006
1155	103117	2,312.85	8/4/2006
1627	102902	3,433.00	8/4/2006
2202	102935	2,169.77	8/4/2006
2197	103080	1,954.23	8/4/2006
1334	103307	6,033.01	8/4/2006
2085	103157	978.44	8/4/2006
1906	103013	2,574.22	8/4/2006
1707	102835	2,466.54	8/4/2006
2074	103014	1,692.54	8/4/2006
1156	103015	1,954.23	8/4/2006
2032	102836	2,665.22	8/4/2006
2395	103098	2,080.23	8/4/2006

2271	20555	568.75	8/4/2006
1053	103081	2,364.51	8/4/2006
2400	103243	461.56	8/4/2006
1648	103082	1,874.85	8/4/2006
2257	103158	818.56	8/4/2006
2330	103244	920.88	8/4/2006
2446	102903	1,406.35	8/4/2006
1822	103016	1,836.54	8/4/2006
2042	102844	3,843.31	8/4/2006
1157	103017	1,893.67	8/4/2006
1792	103245	102.32	8/4/2006
1581	103018	2,379.29	8/4/2006
2433	20556	837.75	8/4/2006
1534	102904	2,362.69	8/4/2006
2408	103246	455.00	8/4/2006
1752	103019	2,263.92	8/4/2006
2267	20557	920.88	8/4/2006
2023	103247	742.50	8/4/2006
2389	103248	818.56	8/4/2006
1932	20516	1,562.85	8/4/2006
2339	103083	1,562.85	8/4/2006
2344	20560	920.88	8/4/2006
2253	103308	3,804.55	8/4/2006
1412	103249	818.56	8/4/2006
2359	103250	863.33	8/4/2006
1176	103309	6,679.28	8/4/2006
2388	103251	869.72	8/4/2006
1330	103136	344.88	8/4/2006
1177	103310	4,806.70	8/4/2006
1917	103252	401.07	8/4/2006
1056	103084	2,466.54	8/4/2006
1057	103085	1,836.54	8/4/2006
2211	102905	2,575.92	8/4/2006
2047	102906	5,884.85	8/4/2006
2309	98895	(295.29)	7/24/2006
2138	102783	2,815.85	8/4/2006
1414	103311	3,649.08	8/4/2006
2420	20558	589.05	8/4/2006
1823	20559	914.76	8/4/2006
1182	103312	4,796.56	8/4/2006
1211	103313	7,045.74	8/4/2006
2153	103253	600.20	8/4/2006
1343	102936	2,750.38	8/4/2006
1058	103086	1,954.23	8/4/2006
2425	20518	204.64	8/4/2006
1766	103159	754.61	8/4/2006
2091	102907	2,575.92	8/4/2006
1977	103254	191.85	8/4/2006
2348	103160	818.56	8/4/2006
2191	103087	1,562.85	8/4/2006
1094	102937	5,551.85	8/4/2006
1159	103020	2,080.23	8/4/2006
1545	102784	2,263.92	8/4/2006
1912	103255	621.25	8/4/2006
1729	103021	2,080.23	8/4/2006
2203	103088	3,715.85	8/4/2006

1304	103256	294.17	8/4/2006
1503	102938	2,263.92	8/4/2006
2260	103033	2,480.37	8/4/2006
1205	102864	3,058.42	8/4/2006
1379	20568	1,481.17	8/4/2006
1450	103314	1,481.17	8/4/2006
1381	103315	1,481.17	8/4/2006
1382	103316	1,481.17	8/4/2006
1383	20569	1,481.17	8/4/2006
		1,325,052.38	

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# MEMORANDUM

DATE July 31, 2006  
FROM Jon E. Gargan  
Director of Community Services  
TO Carolee Bates  
City Clerk



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SUBJECT **COMMUNITY SERVICES DEPARTMENT - REPORTS**

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Attached are copies of the May 2006 activities and service reports prepared by the Community Services Department. It is requested that these items be forwarded to the City Council for their review.

JEG:lk

Attachments

Consent  
#6E1  
8-15-06

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**COMMUNITY SERVICES DEPARTMENT  
FACILITIES REPORT**

<b>REPORT TITLE:</b> Monthly Service Report <i>Ch</i>		<b>DIVISION:</b> Facilities		<b>PAGE:</b> 1 of 1		
<b>SUBMITTED BY:</b> Chuck Reynolds		<b>TITLE:</b> Facilities Manager		<b>FOR THE MONTH OF:</b> MAY 2006		
				<b>DATE:</b> June 2, 2006		
<b>SQUARE FOOTAGE MAINTAINED</b>			333,000 square feet			
			<b>MONTHLY</b>		<b>YEAR-TO-DATE</b>	
			<b>Last Year</b>	<b>This Year</b>	<b>Last Year</b>	<b>This Year</b>
<b>1. FACILITY REPAIRS/SERVICE REQUESTS</b>						
a. City-Wide			60	57	843	700
b. Projects			1	2	37	20
<b>2. VANDALISM ACTS REPAIRED</b>			1	0	18	10
<b>3. WEEKEND WORKERS - Total Hours</b>						
a. Number of Workers: _____			0	0	0	0
b. # sent back to Glen Helen: _____			0	0	0	0
<b>4. WEEKDAY WORKERS - Total Hours</b>						
a. Number of Workers: _____			0	0	0	0
<b>5. CCC WORKERS - Total Hours</b>						
a. Number of Workers: _____			0	0	0	0
<b>6. RENTAL UNITS - RESIDENTIAL</b>						
a. Total Units: _____			5			
b. Units Rented: _____			5			
c. Vacant: _____			0			





# Recreation Division Monthly Report of Services and Activities

Reviewed by Recreation Services Manager: *J. Salas*

## Enrollment Totals May-06

Total Participants Enrolled	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Programs and Classes	4,182	3,993	48,020	43,646
Youth Sports	* 409	** 493	2,275	2,038
<b>Total</b>	<b>4,591</b>	<b>4,486</b>	<b>50,295</b>	<b>45,684</b>
Total Teams Enrolled	# of Teams			
Adult Sports	106	103	322	265

\*2005 Youth T-Ball began in March.

\*\*2006 Youth T-Ball begins in April.

## Highlights May-06

**T-Ball Mavericks Night May 19, 2006:** 1,536 tickets were sold, exceeding last year's total of 1,176. The infield March was fun, and Victorville Mascot "Bubba" threw out the first pitch of the ball game. It was a great night!

**"Strut Your Mutt" May 6, 2006:** Event sponsored by Community Services and Animal Control. Approximately 1,000 community members and their pets learned about responsible pet ownership and safety. Patrons enjoyed pet demonstrations, vendors and pet organizations, and miscellaneous guest speakers and entertainment.



- Inside This Report:**
- 1 Totals & Highlights
  - 2 Adult & Youth Sports
  - 3 Programs & Classes
  - 4 Events & Excursions
  - 5 Rentals
  - 6 Miscellaneous
  - 7 Assisted Sports Groups & Aquatics
- A Look Ahead**
- Fireworks Festival July 4, 2006

## Adult Sports

May-06



Adult Sports	# of Teams			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Coed Volleyball	9	0	25	11
Coed Indoor Soccer	0	0	0	0
Men's Soccer	0	13	0	18
Men's 5 on 5 Basketball	0	0	8	0
Men's 40+ Basketball	0	0	0	0
Men's Softball	48	42	137	* 106
Coed Softball	29	34	99	* 79
Women's Softball	4	0	15	0
Women's Basketball	0	0	0	0
Flag Football	7	6	13	11
Women's Soccer	9	14	25	* 32
Wiffleball	0	0	0	0
Tournaments	0	0	0	8
<b>SUBTOTAL</b>	106	103	** 322	** 265

\*\*Last year's numbers included two seasons (summer & fall). This year's numbers reflect the fall and winter seasons.

## Youth & Pee Wee Sports

May-06



Youth Sports	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Teen Basketball	N/A	N/A	473	134
Youth Basketball	N/A	N/A	837	793
Flag Football	N/A	N/A	226	220
Volleyball	90	90	90	90
T-Ball	179	240	* 179	240
<b>SUBTOTAL</b>	269	330	1805	1477

Pee Wee Sports	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Basketball	N/A	N/A	104	144
Soccer	N/A	N/A	95	101
T-Ball	120	145	120	145
Indoor T-Ball	N/A	N/A	71	59
Sports Sampler	20	18	80	112
<b>SUBTOTAL</b>	140	163	470	561

\* Indicates new sports enrollment for the current month



Programs/Classes	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Kids Klub (Spring Break)	N/A	N/A	676	554
Jr. Kids Klub	N/A	N/A	154	69
Youth Contract Classes	633	587	5190	5911
Adult Contract Classes	* 5	* 0	523	79
Tiny Tots	120	121	1022	1325
Tater Tots***	15	45	164	354
Teenie Tots	N/A	15	N/A	163
Just Baby & Me**	N/A	12	N/A	106
Alpha Bears**	28	29	218	254
Freaky Fridaze	86	16	593	640
Rockview Campfire Series	N/A	N/A	90	97
<b>SUBTOTAL</b>	<b>887</b>	<b>825</b>	<b>8630</b>	<b>9552</b>

\* Adult participants were enrolled in classes categorized as "Youth Contract Classes"

\*\*Started in September 2005

\*\*\*Class resumed in October 2005

Open Gym/Hook & Westwinds	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Hook Community Center	250	173	2264	816
Westwinds Sports Center	408	* 368	4404	3062
<b>SUBTOTAL</b>	<b>658</b>	<b>541</b>	<b>6668</b>	<b>3878</b>

\*Hook Open Gym eliminated Mon. & Weds.

\* I.D. now required for participation in this activity at both sites.

Racquetball and Tennis Pebble Beach	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Racquetball Member Play	355	332	4778	4072
Racquetball Non-Member Play	114	88	1235	1103
Racquetball Tournaments	N/A	N/A	62	18
Racquetball Lessons	1	4	35	34
Tennis Tournaments	0	0	13	0
Tennis Lessons	0	7	72	69
<b>SUBTOTAL</b>	<b>470</b>	<b>431</b>	<b>6195</b>	<b>5296</b>

Westwinds Sports Center	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Racquetball	236	394	3478	3314
Exercise Equipment	8	16	179	170
<b>SUBTOTAL</b>	<b>244</b>	<b>410</b>	<b>3657</b>	<b>3484</b>

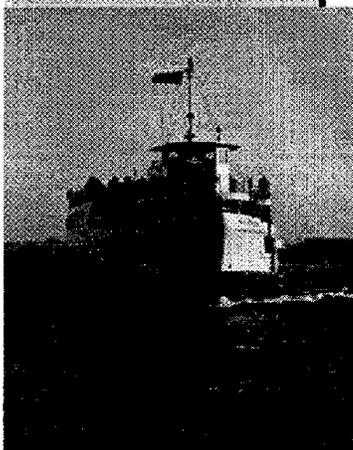


**Special Events & Excursions**

**May-06**



Special Events	# of Paid Participants		# of Non-Paid Participants	
	Last Year	This Year	Last Year	This Year
Family Fireworks Festival	N/A	N/A	20000	15000
Spice of Life			10,000	12,000
Mojave River Run	137	275		
Rockview Cemetery	N/A	N/A	N/A	500
Breakfast with Santa 12/3/05	550	577	N/A	N/A
Rent-A-Santa	44	37	N/A	N/A
Teen Expo 3/11/06	N/A	N/A	400	400
Tot Olympics 4/8/06	50	75	75	100
Spring Egg Hunt 4/15/06	882	1000	3500	3500
Strut Your Mutt	N/A	N/A	N/A	1,000
<b>TOTAL</b>	1663	1964	33975	32500

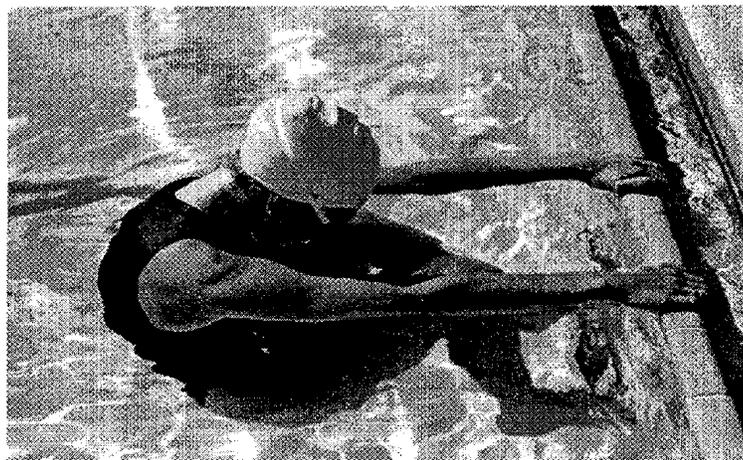


Excursions	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Champagne Brunch Cruise	46	46	46	46
<b>SUBTOTAL</b>	46	46	46	46



PARK/FACILITY RENTALS/USES	# of Rentals/Uses			
	Monthly		Year to Date	
	Last Year	This Year	Last Year	This Year
Center Street	52	61	141	306
Eva Dell	61	66	310	355
Hook	265	161	1270	1587
Liberty	57	62	326	359
Doris Davies Park	38	13	115	43
Doris Davies Tennis Courts/Lights	23	9	517	219
Schmidt	60	95	293	590
Westwinds Sports Field	24	31	155	245
Rockview	1	1	6	15
<b>TOTAL</b>	<b>581</b>	<b>* 499</b>	<b>3133</b>	<b>* 3719</b>
<b>FACILITY RENTALS/USES</b>				
Hook Community Center	315	143	1716	2020
Rockview Nature Center	0	3	5	18
VAC Auditoriums	83	59	618	617
Westwinds Activities Center	25	6	139	159
Westwinds Sports Center	6	0	80	136
<b>TOTAL</b>	<b>429</b>	<b>* 211</b>	<b>2558</b>	<b>* 2950</b>
<b>POOL RENTALS</b>				
Pebble Beach	6	3	29	279
Village	0	1	22	13
Village Pool with Rec Center	0	0	3	177
<b>TOTAL</b>	<b>6</b>	<b>4</b>	<b>54</b>	<b>* 469</b>

\*Last year's figure include all FUA's. This year's figures include all FUA'S, including gathering permits and Recreation Programs. Picnic rental FUA'S required only for Doris Davies, Schmidt and Rockview Parks.





	# Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
<b>Volunteers</b>				
Youth Sport Coaches	47	48	216	230
Pee Wee Sport Coaches	12	14	37	42
R.A.T. Pack**	0	46	12	30
Jr. Lifeguards	N/A	N/A	48	37
<b>TOTAL</b>	59	108	313	339

\* New Coaches

	# Hours			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
<b>Volunteers</b>				
Youth Sport Coaches	214	432.00	2275	3764.00
Pee Wee Sport Coaches	36	84.00	290.00	342.00
R.A.T. Pack**	0.00	7.50	192.50	186.50
Jr. Lifeguards	N/A	N/A	1031.50	1211.25
<b>TOTAL</b>	250.00	523.50	3789.00	5503.75

	# Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
<b>Work Programs</b>				
Victor Valley College Students	0	0	3	0
Workability	0	8	37	12
<b>TOTAL</b>	0	8	40	12

	# Hours			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
<b>Work Programs</b>				
Victor Valley College Students	0.00	0.00	176.75	0.00
Workability	0.00	5.00	1170.75	89.00
<b>TOTAL</b>	0.00	5.00	1347.50	89.00

\*\*\*"Responsibly Active Teens", formerly Volun"Teens"

**Assisted Sports Groups**

May-06



Assisted Sports Groups (YTD)	# of Participants	
	Last Year	This Year
Amer. Youth Soccer Org. (Sept-Feb)	960	1200
Jr. All Amer. Football (Sept-Dec)	N/A	N/A
Little League (Mar-July)	1070	1250
National Jr. Basketball (Dec-March)	150	150
Victorville Youth Football (Aug-Dec)	250	300
Victorville Youth Soccer (Aug-Mar)	650	600
<b>TOTAL</b>	<b>3080</b>	<b>3500</b>

**Aquatics**

May-06

	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
<b>Aquatics Pebble Beach Pool</b>				
Recreation Swim	1446	1119	12221	11491
Evening Rec Swim	N/A	N/A	1364	811
Lap Swim	247	287	2977	2980
Swim Classes	N/A	N/A	910	919
Individual Lessons	N/A	N/A	19	42
Water Polo *	N/A	N/A	14	N/A
Aquatics Contract Classes	142	278	2237	2520
<b>SUBTOTAL</b>	<b>1835</b>	<b>1684</b>	<b>19742</b>	<b>18763</b>
<b>Aquatics Village Pool</b>				
Recreation Swim	42	56	2547	2032
Swim Classes	N/A	N/A	522	557
Individual Lessons	N/A	N/A	12	31
Community Water Safety	N/A	0	1	7
<b>SUBTOTAL</b>	<b>42</b>	<b>56</b>	<b>3082</b>	<b>2627</b>

\* This activity is no longer offered.

**GREEN TREE GOLF COURSE  
MONTHLY REPORT OF SERVICES AND ACTIVITIES - FY-05/06**

Submitted by Janie Lynch, Golf Activities Supervisor

For the Month of May 2006

	MONTHLY		YEAR-TO-DATE	
	Last Year	This Year	Last Year	This Year
<b>GOLF PLAY REVENUE</b>				
Green Fees	\$ 39,510.50	\$ 38,637.25	\$ 308,205.00	\$ 337,898.75
Memberships	\$ 5,586.00	\$ 3,919.25	\$ 55,812.09	\$ 42,337.09
Prime-Time Memberships	\$ 495.00	\$ 395.00	\$ 5,052.50	\$ 4,345.00
Golf Cars Rental	\$ 31,176.00	\$ 31,384.00	\$ 240,265.75	\$ 267,700.49
Private Car - Daily	\$ 651.00	\$ 467.50	\$ 6,022.50	\$ 5,555.50
Private Car - Monthly (From Pro Shop)	\$ 925.00	\$ 650.00	\$ 14,700.00	\$ 11,676.50
<b>SUB TOTAL</b>	<b>\$ 78,343.50</b>	<b>\$ 75,453.00</b>	<b>\$ 630,057.84</b>	<b>\$ 669,513.33</b>

<b>GOLF SHOP REVENUE</b>				
Club Rental	\$ 375.00	\$ 240.00	\$ 1,690.00	\$ 2,405.00
Lessons	\$ 65.00	\$ -	\$ 169.00	\$ 75.00
Balls	\$ 2,314.82	\$ 2,533.83	\$ 20,442.83	\$ 22,339.44
Clubs	\$ 1,516.57	\$ 1,122.57	\$ 10,309.47	\$ 10,229.84
Merchandise	\$ 2,524.22	\$ 4,054.69	\$ 34,969.74	\$ 39,430.15
Sales Tax	\$ 492.27	\$ 597.62	\$ 5,089.31	\$ 5,576.04
<b>SUB TOTAL</b>	<b>\$ 7,287.88</b>	<b>\$ 8,548.71</b>	<b>\$ 72,670.35</b>	<b>\$ 80,055.47</b>

<b>CONCESSION REVENUE</b>				
5% of Gross Sales**	\$ 1,207.84	\$ 748.41	\$ 11,132.59	\$ 9,718.04
Rent	\$ 1,000.00	\$ 1,000.00	\$ 10,000.00	\$ 11,000.00
<b>SUB TOTAL</b>	<b>\$ 2,207.84</b>	<b>\$ 1,748.41</b>	<b>\$ 21,132.59</b>	<b>\$ 20,718.04</b>

\*\*Concession sales always 30 days in arrears

<b>SUB TOTAL</b>	*	*	*	*
<b>TOTAL REVENUE</b>	<b>\$ 87,839.22</b>	<b>\$ 85,750.12</b>	<b>\$ 723,860.73</b>	<b>\$ 770,286.84</b>

\*Revenue from City Hall not received

<b>MEMBERSHIP ROUNDS</b>				
Membership	391	311	3,895	3,005
Weekend Prime-Time Members	99	27	1,012	817
<b>SUB TOTAL</b>	<b>490</b>	<b>338</b>	<b>4,907</b>	<b>3,822</b>

<b>18 HOLE ROUNDS</b>				
Weekday Rounds	249	318	2,012	2,352
Weekday Non Prime Time	201	231	1,697	2,021
Weekend/Holiday Rounds	341	253	2,558	2,859
Weekend/Holiday Non Prime Time	142	124	260	1,153
Senior Weekday Rounds	252	286	2,193	2,592
Senior Weekday Non Prime Time	74	91	707	896
Senior Weekend/Holiday Rounds	150	94	1,229	1,348
Senior Weekend/Holiday Non Prime Time	26	18	450	288
Military	53	76	627	790
Junior	26	21	257	277
Discount - Weekday	15	21	249	244
Discount - Weekend	20	12	206	126
Discount-Hotel	138	37	411	332
Tournament Rounds	311	402	2,199	1,943
<b>SUB TOTAL</b>	<b>1,998</b>	<b>1,984</b>	<b>15,055</b>	<b>17,221</b>

**GREEN TREE GOLF COURSE  
MONTHLY REPORT OF SERVICES AND ACTIVITIES - FY-05/06**

Page 2 - Green Tree Golf Course May 2006

	YEAR-TO-DATE		YEAR-TO-DATE	
	Last Year	This Year	Last Year	This Year
<b>NON-PAID</b>				
Men's Club	0	0	109	61
Women's Club	0	0	139	161
Schools (High School & Middle School Teams)	0	12	378	467
VIP	0	0	3	4
New Resident Courtesy Card	9	0	61	6
Promotional Prizes/Donations	2	0	38	27
<b>SUB TOTAL</b>	<b>11</b>	<b>12</b>	<b>728</b>	<b>726</b>

<b>9 HOLE ROUNDS</b>				
Weekday Rds	54	51	353	406
Weekday Non Prime Time	149	113	777	840
Weekday Non Prime Time (3 hrs. before sunset)	440	442	3,355	3,349
Weekend/Holiday Rds	27	13	146	169
Weekend/Holiday Non Prime Time	41	51	337	480
Weekend/Holiday NPT (3hrs. before sunset)	91	72	1,124	1,097
Senior Weekday Rds	50	56	373	379
Senior Weekday Non Prime Time	56	84	640	706
Senior Weekend/Holiday Rds	8	0	36	34
Senior Weekend/Holiday Non Prime Time	34	29	233	271
Military/Juniors	40	41	279	272
<b>SUB TOTAL (9 HOLE ROUNDS)</b>	<b>990</b>	<b>952</b>	<b>7,653</b>	<b>8,003</b>

<b>TOTAL ROUNDS</b>	<b>3,489</b>	<b>3,286</b>	<b>28,343</b>	<b>29,772</b>
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<b>CONCESSIONAIRE</b>				
Number of golf-related events	5	4	29	29
Number of non-golf related events onsite	0	2	12	21
Number of non-golf related events offsite	14	7	100	73
<b>Total Number of Events</b>	<b>19</b>	<b>13</b>	<b>141</b>	<b>123</b>

<b>MEMBERSHIPS</b>				
Total Number	80	85	5,052	5,851
New Members	8	3	89/3549	96/3404

<b>MISCELLANEOUS</b>				
Twilight Cars	734	599	5,052	5,851
Average Daily Play	113	106	89/3549	96/3404
# Tournaments/ # Players (inc. in total rds)	13/608	15/402	89/3549	96/3404

<b>WEATHER DAYS</b>				
Windy	1	2	12	11
Cold/Hot	2	3	19	30
Rain	0	0	29	17
Slow Play (30 Players or less)	2	0	25	10
# Days Closed	0	0	15	2

<b>LESSONS</b>				
Lessons - Adults & Youth	0	0	0	0
Clinics - Adults & Youth	6	0	2/14	38,724
Junior Golf Program	0	0	0	0

CITY OF VICORVILLE  
COMMUNITY SERVICES  
MONTHLY REPORT OF SERVICE AND ACTIVITIES

DIVISION: GREEN TREE GOLF COURSE

MONTH OF: May2006

SUBMITTED BY: Jeff Jackson, Golf Maint. Supervisor

DATE: June 6, 2006



**A. DAILY MAINTENANCE**

1. Irrigation system repair
2. General Cleanup - trash receptables, rest rooms and clubhouse.
3. Watering as needed/hand and spot watering.
4. Regular mowing schedule.

GOLF COURSE TREES MAINTENANCE	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
# Planted	0	0	9	2
# Removed	2	6	67	63
# Trimmed	35	14	760	891
# Transplanted	0	0	2	0
# Sprayed	0	5	200	14
Joshua Tree Relocation	0	0	4	0

**B. IRRIGATION**

MAIN LINE	LATERAL LINE	HEAD REPAIR OR REPLACEMENT	CLOCK REPAIR	VALVE REPAIR	PUMP REPAIR
1	6	38	1	0	0

**C. SPECIAL PROJECTS**

1. Tree Trimming (continuous)
2. Fungicide Applications (on-going, as needed)

**D. VANDALISM**

1. Graffiti removal (constant)
2. Repair of damaged greens (on-going)

**E. CONSTRUCTION**

1. Sand trap edging and addition of sand (on-going)
2. Cart Path on #2 Green

**F. WEEKEND WORKERS**

1. Perimeter Trimming/weed abatement/painting/drain installation (on-going)

TOTAL MAN HOURS	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
Weekday Workers	777	918	7274	7498.75
Weekend Workers	162	246	4015	4790.5
CCC	0	0	0	0
JTPA	0	0	0	0

CITY OF VICTORVILLE, COMMUNITY SERVICES DEPARTMENT

GREEN TREE GOLF COURSE

**GOLF MARSHAL REPORT**

Submitted by: Janie Lynch, Golf Activities Supervisor

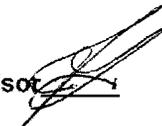
For the month May 2006

	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
Trespassing	50	99	345	548
Trespassing Golfers	13	11	66	82
Public Service	14	30	223	242
Dogs on Course	42	55	265	448
Vandalism	5	6	40	41
Burglary Reported	0	0	1	0
Issued Warning Violation	0	0	7	0
Improper Dress	11	7	80	53
Check Receipts	108	107	861	806
Riding Without Paying	7	6	58	53
Parked Improperly	47	59	396	562
Players Without Own Clubs	16	11	78	93
Practicing on Course	22	53	203	436
Under Age Driver	8	6	95	60
Three Players in Cart	4	1	21	23
Three Bags on Cart	2	0	14	3
Food Products } Clubhouse	0	0	7	1
Illegal Drink Cooler } Confirmation	22	16	118	186
Beverage Products } Products	6	15	27	144
Construction Vehicles on Course	10	4	35	18
More than Five Players	5	3	22	28
Slow Play	12	30	99	293
Special Problems - Comments	0	0	0	8

Other services provided by Golf Marshals on a daily basis:

- Check rest rooms
- Pick up broken tees on tees
- Repair ball mark on greens
- Pick up debris on course
- Rake Sand Traps
- Fill Divots (tees & fairways) with soil mix
- Empty trash containers at tees
- Hand water

**WESTWINDS GOLF COURSE**  
**MONTHLY REPORT OF SERVICES AND ACTIVITIES FY05/06**

Submitted by Janie Lynch, Golf Activities Supervisor 

For the Month of May 2006

DESCRIPTION	MONTHLY		YEAR-TO-DATE	
	Last Year	This Year	Last Year	This Year
<b>GOLF PLAY REVENUE</b>				
Green Fees	\$ 19,210.50	\$ 19,398.25	\$ 167,901.25	\$ 188,832.75
Memberships	\$ 2,614.00	\$ 3,130.75	\$ 20,437.91	\$ 27,912.91
Prime-Time Memberships	\$ 80.00	\$ 80.00	\$ 482.50	\$ 652.50
Golf Cars Rental	\$ 15,415.50	\$ 15,798.50	\$ 140,083.51	\$ 152,655.00
Private Car - Daily	\$ -	\$ -		\$ -
Private Car - Monthly	\$ -	\$ -	\$ -	\$ -
<b>SUB TOTAL</b>	<b>\$ 37,320.00</b>	<b>\$ 38,407.50</b>	<b>\$ 328,905.17</b>	<b>\$ 370,053.16</b>

<b>GOLF SHOP REVENUE</b>				
Driving Range	\$ 4,574.00	\$ 4,334.00	\$ 37,173.00	\$ 44,865.00
Club Rental	\$ 238.50	\$ 378.00	\$ 1,829.77	\$ 2,657.00
Lessons	\$ 1,195.01	\$ 1,435.00	\$ 8,205.01	\$ 10,219.00
Balls	\$ 488.66	\$ 937.71	\$ 7,341.75	\$ 8,798.65
Clubs	\$ 133.07	\$ 667.95	\$ 8,112.07	\$ 9,008.76
Merchandise	\$ 1,097.76	\$ 3,460.48	\$ 13,305.90	\$ 24,270.26
Sales Tax	\$ 139.02	\$ 398.73	\$ 2,290.82	\$ 3,289.09
<b>SUB TOTAL</b>	<b>\$ 7,866.02</b>	<b>\$ 11,611.87</b>	<b>\$ 78,258.32</b>	<b>\$103,107.76</b>

<b>CONCESSION REVENUE</b>				
5% of Gross Sales	\$ -	\$ 379.10	\$ 2,341.10	\$ 7,529.49
Rent (renovation incomplete)	\$ -	\$ 500.00	\$ 8,000.00	\$ 5,500.00
<b>SUB TOTAL</b>	<b>\$ -</b>	<b>\$ 879.10</b>	<b>\$ 10,341.10</b>	<b>\$ 13,029.49</b>

<b>REVENUE RECEIVED AT CITY HALL</b>				
<b>SUB TOTAL</b>	*	*	*	*
<b>TOTAL REVENUE</b>	<b>\$ 45,186.02</b>	<b>\$ 50,998.47</b>	<b>\$ 417,504.59</b>	<b>\$ 486,190.41</b>

\*Revenue from City Hall not received

<b>MEMBERSHIP ROUNDS</b>				
Membership	229	254	1702	2308
Weekend Prime-Time Members	16	16	100	186
<b>SUB TOTAL</b>	<b>245</b>	<b>270</b>	<b>1802</b>	<b>2494</b>

Weekday Rounds	51	113	657	797
Weekday Non Prime Time	51	50	430	549
Weekend/Holiday Rounds	143	123	1,039	1187
Weekend/Holiday Non Prime Time	33	21	459	526
Senior Weekday Rounds	76	144	1,218	1358
Senior Weekday Non Prime Time	21	9	262	267
Senior Weekend/Holiday Rounds	74	87	705	730
Senior Weekend/Holiday Non Prime Time	14	7	120	130
Military	35	27	320	293
Junior	19	19	208	176
Discount - Weekday	2	5	11	28
Discount - Weekend	9	0	29	98
Hotel	0	0	6	2
Tournament Rounds	46	58	227	440
<b>SUB TOTAL</b>	<b>574</b>	<b>663</b>	<b>5,691</b>	<b>6581</b>

**WESTWINDS GOLF COURSE**  
**MONTHLY REPORT OF SERVICES AND ACTIVITIES FY05/06**

Page 2 - Westwinds Golf Course

May 2006

DESCRIPTION	MONTHLY		YEAR-TO-DATE	
	Last Year	This Year	Last Year	This Year
<b>NON-PAID</b>				
Men's Club	0	0	13	0
Women's Club	0	0	0	0
SCHOOLS (Hook, Mesa Linda, & AAE Middle School)	39	41	227	219
New Resident Courtesy Cards	0	0	12	7
VIP	0	0	42	3
Promotional Prizes/Donations	10	2	15	15
<b>SUB TOTAL</b>	<b>49</b>	<b>43</b>	<b>309</b>	<b>244</b>

<b>9 HOLE ROUNDS</b>				
Weekday Rds.	148	166	1,150	1357
Weekday Non Prime Time	220	243	1,639	1901
Weekday Non Prime Time (3 hrs before sunset)	105	293	2,285	2564
Weekend/Holiday Rds	139	117	835	1055
Weekend/Holiday Non Prime Time	192	145	1,259	1407
Weekend/Holiday NPT(3 hrs before sunset)	47	37	1,048	1005
Senior Weekday Rds	185	206	1,243	1543
Senior Weekday Non Prime Time	84	80	1,161	1235
Senior Weekend/Holiday Rds	56	25	237	470
Senior Weekend/Holidays Non Prime Time	49	33	340	360
Military	43	32	284	330
Juniors	134	48	712	625
<b>SUB TOTAL</b>	<b>1,402</b>	<b>1,425</b>	<b>12,193</b>	<b>13852</b>

<b>TOTAL ROUNDS</b>	<b>2,270</b>	<b>2,401</b>	<b>19,995</b>	<b>23171</b>
---------------------	--------------	--------------	---------------	--------------

<b>CONCESSIONAIRE</b>				
Number of golf-related events	0	0	2	7
Number of non-golf related events onsite	0	0	0	8
Number of non-golf related events offsite	0	0	0	15
Total Number of Events	0	0	2	30

<b>MEMBERSHIPS</b>				
Total Number	80	85		
New Members	8	3		

<b>MISCELLANEOUS</b>				
Twilight Cars	380	341	3,908	4013
Average Daily Play	75	80		769
# Tournaments/ # Players (inc. in total rds)	3/83	4/58	18/454	25/581

<b>WEATHER DAYS</b>				
Windy	1	2	10	23
Cold/Hot	1	2	16	32
Rain	0	0	27	9
Slow Play (30 Players or less)	1	0	42	15
# Days Closed	0	0	4	0

<b>LESSONS</b>				
Adult Group Lessons	0	3/14	21/145	28/210
Adult Private	21	20	125	145
Youth Group	0	2/16	24/147	27/203
Youth Private	5	2	44	50
Lessons - Tiny Tots	0	2/12	7/44	15/93

CITY OF VICORVILLE  
COMMUNITY SERVICES  
MONTHLY REPORT OF SERVICE AND ACTIVITIES

DIVISION: WESTWINDS GOLF COURSE

MONTH OF: May2006

SUBMITTED BY: Edward Ontiveros, Leadworker <sup>40</sup>

DATE: June 7, 2006

**A. DAILY MAINTENANCE**

1. Irrigation system repair
2. General Cleanup - trash receptables, rest rooms and clubhouse.
3. Watering as needed/hand and spot watering.
4. Regular mowing schedule.

GOLF COURSE TREES MAINTENANCE	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
# Planted	0	0	9	56
# Removed	0	0	67	0
# Trimmed	0	0	760	315
# Transplanted	0	0	2	0
# Sprayed	50	20	200	260
Joshua Tree Relocation	0	0	4	0

**B. IRRIGATION**

MAIN LINE	LATERAL LINE	HEAD REPAIR OR REPLACEMENT	CLOCK REPAIR	VALVE REPAIR	PUMP REPAIR
1	2	6	0	2	0

**C. SPECIAL PROJECTS**

1. Tree Trimming (continuous)
2. Fungicide Applications (on-going, as needed)

**D. VANDALISM**

1. Graffiti removal (constant)
2. Repair of damaged greens (on-going)

**E. CONSTRUCTION**

1. Sand trap edging and addition of sand (on-going)
2. Cart Path on #2 Green

**F. WEEKEND WORKERS**

1. Perimeter Trimming/weed abatement/painting/drain installation (on-going)

TOTAL MAN HOURS	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
Weekday Workers	411	625.75	3813	4110.75
Weekend Workers	94	208	1742	1787
CCC	0	N/A	0	N/A
JTPA	0	N/A	0	N/A
Community Service	0	N/A	0	N/A
Maintenance Aides	316	N/A	5532	N/A

CITY OF VICTORVILLE, COMMUNITY SERVICES DEPARTMENT

WESTWINDS GOLF COURSE

**GOLF MARSHAL REPORT**

Submitted by: Janie Lynch, Golf Activities Supervisor

For the month May 2006

	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
Trespassing	0	0	10	15
Trespassing Golfers	0	0	2	8
Public Service	18	30	141	235
Dogs on Course	0	0	5	15
Vandalism	2	0	2	3
Burglary Reported	0	0	0	0
Issued Warning Violation	0	0	0	0
Improper Dress	8	10	53	71
Check Receipts	24	59	387	538
Riding Without Paying	1	10	33	77
Parked Improperly	11	51	209	471
Players Without Own Clubs	4	16	68	114
Practicing on Course	3	47	59	323
Under Age Driver	9	7	70	91
Three Players in Cart	0	7	11	32
Three Bags on Cart	0	4	3	11
Food Products } Clubhouse	0	0	15	2
Illegal Drink Cooler } Confirmation	13	21	58	123
Beverage Products } Products	0	10	18	104
Construction Vehicles on Course	0	0	0	0
More than Five Players	1	0	10	7
Slow Play	8	11	75	250
Special Problems - Comments	0	0	0	2

Other services provided by Golf Marshals on a daily basis:

- Check rest rooms
- Pick up broken tees on tees
- Repair ball mark on greens
- Pick up debris on course
- Rake Sand Traps
- Fill Divots (tees & fairways) with soil mix
- Empty trash containers at tees
- Hand water

# MEMORANDUM

DATE August 2, 2006  
FROM Jon E. Gargan  
Director of Community Services  
TO Carolee Bates  
City Clerk



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SUBJECT **COMMUNITY SERVICES DEPARTMENT - REPORTS**

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Attached are copies of the June 2006 activities and service reports prepared by the Community Services Department. It is requested that these items be forwarded to the City Council for their review.

JEG:lk

Attachments

Consent  
#6E2  
8-15-06





# Recreation Division Monthly Report of Services and Activities

Reviewed by Recreation Services Manager: *W. Galv*

### Inside This Report:

- 1 Totals & Highlights
- 2 Adult & Youth Sports
- 3 Programs & Classes
- 4 Events & Excursions
- 5 Rentals
- 6 Miscellaneous
- 7 Assisted Sports  
Groups & Aquatics

### A Look Ahead

- Joan Binion  
Memorial Scrabble  
Tournament  
August 11



## Enrollment Totals Jun-06

Total Participants Enrolled	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Programs and Classes	8,264	8,208	56,238	52,206
Youth Sports	* 110	** 493	2,275	2,038
<b>Total</b>	<b>8,374</b>	<b>8,701</b>	<b>58,513</b>	<b>54,244</b>
Total Teams Enrolled	# of Teams			
Adult Sports	99	109	322	265

\*2005 Youth T-Ball began in March.  
\*\*2006 Youth T-Ball begins in April.

## Highlights Jun-06

**Juneteenth - June 17, 2006:** Another great year! Juneteenth celebrated its 20th annual event with over 20 vendors, live entertainment and delicious food which was provided by A & J Hotstuff and Shirley Reed's Catering. The High Desert Black Heritage Committee sponsored the event. Highlights included a Tae Kwon Do demonstration by Master Bruce McGee and an amazing fashion show for all to enjoy.

**Jam-N-Jive Concert Series:** June kicked off our Summer Jam-N-Jive Concert series with performances by the Shenanigans Youth Theatre Group and local band, Mainstream, on June 9 and June 23, respectively. Our concert series was held at Hook Community Center and expanded over to Mesa Linda this year for the latter performance.

## Adult Sports

Jun-06



Adult Sports	# of Teams			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Coed Volleyball	9	0	25	11
Coed Indoor Soccer	0	0	0	0
Men's Soccer	0	13	0	18
Men's 5 on 5 Basketball	0	0	8	0
Men's 40+ Basketball	48	0	0	0
Men's Softball	29	42	137	* 106
Coed Softball	4	34	99	* 79
Women's Softball	0	0	15	0
Women's Basketball	0	0	0	0
Flag Football	0	6	13	11
Women's Soccer	9	14	25	* 32
Wiffleball	0	0	0	0
Tournaments	0	0	0	8
<b>SUBTOTAL</b>	<b>99</b>	<b>109</b>	<b>** 322</b>	<b>** 265</b>

\*\*Last year's numbers included two seasons (summer & fall). This year's numbers reflect the fall and winter seasons.

## Youth & Pee Wee Sports

Jun-06



Youth Sports	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Teen Basketball	N/A	N/A	473	134
Youth Basketball	N/A	N/A	837	793
Flag Football	N/A	N/A	226	220
Volleyball	90	90	90	90
T-Ball	0	240	* 179	240
<b>SUBTOTAL</b>	<b>90</b>	<b>330</b>	<b>1805</b>	<b>1477</b>

Pee Wee Sports	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Basketball	N/A	N/A	104	144
Soccer	N/A	N/A	95	101
T-Ball	N/A	145	120	145
Indoor T-Ball	N/A	N/A	71	59
Sports Sampler	20	18	80	112
<b>SUBTOTAL</b>	<b>20</b>	<b>163</b>	<b>470</b>	<b>561</b>

\* Indicates new sports enrollment for the current month



Programs/Classes	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Kids Klub (Spring Break)	122	105	798	659
Jr. Kids Klub	33	30	187	99
Youth Contract Classes	709	698	5899	6609
Adult Contract Classes	* 3	* 26	526	105
Tiny Tots	124	117	1146	1442
Tater Tots***	15	45	179	399
Teenie Tots	N/A	15	N/A	178
Just Baby & Me**	N/A	11	N/A	117
Sunbears (summer only)	N/A	14	N/A	14
Alpha Bears**	N/A	N/A	218	254
Freaky Fridaze	31	29	624	669
Rockview Campfire Series	N/A	N/A	90	97
<b>SUBTOTAL</b>	<b>1037</b>	<b>1090</b>	<b>9667</b>	<b>10642</b>

\* Adult participants were enrolled in classes categorized as "Youth Contract Classes"

\*\*Started in September 2005

\*\*\*Class resumed in October 2005

Open Gym/Hook & Westwinds	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Hook Community Center	208	177	2472	993
Westwinds Sports Center	458	* 267	4862	3329
<b>SUBTOTAL</b>	<b>666</b>	<b>444</b>	<b>7334</b>	<b>4322</b>

\*Hook Open Gym eliminated Mon. & Weds.

\* I.D. now required for participation in this activity at both sites.

Racquetball and Tennis Pebble Beach	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Racquetball Member Play	576	328	5354	4400
Racquetball Non-Member Play	145	145	1380	1248
Racquetball Tournaments	N/A	N/A	62	18
Racquetball Lessons	5	N/A	40	34
Tennis Tournaments	0	0	13	0
Tennis Lessons	0	11	72	80
<b>SUBTOTAL</b>	<b>726</b>	<b>484</b>	<b>6921</b>	<b>5780</b>

Westwinds Sports Center	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Racquetball	300	425	3778	3739
Exercise Equipment	1	8	180	178
<b>SUBTOTAL</b>	<b>301</b>	<b>433</b>	<b>3958</b>	<b>3917</b>

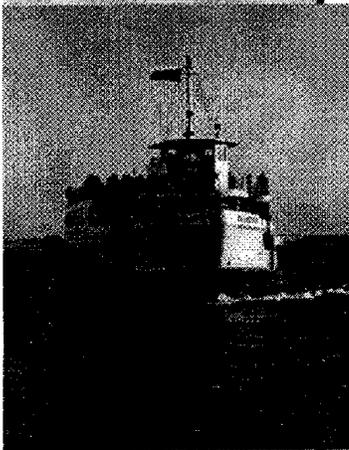


**Special Events & Excursions**

**Jun-06**



Special Events	# of Paid Participants		# of Non-Paid Participants	
	Last Year	This Year	Last Year	This Year
Family Fireworks Festival	N/A	N/A	20000	20000
Spice of Life			10,000	12,000
Mojave River Run	137	275	N/A	N/A
Rockview Cemetery	N/A	N/A	N/A	500
Breakfast with Santa 12/3/05	550	577	N/A	N/A
Rent-A-Santa	44	37	N/A	N/A
Teen Expo 3/11/06	N/A	N/A	400	400
Tot Olympics 4/8/06	50	75	75	100
Spring Egg Hunt 4/15/06	882	1000	3500	3500
Strut Your Mutt	N/A	N/A	N/A	1,000
Juneteenth 6/17/06	N/A	N/A	300	450
Jam-N-Jive Concerts	N/A	N/A	N/A	100
<b>TOTAL</b>	1663	1964	34275	38050



Excursions	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
Champagne Brunch Cruise	46	46	46	46
<b>SUBTOTAL</b>	46	46	46	46

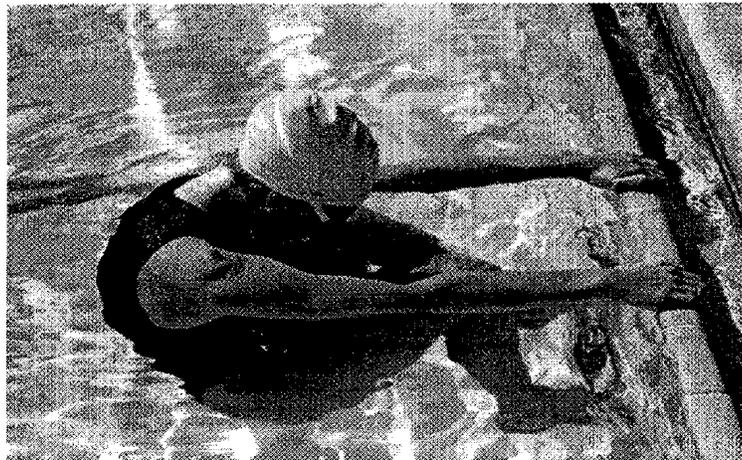
**Park & Facility Rentals & Uses**

**Jun-06**



PARK/FIELD RENTALS/USES	# of Rentals/Uses			
	Monthly		Year to Date	
	Last Year	This Year	Last Year	This Year
Center Street	53	60	194	366
Eva Dell	61	61	371	416
Hook	204	157	1474	1744
Liberty	65	67	391	426
Doris Davies Park	19	19	134	62
Doris Davies Tennis Courts/Lights	28	11	545	230
Schmidt	40	90	333	680
Westwinds Sports Field	28	30	183	275
Rockview	4	1	10	16
<b>TOTAL</b>	<b>502</b>	<b>* 496</b>	<b>3635</b>	<b>* 4215</b>
FACILITY RENTALS/USES				
Hook Community Center	314	143	2030	2163
Rockview Nature Center	2	0	7	18
VAC Auditoriums	82	60	700	677
Westwinds Activities Center	25	5	164	164
Westwinds Sports Center	12	19	92	155
<b>TOTAL</b>	<b>435</b>	<b>* 227</b>	<b>2993</b>	<b>* 3177</b>
POOL RENTALS				
Pebble Beach	8	41	37	320
Village	8	0	30	13
Village Pool with Rec Center	0	28	3	205
<b>TOTAL</b>	<b>16</b>	<b>69</b>	<b>70</b>	<b>* 538</b>

\*Last year's figure include all FUA's. This year's figures include all FUA'S, including gathering permits and Recreation Programs. Picnic rental FUA'S required only for Doris Davies, Schmidt and Rockview Parks.





	# Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
<b>Volunteers</b>				
Youth Sport Coaches	35	48	263	230
Pee Wee Sport Coaches	N/A	14	37	42
R.A.T. Pack**	13	34	25	34
Jr. Lifeguards	16	17	64	54
<b>TOTAL</b>	<b>64</b>	<b>113</b>	<b>389</b>	<b>360</b>

\* New Coaches

	# Hours			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
<b>Volunteers</b>				
Youth Sport Coaches	126.00	432.00	2401.00	4196.00
Pee Wee Sport Coaches	N/A	14.00	290.00	356.00
R.A.T. Pack**	0.00	51.00	192.50	237.50
Jr. Lifeguards	N/A	N/A	1031.50	1211.25
<b>TOTAL</b>	<b>126.00</b>	<b>497.00</b>	<b>3915.00</b>	<b>6000.75</b>

	# Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
<b>Work Programs</b>				
Victor Valley College Students	0	0	3	0
Workability	0	0	37	12
<b>TOTAL</b>	<b>0</b>	<b>0</b>	<b>40</b>	<b>12</b>

	# Hours			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
<b>Work Programs</b>				
Victor Valley College Students	0.00	0.00	199.50	0.00
Workability	0.00	0.00	895.25	89.00
<b>TOTAL</b>	<b>0.00</b>	<b>0.00</b>	<b>1094.75</b>	<b>89.00</b>

\*\*\*"Responsibly Active Teens", formerly Volun"Teens"

**Assisted Sports Groups**

**Jun-06**



Assisted Sports Groups (YTD)	# of Participants	
	Last Year	This Year
Amer. Youth Soccer Org. (Sept-Feb)	960	1200
Jr. All Amer. Football (Sept-Dec)	N/A	N/A
Little League (Mar-July)	1070	1250
National Jr. Basketball (Dec-March)	150	150
Victorville Youth Football (Aug-Dec)	250	300
Victorville Youth Soccer (Aug-Mar)	650	600
<b>TOTAL</b>	<b>3080</b>	<b>3500</b>

**Aquatics**

**Jun-06**

Aquatics	# of Participants			
	Monthly		Year-to-Date	
	Last Year	This Year	Last Year	This Year
<b>Aquatics Pebble Beach Pool</b>				
Recreation Swim	3344	3624	15565	15115
Evening Rec Swim	43	243	1407	1054
Lap Swim	474	546	3451	3526
Swim Classes	366	213	1276	1132
Individual Lessons	16	N/A	35	42
Water Polo *	N/A	N/A	14	0
Aquatics Contract Classes	468	557	2705	3077
<b>SUBTOTAL</b>	<b>4711</b>	<b>5183</b>	<b>24453</b>	<b>23946</b>
<b>Aquatics Village Pool</b>				
Recreation Swim	544	223	3091	2255
Swim Classes	221	271	743	828
Individual Lessons	12	34	24	65
Community Water Safety	0	0	1	7
<b>SUBTOTAL</b>	<b>777</b>	<b>528</b>	<b>3859</b>	<b>3155</b>
<b>Aquatics Victor High Sch. Pool</b>				
Swim Classes	N/A	263	N/A	263
Individual Lessons	N/A	35	N/A	35
<b>SUBTOTAL</b>	<b>0</b>	<b>298</b>	<b>0</b>	<b>298</b>

\* This activity is no longer offered.

**COMMUNITY SERVICES DEPARTMENT  
FACILITIES REPORT**

<b>REPORT TITLE:</b> Monthly Service Report		<b>DIVISION:</b> Facilities		<b>PAGE:</b> 1 of 1		
<b>SUBMITTED BY:</b> Chuck Reynolds <i>cl</i>		<b>TITLE:</b> Facilities Manager		<b>FOR THE MONTH OF:</b> JUNE 2006		
				<b>DATE:</b> July 6, 2006		
<b>SQUARE FOOTAGE MAINTAINED</b>			333,000 square feet			
			<b>MONTHLY</b>		<b>YEAR-TO-DATE</b>	
			<b>Last Year</b>	<b>This Year</b>	<b>Last Year</b>	<b>This Year</b>
<b>1. FACILITY REPAIRS/SERVICE REQUESTS</b>						
a. City-Wide			69	63	912	706
b. Projects			1	3	38	21
<b>2. VANDALISM ACTS REPAIRED</b>			2	0	20	10
<b>3. WEEKEND WORKERS - Total Hours</b>						
a. Number of Workers: _____			0	0	0	0
b. # sent back to Glen Helen: _____			0	0	0	0
<b>4. WEEKDAY WORKERS - Total Hours</b>						
a. Number of Workers: _____			0	0	0	0
<b>5. CCC WORKERS - Total Hours</b>						
a. Number of Workers: _____			0	0	0	0
<b>6. RENTAL UNITS - RESIDENTIAL</b>						
a. Total Units: _____			5			
b. Units Rented: _____			5			
c. Vacant: _____			0			

**GREEN TREE GOLF COURSE  
MONTHLY REPORT OF SERVICES AND ACTIVITIES - FY-05/06**

Submitted by Janie Lynch, Golf Activities Supervisor *AL*

For the Month of June 2006

	MONTHLY		YEAR-TO-DATE	
	Last Year	This Year	Last Year	This Year

**GOLF PLAY REVENUE**

Green Fees	\$ 34,673.50	\$ 32,132.50	\$ 342,878.50	\$ 370,031.25
Memberships	\$ 4,727.22	\$ 4,393.23	\$ 60,539.31	\$ 46,730.32
Prime-Time Memberships	\$ 390.00	\$ 360.00	\$ 5,442.50	\$ 4,705.00
Golf Cars Rental	\$ 28,156.00	\$ 26,593.50	\$ 268,421.75	\$ 294,293.99
Private Car - Daily	\$ 675.00	\$ 483.00	\$ 6,697.50	\$ 6,038.50
Private Car - Monthly (From Pro Shop)	\$ 925.00	\$ 600.00	\$ 15,625.00	\$ 12,276.50
Junior Membership * added 6/2006	\$ -	\$ 600.00	\$ -	\$ 600.00
<b>SUB TOTAL</b>	<b>\$ 69,546.72</b>	<b>\$ 65,162.23</b>	<b>\$ 699,604.56</b>	<b>\$ 734,675.56</b>

**GOLF SHOP REVENUE**

Club Rental	\$ 210.00	\$ 410.00	\$ 1,900.00	\$ 2,815.00
Lessons	\$ -	\$ -	\$ 169.00	\$ 75.00
Balls	\$ 2,298.95	\$ 2,260.95	\$ 22,741.78	\$ 24,600.39
Clubs	\$ 841.27	\$ 892.39	\$ 11,150.74	\$ 11,122.23
Merchandise	\$ 3,191.80	\$ 2,779.55	\$ 38,161.54	\$ 42,209.70
Sales Tax	\$ 490.39	\$ 459.79	\$ 5,579.70	\$ 6,035.83
<b>SUB TOTAL</b>	<b>\$ 7,032.41</b>	<b>\$ 6,802.68</b>	<b>\$ 79,702.76</b>	<b>\$ 86,858.15</b>

**CONCESSION REVENUE**

5% of Gross Sales**	\$ 1,518.78	\$ 1,321.34	\$ 13,859.21	\$ 11,039.38
Rent	\$ 1,000.00	\$ 1,000.00	\$ 12,000.00	\$ 12,000.00
<b>SUB TOTAL</b>	<b>\$ 2,518.78</b>	<b>\$ 2,321.34</b>	<b>\$ 25,859.21</b>	<b>\$ 23,039.38</b>

\*\*Concession sales always 30 days in arrears

<b>SUB TOTAL</b>	*	*	*	*
<b>TOTAL REVENUE</b>	<b>\$ 79,097.91</b>	<b>\$ 74,128.625</b>	<b>\$ 725,166.53</b>	<b>\$ 764,573.09</b>

\*Revenue from City Hall not received

**MEMBERSHIP ROUNDS**

Membership	400	312	4,295	3,317
Weekend Prime-Time Members	78	72	1,090	889
<b>SUB TOTAL</b>	<b>478</b>	<b>384</b>	<b>5,385</b>	<b>4,206</b>

**18 HOLE ROUNDS**

Weekday Rounds	209	287	2,221	2,639
Weekday Non Prime Time	199	249	1,896	2,270
Weekend/Holiday Rounds	287	207	2,845	3,066
Weekend/Holiday Non Prime Time	134	61	260	1,214
Senior Weekday Rounds	244	250	2,437	2,842
Senior Weekday Non Prime Time	67	68	774	964
Senior Weekend/Holiday Rounds	150	106	1,379	1,454
Senior Weekend/Holiday Non Prime Time	23	21	473	309
Military	62	59	689	849
Junior	51	32	308	309
Discount - Weekday	24	29	273	273
Discount - Weekend	16	5	222	131
Discount-Hotel	17	12	428	344
Tournament Rounds	314	516	2,513	2,459
<b>SUB TOTAL</b>	<b>1,797</b>	<b>1,902</b>	<b>16,718</b>	<b>19,123</b>

**GREEN TREE GOLF COURSE  
MONTHLY REPORT OF SERVICES AND ACTIVITIES - FY-05/06**

Page 2 - Green Tree Golf Course June 2006

	YEAR-TO-DATE		YEAR-TO-DATE	
	Last Year	This Year	Last Year	This Year
<b>NON-PAID</b>				
Men's Club	0	0	109	61
Women's Club	51	0	190	161
Schools (High School & Middle School Teams)	0	0	378	467
VIP	1	0	4	4
New Resident Courtesy Card	2	0	63	6
Promotional Prizes/Donations	6	12	44	39
<b>SUB TOTAL</b>	<b>60</b>	<b>12</b>	<b>788</b>	<b>738</b>

<b>9 HOLE ROUNDS</b>				
Weekday Rds	49	44	402	450
Weekday Non Prime Time	110	88	887	928
Weekday Non Prime Time (3 hrs. before sunset)	433	415	3,788	3,764
Weekend/Holiday Rds	13	21	159	190
Weekend/Holiday Non Prime Time	57	36	394	516
Weekend/Holiday NPT (3hrs. before sunset)	91	71	1,215	1,168
Senior Weekday Rds	42	70	415	449
Senior Weekday Non Prime Time	51	95	691	801
Senior Weekend/Holiday Rds	3	8	39	42
Senior Weekend/Holiday Non Prime Time	43	23	276	294
Military/Juniors	37	35	316	307
<b>SUB TOTAL (9 HOLE ROUNDS)</b>	<b>929</b>	<b>906</b>	<b>8,582</b>	<b>8,909</b>

<b>TOTAL ROUNDS</b>	<b>3,264</b>	<b>3,204</b>	<b>31,473</b>	<b>32,976</b>
---------------------	--------------	--------------	---------------	---------------

<b>CONCESSIONAIRE</b>				
Number of golf-related events	1	2	30	31
Number of non-golf related events onsite	0	3	12	24
Number of non-golf related events offsite	13	6	113	79
<b>Total Number of Events</b>	<b>14</b>	<b>11</b>	<b>155</b>	<b>134</b>

<b>MEMBERSHIPS</b>				
Total Number	81	77	Dual member clubs with Westford Golf Course	
New Members	4	2		

<b>MISCELLANEOUS</b>				
Twilight Cars	672	583	5,724	6,434
Average Daily Play	116	101		
# Tournaments/ # Players (inc. in total rds)	15/639	14/516	104/4188	110/3920

<b>WEATHER DAYS</b>				
Windy	1	1	13	12
Cold/Hot	1	1	20	31
Rain	0	0	29	17
Slow Play (30 Players or less)	0	0	25	10
# Days Closed	0	0	15	2

<b>LESSONS</b>				
Lessons - Adults & Youth	0	0	0	0
Clinics - Adults & Youth	0	0	2/14	38,724
Junior Golf Program	0	0	0	0

CITY OF VICTORVILLE, COMMUNITY SERVICES DEPARTMENT

GREEN TREE GOLF COURSE

**GOLF MARSHAL REPORT**

Submitted by: Janie Lynch, Golf Activities Supervisor

For the month June 2006

	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
Trespassing	66	83	411	631
Trespassing Golfers	8	12	74	94
Public Service	10	42	233	284
Dogs on Course	30	31	295	479
Vandalism	3	0	43	41
Burglary Reported	0	0	1	0
Issued Warning Violation	0	0	7	0
Improper Dress	4	9	84	62
Check Receipts	81	96	942	902
Riding Without Paying	10	15	68	68
Parked Improperly	33	54	429	616
Players Without Own Clubs	10	11	88	104
Practicing on Course	12	47	215	483
Under Age Driver	6	7	101	67
Three Players in Cart	1	1	22	24
Three Bags on Cart	0	0	14	3
Food Products } Clubhouse	0	0	7	1
Illegal Drink Cooler } Confirmation	21	26	139	212
Beverage Products } Products	13	11	40	155
Construction Vehicles on Course	4	1	39	19
More than Five Players	2	1	24	29
Slow Play	14	22	113	315
Special Problems - Comments	0	0	0	8

Other services provided by Golf Marshals on a daily basis:

- Check rest rooms
- Pick up broken tees on tees
- Repair ball mark on greens
- Pick up debris on course
- Rake Sand Traps
- Fill Divots (tees & fairways) with soil mix
- Empty trash containers at tees
- Hand water

CITY OF VICORVILLE  
COMMUNITY SERVICES  
MONTHLY REPORT OF SERVICE AND ACTIVITIES

DIVISION: GREEN TREE GOLF COURSE

MONTH OF: June 2006

SUBMITTED BY: Jeff Jackson, Golf Maint. Supervisor

DATE: July 1, 2006



**A. DAILY MAINTENANCE**

1. Irrigation system repair
2. General Cleanup - trash receptables, rest rooms and clubhouse.
3. Watering as needed/hand and spot watering.
4. Regular mowing schedule.

GOLF COURSE TREES MAINTENANCE	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
# Planted	0	0	9	2
# Removed	15	5	82	68
# Trimmed	10	12	770	903
# Transplanted	0	0	0	0
# Sprayed	400	2	600	16
Joshua Tree Relocation	0	0	4	0

**B. IRRIGATION**

MAIN LINE	LATERAL LINE	HEAD REPAIR OR REPLACEMENT	CLOCK REPAIR	VALVE REPAIR	PUMP REPAIR
1	7	33	0	1	1

**C. SPECIAL PROJECTS**

1. Tree Trimming (continuous)
2. Fungicide Applications (on-going, as needed)

**D. VANDALISM**

1. Graffiti removal (constant)
2. Repair of damaged greens (on-going)

**E. CONSTRUCTION**

1. Sand trap edging and addition of sand (on-going)
2. Cart Path on #2 Green

**F. WEEKEND WORKERS**

1. Perimeter Trimming/weed abatement/painting/drain installation (on-going)

TOTAL MAN HOURS	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
Weekday Workers	657	918	7931	8416.75
Weekend Workers	194	510	4209	5300.5
CCC	0	0	0	0
JTPA	0	0	0	0

**WESTWINDS GOLF COURSE  
MONTHLY REPORT OF SERVICES AND ACTIVITIES FY05/06**

Submitted by Janie Lynch, Golf Activities Supervisor *JL*

For the Month of June 2006

DESCRIPTION	MONTHLY		YEAR-TO-DATE	
	Last Year	This Year	Last Year	This Year
<b>GOLF PLAY REVENUE</b>				
Green Fees	\$ 19,703.25	\$ 18,780.00	\$ 187,604.50	\$ 207,612.75
Memberships	\$ 2,622.78	\$ 2,356.77	\$ 23,060.69	\$ 30,269.68
Prime-Time Memberships	\$ 57.50	\$ 32.50	\$ 540.00	\$ 685.00
Golf Cars Rental	\$ 16,165.00	\$ 15,842.50	\$ 156,248.51	\$ 168,497.50
Private Car - Daily	\$ -	\$ -		\$ -
Private Car - Monthly	\$ -	\$ -	\$ -	\$ -
Junior Memberships * added 6/2006	\$ -	\$ 250.00	\$ -	\$ 250.00
<b>SUB TOTAL</b>	<b>\$ 38,548.53</b>	<b>\$ 37,261.77</b>	<b>\$ 367,453.70</b>	<b>\$ 407,314.93</b>

<b>GOLF SHOP REVENUE</b>				
Driving Range	\$ 4,411.00	\$ 4,644.50	\$ 41,584.00	\$ 49,509.50
Club Rental	\$ 245.00	\$ 287.00	\$ 2,074.77	\$ 2,944.00
Lessons	\$ 1,165.00	\$ 1,535.00	\$ 9,370.01	\$ 11,754.00
Balls	\$ 505.24	\$ 1,030.80	\$ 7,846.99	\$ 9,829.45
Clubs	\$ 1,155.75	\$ 1,115.41	\$ 9,267.82	\$ 10,124.17
Merchandise	\$ 737.84	\$ 2,394.86	\$ 14,043.74	\$ 26,665.12
Sales Tax	\$ 193.24	\$ 353.22	\$ 2,484.06	\$ 3,642.31
<b>SUB TOTAL</b>	<b>\$ 8,413.07</b>	<b>\$ 11,360.79</b>	<b>\$ 86,671.39</b>	<b>\$114,468.55</b>

<b>CONCESSION REVENUE</b>				
5% of Gross Sales	\$ -	\$ 474.72	\$ 2,341.10	\$ 8,004.21
Rent (renovation incomplete)	\$ -	\$ 500.00	\$ 8,000.00	\$ 6,000.00
<b>SUB TOTAL</b>	<b>\$ -</b>	<b>\$ 974.72</b>	<b>\$ 10,341.10</b>	<b>\$ 14,004.21</b>

<b>REVENUE RECEIVED AT CITY HALL</b>				
<b>SUB TOTAL</b>	*	*	*	*
<b>TOTAL REVENUE</b>	<b>6,351.21</b>	<b>8,597.24</b>	<b>182,356.60</b>	<b>191,323.44</b>

\*Revenue from City Hall not received

<b>MEMBERSHIP ROUNDS</b>				
Membership	245	197	1947	2505
Weekend Prime-Time Members	12	9	112	195
<b>SUB TOTAL</b>	<b>257</b>	<b>206</b>	<b>2059</b>	<b>2700</b>

Weekday Rounds	93	88	750	885
Weekday Non Prime Time	39	37	469	586
Weekend/Holiday Rounds	99	140	1,138	1327
Weekend/Holiday Non Prime Time	47	23	506	549
Senior Weekday Rounds	154	121	1,372	1479
Senior Weekday Non Prime Time	15	11	277	278
Senior Weekend/Holiday Rounds	105	49	810	779
Senior Weekend/Holiday Non Prime Time	7	5	127	135
Military	22	21	342	314
Junior	25	26	233	202
Discount - Weekday	2	2	13	30
Discount - Weekend	4	1	33	99
Hotel	0	0	6	2
Tournament Rounds	10	117	237	557
<b>SUB TOTAL</b>	<b>622</b>	<b>641</b>	<b>6,313</b>	<b>7222</b>

**WESTWINDS GOLF COURSE**  
**MONTHLY REPORT OF SERVICES AND ACTIVITIES FY05/06**

Page 2 - Westwinds Golf Course

June 2006

DESCRIPTION	MONTHLY		YEAR-TO-DATE	
	Last Year	This Year	Last Year	This Year
<b>NON-PAID</b>				
Men's Club	0	0	13	0
Women's Club	0	0	0	0
Schools (Hook, Mesa Linda, & AAE Middle School)	0	29	227	248
New Resident Courtesy Cards	0	0	12	7
VIP	0	0	45	3
Promotional Prizes/Donations	3	0	15	15
<b>SUB TOTAL</b>	<b>3</b>	<b>29</b>	<b>312</b>	<b>273</b>
<b>9 HOLE ROUNDS</b>				
Weekday Rds.	176	186	1,326	1543
Weekday Non Prime Time	240	223	1,879	2124
Weekday Non Prime Time (3 hrs before sunset)	252	367	2,537	2931
Weekend/Holiday Rds	130	97	965	1152
Weekend/Holiday Non Prime Time	130	78	1,389	1485
Weekend/Holiday NPT(3 hrs before sunset)	39	53	1,087	1058
Senior Weekday Rds	188	217	1,431	1760
Senior Weekday Non Prime Time	115	71	1,276	1306
Senior Weekend/Holiday Rds	40	38	277	508
Senior Weekend/Holidays Non Prime Time	30	25	370	385
Military	40	32	324	362
Juniors	91	65	803	690
<b>SUB TOTAL</b>	<b>1,471</b>	<b>1,452</b>	<b>13,664</b>	<b>15304</b>
<b>TOTAL ROUNDS</b>	<b>2,353</b>	<b>2,328</b>	<b>22,348</b>	<b>25499</b>
<b>CONCESSIONAIRE</b>				
Number of golf-related events	0	3	2	10
Number of non-golf related events onsite	0	0	0	8
Number of non-golf related events offsite	0	0	0	15
Total Number of Events	0	3	2	33
<b>MEMBERSHIPS</b>				
Total Number	81	77		
New Members	4	2		
<b>MISCELLANEOUS</b>				
Twilight Cars	356	380	4,264	4393
Average Daily Play	82	77		846
# Tournaments/ # Players (inc. in total rds)	3/106	4/117	21/560	29/698
<b>WEATHER DAYS</b>				
Windy	2	0	12	23
Cold/Hot	0	1	16	33
Rain	0	0	27	9
Slow Play (30 Players or less)	0	0	42	15
# Days Closed	0	0	4	0
<b>LESSONS</b>				
Adult Group Lessons	3/23	2/18	24/168	30/228
Adult Private	16	14	141	159
Youth Group	3/12	2/11	27/159	29/214
Youth Private	4	6	48	56
Lessons - Tiny Tots	3/15	2/16	10/59	17/109

CITY OF VICTORVILLE, COMMUNITY SERVICES DEPARTMENT

WESTWINDS GOLF COURSE

**GOLF MARSHAL REPORT**

Submitted by: Janie Lynch, Golf Activities Supervisor



For the month June 2006

	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
Trespassing	3	0	13	15
Trespassing Golfers	0	0	2	8
Public Service	15	27	156	262
Dogs on Course	0	2	5	17
Vandalism	0	0	2	3
Burglary Reported	0	0	0	0
Issued Warning Violation	0	0	0	0
Improper Dress	5	12	58	83
Check Receipts	7	41	394	579
Riding Without Paying	3	6	36	83
Parked Improperly	15	45	224	516
Players Without Own Clubs	4	14	72	128
Practicing on Course	0	25	59	348
Under Age Driver	5	16	75	107
Three Players in Cart	1	2	12	34
Three Bags on Cart	1	2	4	13
Food Products } Clubhouse	0	0	15	2
Illegal Drink Cooler } Confirmation	8	28	66	151
Beverage Products } Products	1	0	19	104
Construction Vehicles on Course	0	0	0	0
More than Five Players	1	1	11	8
Slow Play	7	10	82	260
Special Problems - Comments	0	0	0	2

Other services provided by Golf Marshals on a daily basis:

- Check rest rooms
- Pick up broken tees on tees
- Repair ball mark on greens
- Pick up debris on course
- Rake Sand Traps
- Fill Divots (tees & fairways) with soil mix
- Empty trash containers at tees
- Hand water

CITY OF VICORVILLE  
COMMUNITY SERVICES  
MONTHLY REPORT OF SERVICE AND ACTIVITIES

DIVISION: WESTWINDS GOLF COURSE

MONTH OF: June2006

SUBMITTED BY: Edward Ontiveros, Leadworker *EO*

DATE: July 12, 2006

**A. DAILY MAINTENANCE**

1. Irrigation system repair
2. General Cleanup - trash receptables, rest rooms and clubhouse.
3. Watering as needed/hand and spot watering.
4. Regular mowing schedule.

GOLF COURSE TREES MAINTENANCE	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
# Planted	0	0	56	56
# Removed	0	0	0	0
# Trimmed	0	10	315	325
# Transplanted	0	0	0	0
# Sprayed	50	5	310	265
Joshua Tree Relocation	0	0	0	0

**B. IRRIGATION**

MAIN LINE	LATERAL LINE	HEAD REPAIR OR REPLACEMENT	CLOCK REPAIR	VALVE REPAIR	PUMP REPAIR
0	1	7	0	1	0

**C. SPECIAL PROJECTS**

1. Tree Trimming (continuous)
2. Fungicide Applications (on-going, as needed)

**D. VANDALISM**

1. Graffiti removal (constant)
2. Repair of damaged greens (on-going)

**E. CONSTRUCTION**

1. Sand trap edging and addition of sand (on-going)
2. Cart Path on #2 Green

**F. WEEKEND WORKERS**

1. Perimeter Trimming/weed abatement/painting/drain installation (on-going)

TOTAL MAN HOURS	MONTHLY		YEAR TO DATE	
	LAST YEAR	THIS YEAR	LAST YEAR	THIS YEAR
Weekday Workers	304	328	4117	4438.75
Weekend Workers	112	120	1854	1907
CCC	0	N/A	0	N/A
JTPA	0	N/A	0	N/A
Community Service	0	N/A	0	N/A
Maintenance Aides	340	N/A	5872	N/A

# **City of Victorville**

## **Development Department**

**Submitted by  
Bill Webb  
Development Director**

### **June 2006 Monthly Report Summary**

**Year-to-Date Report of New Construction Permits Issued**

**Year-to-Date Report of Miscellaneous Permits Issued**

**Certificate of Occupancies Issued by RDA Area**

**Report of Code Enforcement Cases**

**Estimated Counter Calls**

**Projects Reviewed for Building Permits**

**Projects Reviewed for Building Permits by the Number of Dwelling Units**

**Projects Reviewed for Grading Permits**

**Planning Commission Report**

**Planning Commission Cases Heard**

**Residential Building Activities Based on Utility Releases**

Consent  
#6E3  
8-15-06

# City of Victorville

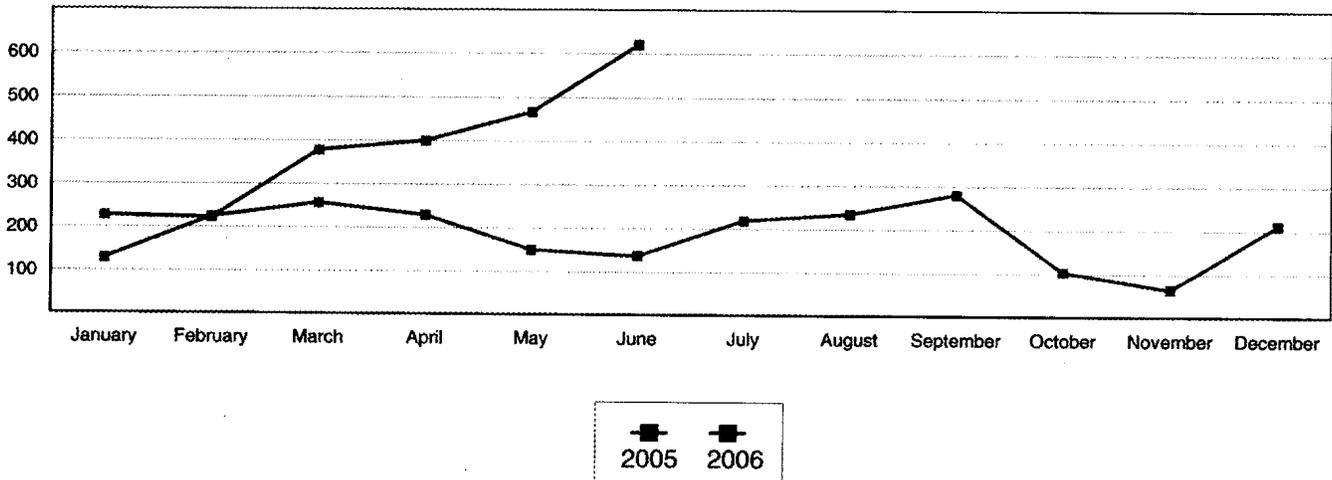
Development Department

## Building Division

### Year-to-Date Report of New Construction Permits Issued

	<u>Category</u>	<u>Quantity</u>	<u>Valuation</u>	<u>Sq. Ft.</u>
<b>January</b>	Mobile Homes	2	\$50,000	2,832
	Single Family Residences	227	\$39,648,406	494,553
<b>February</b>	Mobile Homes	3	\$50,000	3,120
	Multi-Family Residences (Dwelling Units: 113)	8	\$6,890,867	106,705
	Single Family Residences	222	\$42,349,404	532,332
<b>March</b>	Commercial	2	\$705,606	7,951
	Mobile Homes	1	\$10,000	1,440
	Single Family Residences	377	\$69,880,331	883,801
<b>April</b>	Commercial	1	\$3,830,460	57,200
	Mobile Homes	6	\$67,054	6,865
	Multi-Family Residences (Dwelling Units: 92)	23	\$7,025,212	84,709
	Single Family Residences	399	\$81,331,650	1,017,747
<b>May</b>	Mobile Homes	2	\$20,000	1,297
	Single Family Residences	466	\$90,570,268	1,142,970
<b>June</b>	Commercial	2	\$277,856	3,478
	Mobile Homes	1	\$10,000	1,440
	Multi-Family Residences (Dwelling Units: 4)	1	\$271,333	2,297
	Single Family Residences	620	\$124,146,859	1,564,087
<b>Year-to-Date Month Total:</b>		<b>2,363</b>	<b>\$467,135,306</b>	

### Single Family Residences



# City of Victorville

Development Department

## Building Division

### Year-To-Date Report of Miscellaneous Permits Issued

#### January

Miscellaneous	163	\$117,641.00
Sign	9	\$35,750.00
Swimming Pool	8	\$196,500.00
	<u>180</u>	

#### February

Miscellaneous	207	\$157,754.00
Sign	9	\$63,501.00
Swimming Pool	15	\$352,000.00
	<u>231</u>	

#### March

Miscellaneous	189	\$112,410.00
Sign	5	\$46,002.00
Swimming Pool	28	\$626,800.00
	<u>222</u>	

#### April

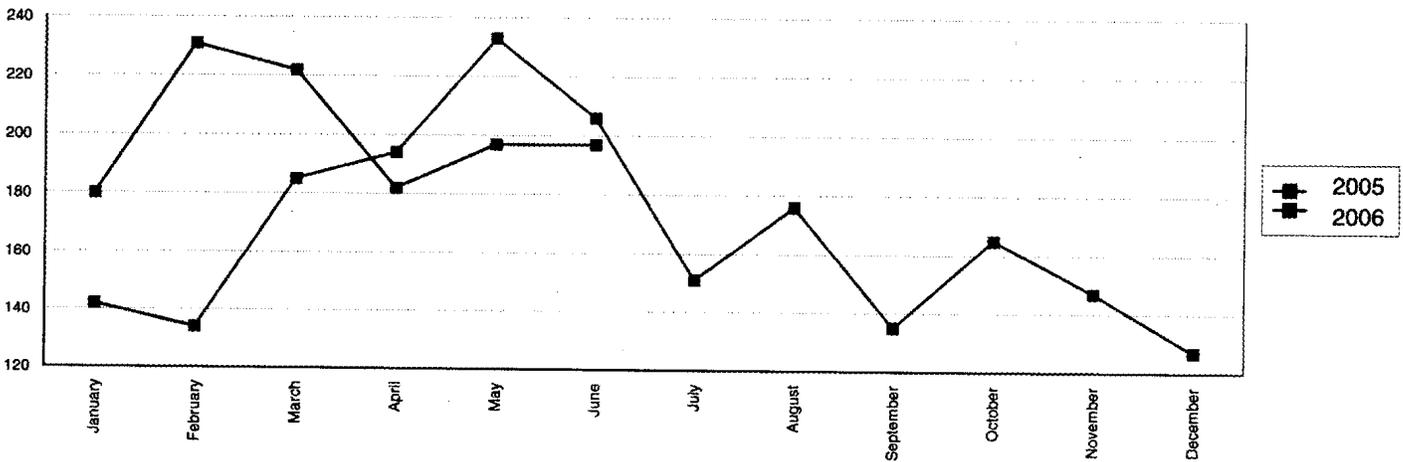
Miscellaneous	153	\$130,690.00
Sign	8	\$124,300.00
Swimming Pool	21	\$479,250.00
	<u>182</u>	

#### May

Miscellaneous	146	\$107,472.00
Sign	17	\$129,041.00
Swimming Pool	34	\$712,901.00
	<u>197</u>	

#### June

Miscellaneous	151	\$83,615.00
Sign	8	\$35,700.00
Swimming Pool	38	\$720,800.00
	<u>197</u>	



# City of Victorville

Development Department

## Building Division

### Certificate of Occupancies Issued By RDA Area

#### January

	<u>AMOUNT</u>
BEAR VALLEY RD	1
EXEMPT	2
OLD TOWN RDA	2
VVEDA RDA	7

MONTHLY TOTAL: 12

#### February

	<u>AMOUNT</u>
BEAR VALLEY RD	3
EXEMPT	2
OLD TOWN RDA	3
VVEDA RDA	11

MONTHLY TOTAL: 19

#### March

	<u>AMOUNT</u>
BEAR VALLEY RD	3
EXEMPT	2
OLD TOWN RDA	3
VVEDA RDA	10

MONTHLY TOTAL: 18

#### April

	<u>AMOUNT</u>
BEAR VALLEY RD	1
EXEMPT	5
OLD TOWN RDA	2
VVEDA RDA	1
	8

MONTHLY TOTAL: 17

#### May

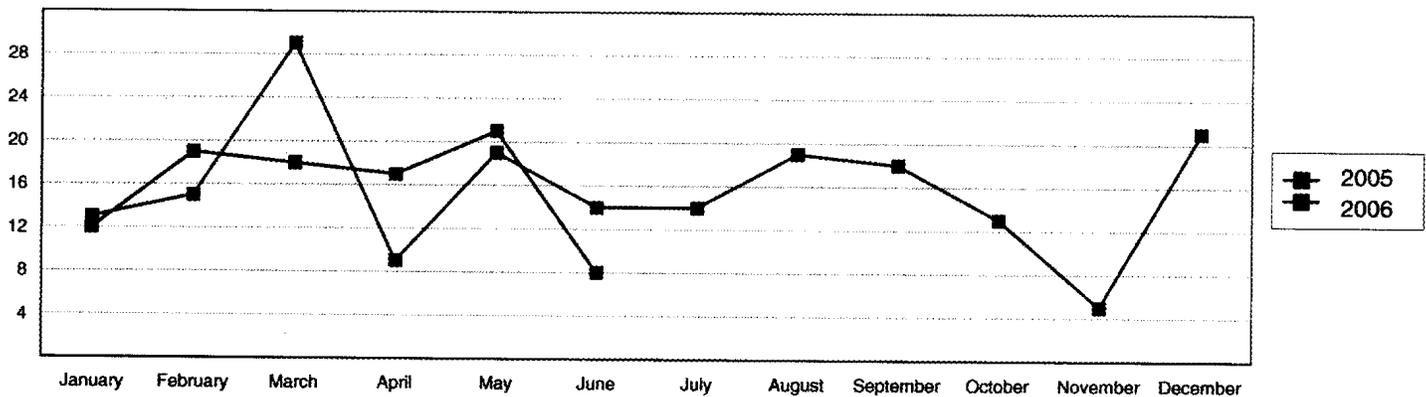
	<u>AMOUNT</u>
BEAR VALLEY RD	2
EXEMPT	5
OLD TOWN RDA	3
VVEDA RDA	3
	8

MONTHLY TOTAL: 21

June

	<u>AMOUNT</u>
<b>BEAR VALLEY RD</b>	<b>2</b>
<b>CAPSTONE LENDING</b> 12138 INDUSTRIAL BLVD #210	
<b>DESIGNS BY VISTA</b> 17198 YUMA ST	
<b>EXEMPT</b>	<b>1</b>
<b>AZTECA TIRES &amp; WHEELS #3</b> 13690 AMARGOSA RD	
<b>VVEDA RDA</b>	<b>5</b>
<b>SPEED AUTO CENTER</b> 14997 PALMDALE RD	
<b>AMERICAN MORTGAGE PROFESSIONALS</b> 15402 WEST SAGE ST #101	
<b>KAY BOUTIQUE</b> 14464 SEVENTH ST #A	
<b>VICTOR VALLEY COMMUNITY DENTAL SERVICE PROC</b> 14357 SEVENTH ST	
<b>CARTRIDGE WORLD</b> 15329 PALMDALE RD #E	

**MONTHLY TOTAL: 8**



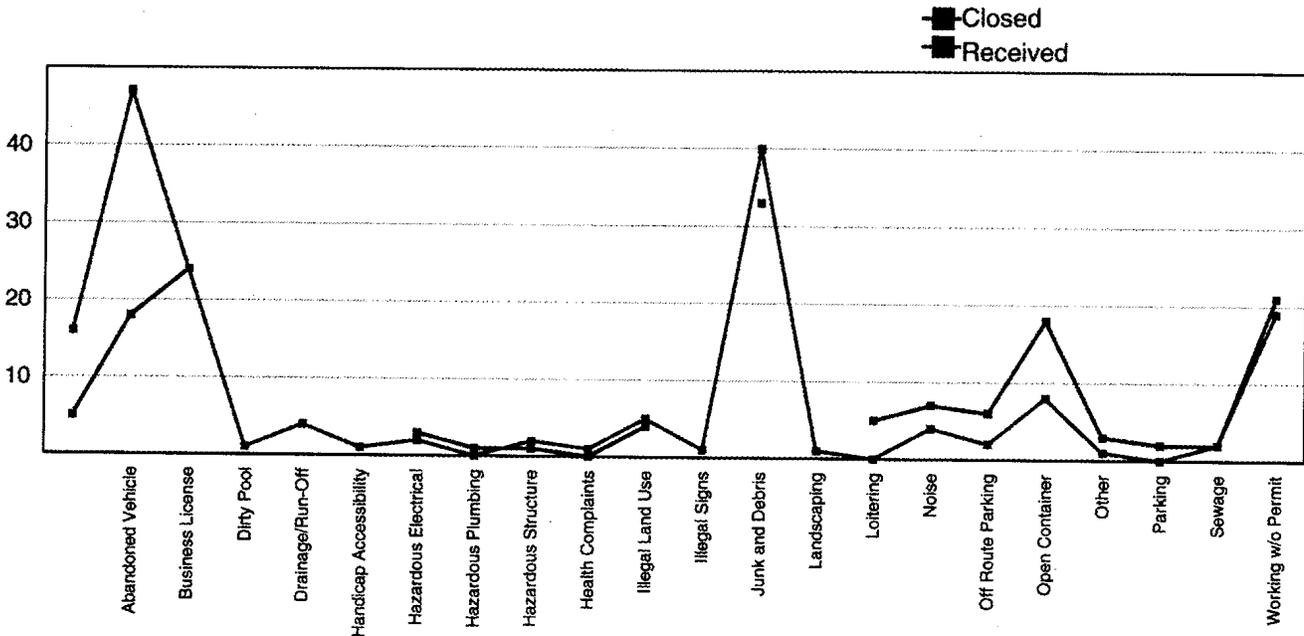
# City of Victorville

## Development Department

### Code Enforcement Division

#### Monthly Report of Code Enforcement Cases

	<u>Received</u>	<u>Closed</u>
Abandoned Vehicle	16	5
Business License	47	18
Dirty Pool	24	24
Drainage/Run-Off	1	1
Handicap Accessibility	4	4
Hazardous Electrical	1	3
Hazardous Plumbing	2	1
Hazardous Structure	2	1
Health Complaints	1	0
Illegal Land Use	5	4
Illegal Signs	1	4
Junk and Debris	40	33
Landscaping	1	5
Loitering	4	7
Noise	2	6
Off Route Parking	8	18
Open Container	1	3
Parking	2	2
Sewage	19	21
Working w/o Permit	19	21

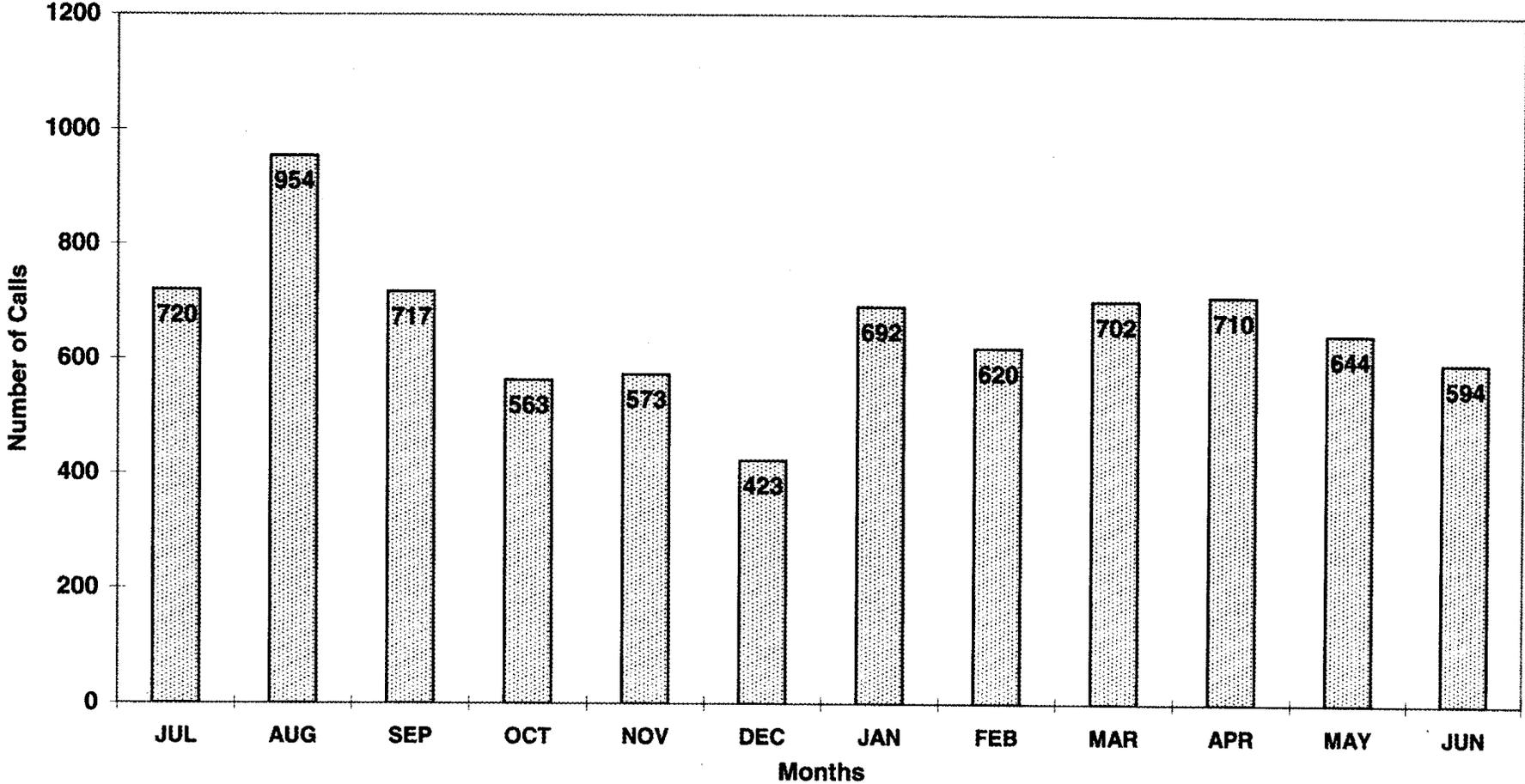


# CITY OF VICTORVILLE

DEVELOPMENT DEPARTMENT

PLANNING DIVISION

ESTIMATED COUNTER CALLS

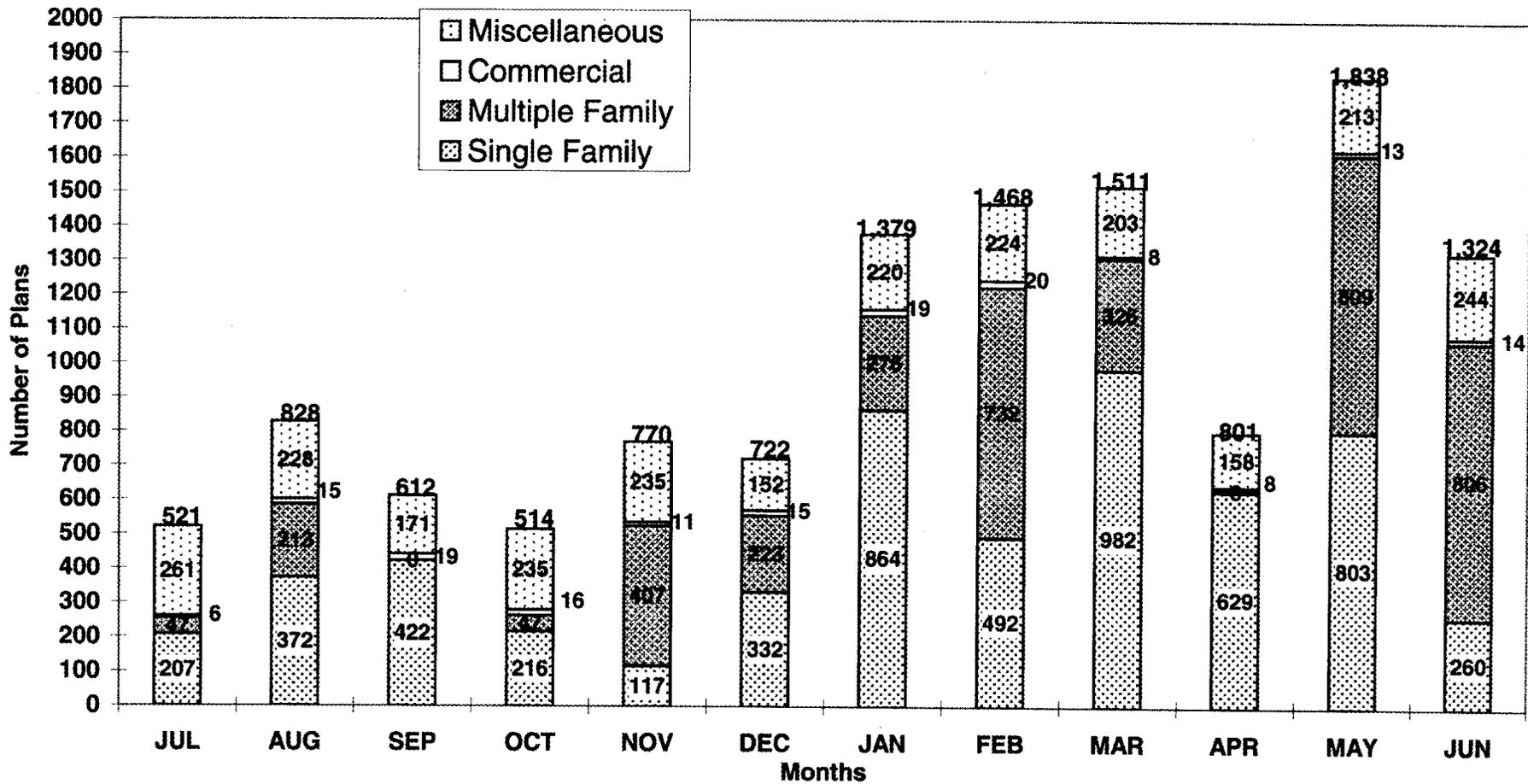


# CITY OF VICTORVILLE

DEVELOPMENT DEPARTMENT

PLANNING DIVISION

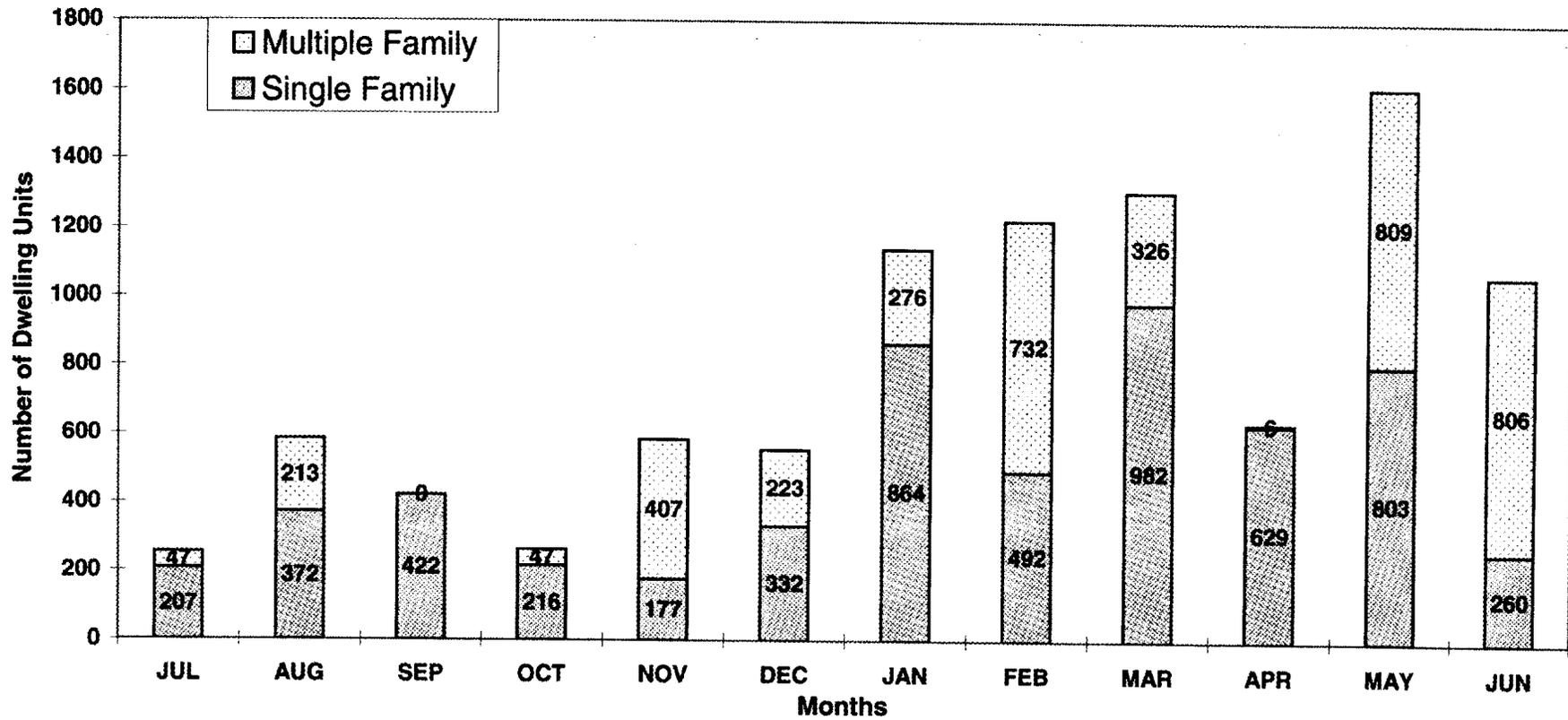
2005/2006 PLAN CHECK ACTIVITY  
PROJECTS REVIEWED FOR BUILDING PERMITS



**CITY OF VICTORVILLE**  
*DEVELOPMENT DEPARTMENT*  
**PLANNING DIVISION**

2005/2006 PLAN CHECK ACTIVITY

PROJECTS REVIEWED FOR BUILDING PERMITS BY THE NUMBER OF DWELLING UNITS



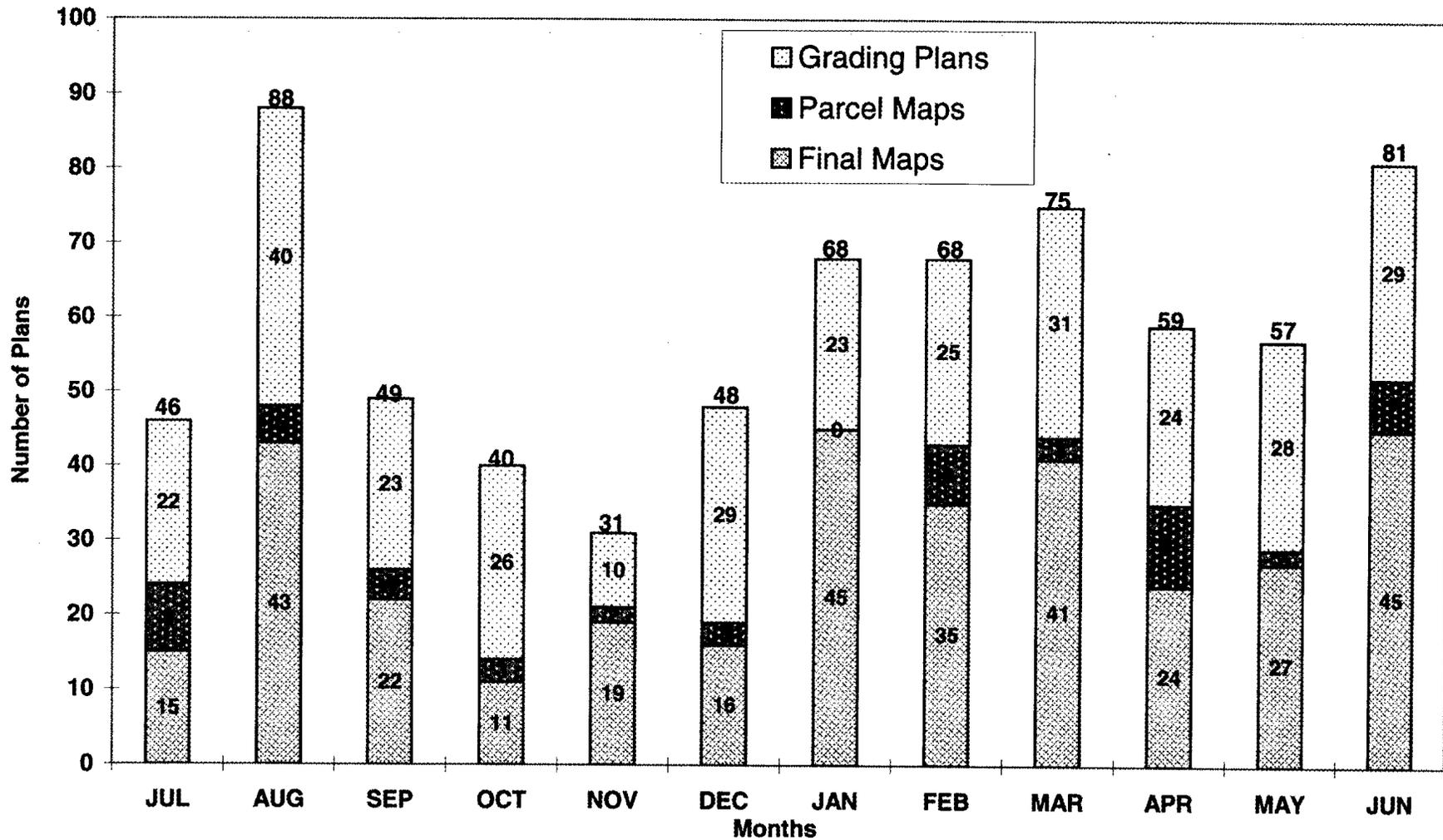
# CITY OF VICTORVILLE

DEVELOPMENT DEPARTMENT

## PLANNING DIVISION

2005/2006 PLAN CHECK ACTIVITY

PROJECTS REVIEWED FOR GRADING PERMITS AND SUBDIVISIONS



# CITY OF VICTORVILLE

## DEVELOPMENT DEPARTMENT

### PLANNING DIVISION

#### 2006 MONTHLY PLANNING COMMISSION REPORT

TYPE OF CASE	Jan-06	Feb-06	Mar-06	Apr-06	May-06	Jun-06	Jul-06	Aug-06	Sep-06	Oct-06	Nov-06	Dec-06	Totals
<b>PUBLIC HEARING ITEMS</b>													
<b>Continued Items</b>	16	13	16	28	27	37							137
Conditional Uses	4	5	1	8	8	8							34
Conditional Use Modifications	1	2	1										4
Site Plans	7	13	3	4	5	10							42
Site Plan Modifications				1									1
Variances													0
Parcel Maps	2	1	3	2	2	3							13
Parcel Map Modifications													0
Parcel Map Extensions													0
Tentative Tracts	8	8	1	11	2	7							37
Vesting													0
Tentative Tract Modifications					1	1							2
Tentative Tract Extensions				2		3							5
Amendment to Tracts													0
Certificates of Compliance													0
Development Plans		2		4		1							7
General Plan Amendments		1	2			11							14
Zone Changes	1	1	1	1		11							15
Planned Unit Developments		1				1							2
Planned Unit Development Modifications													0
Specific Plans						1							1
Specific Plan Amendments						2							2
Development Agreements													0
Development Agreement Modifications													0
Development Agreement Cancellations													0
Amendments													0
<b>Subtotal New Items</b>	23	34	12	33	18	59	0	0	0	0	0	0	179
<b>NON-PUBLIC HEARING ITEMS</b>													
<b>Continued Items</b>													0
Findings of Substantial Conformity													0
Requests													0
Storage Containers													0
Home Occupations													0
Fence Height Adjustment													0
Planning Commission Policies													0
Miscellaneous		2											2
<b>Subtotal New Items</b>	0	2	0	0	0	0	0	0	0	0	0	0	2
<b>GRAND TOTAL NEW ITEMS</b>	23	36	12	33	18	59	0	0	0	0	0	0	181
<b>TOTAL OF ALL ITEMS HEARD</b>	39	49	28	61	45	96	0	0	0	0	0	0	318

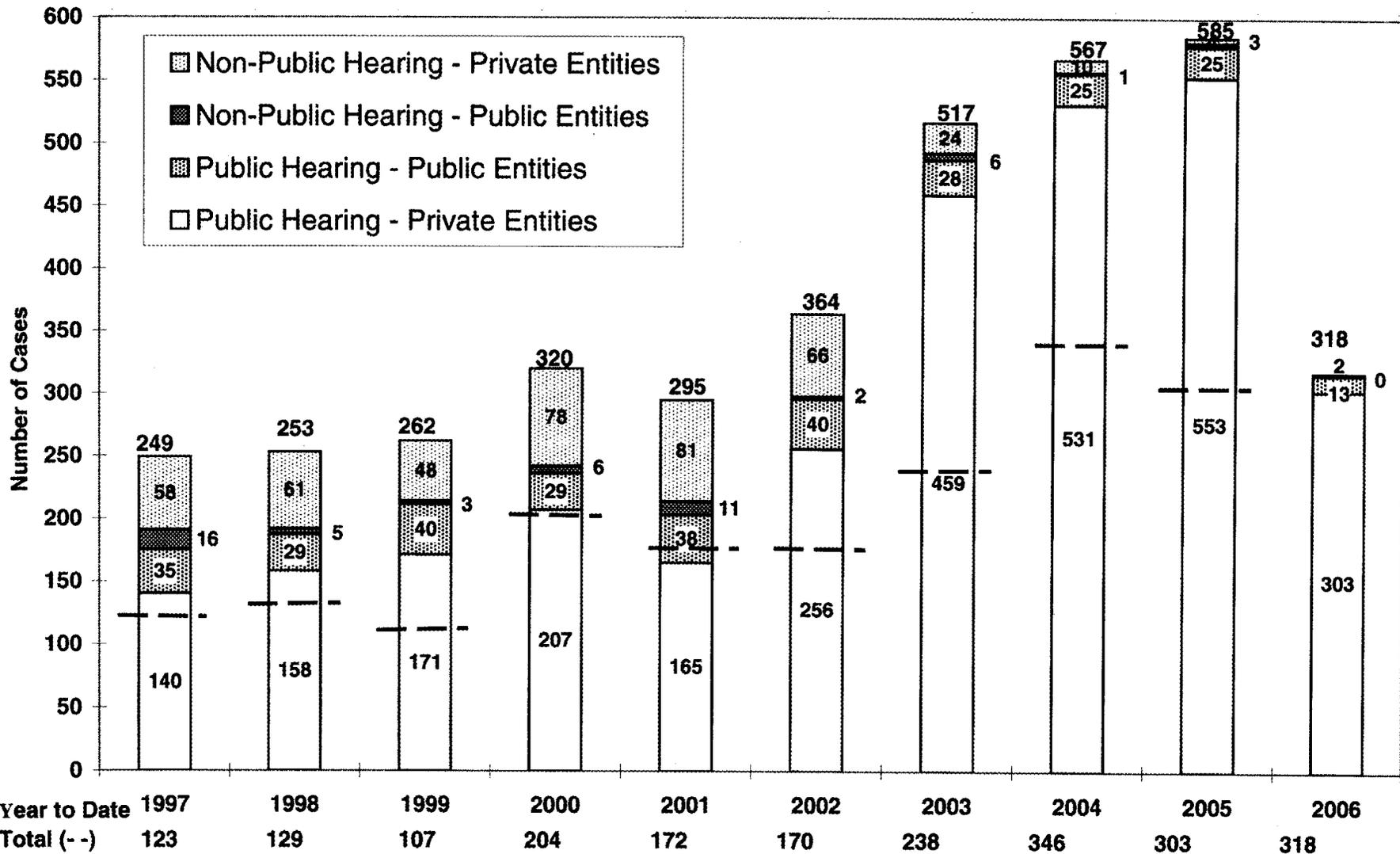
# CITY OF VICTORVILLE

DEVELOPMENT DEPARTMENT

## PLANNING DIVISION

PLANNING COMMISSION CASES HEARD

FROM JANUARY 1, 1997, THROUGH THE COMMISSION'S APRIL 26, 2006 MEETING



# CITY OF VICTORVILLE

DEVELOPMENT DEPARTMENT

## PLANNING DIVISION

2006-RESIDENTIAL BUILDING ACTIVITIES BASED ON UTILITY RELEASE

	SFD		DUP		TRI		4+		MH		TOTAL # OF STRs	TOTAL # OF DUs	POPULATION INCREASE
	STR	D/U	STR	D/U	STR	D/U	STR	D/U	STR	D/U			
<b>JANUARY</b>	92	92									92	92	268.64
<b>FEBRUARY</b>	97	97							1	1	98	98	286.16
<b>MARCH</b>	199	199							3	3	202	202	589.84
<b>APRIL</b>	189	189							2	2	191	191	557.72
<b>MAY</b>	174	174							4	4	178	178	519.76
<b>JUNE</b>	118	118									118	118	344.56
<b>JULY</b>											0	0	0.00
<b>AUGUST</b>											0	0	0.00
<b>SEPTEMBER</b>											0	0	0.00
<b>OCTOBER</b>											0	0	0.00
<b>NOVEMBER</b>											0	0	0.00
<b>DECEMBER</b>											0	0	0.00
<b>DEMO</b>											0	0	0.00
<b>ANNEX</b>											0	0	0.00
<b>TOTALS</b>	<b>869</b>	<b>869</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>10</b>	<b>10</b>	<b>879</b>	<b>879</b>	<b>2566.68</b>

**ESTIMATED POPULATION INCREASE** (BASED ON 2.92 PER DU) **2,567**

**STARTING POPULATION** **1-1-06** **91,230**  
 (PLANNING DEPARTMENT ESTIMATE BASED ON THE 1-1-06 CERTIFIED POPULATION)

**TOTAL ESTIMATED POPULATION** **6-30-06** **93,797**

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# MEMORANDUM

## INFORMATION SERVICES

**DATE:** 8/3/2006

**TO:** Honorable Mayor and City Council

**FROM:** Christopher P. Stathis *CPS*  
Director of Information Services

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### INFORMATION SERVICES ACTIVITY REPORT: 1<sup>ST</sup> QUARTER 2006

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This report represents a summary of significant events, statistics, and activity as it pertains to the Information Services department, operating divisions, and staff.

#### Accomplishments and Events

- A Site Plan Case Type for the Planning Department in the Tidemark Advantage System was applied. Application went LIVE March 15, 2006, allowing the Planning Department to process and track Site Plans. Site Plans portray the way a particular piece of land will be developed. For example a site plan will indicate parcel lines, proposed buildings, a legal description, utilities, basically all the information necessary for developing a site. With this being developed in Tidemark Advantage, the amount of data that can be stored and tracked on a case increases, along with available benefits of business process automation, Cashier integration, and ODOC imaging integration.
- A Hazardous Materials Case Type for the Fire Department in the Tidemark Advantage System was applied. The Hazardous Materials case type pertains to any business that handles hazardous materials or generates hazardous waste, and a permit is required. Application went LIVE on March 16, 2006, enabling the Fire Department to process and issue Hazardous Materials Permits. With this being developed in Tidemark Advantage, the efficiency of the permit process and the amount of data that can be stored and tracked on a case increased, along with available benefits of business process automation, Cashier integration, and ODOM imaging integration.
- All high-priority (critical) Microsoft Windows Updates were applied on March 21, 2006 to the following servers: CITYCAD, CITYINTERNET, CITYIVR, CITYPARK, CITYSECURITY, & CITYWEB.

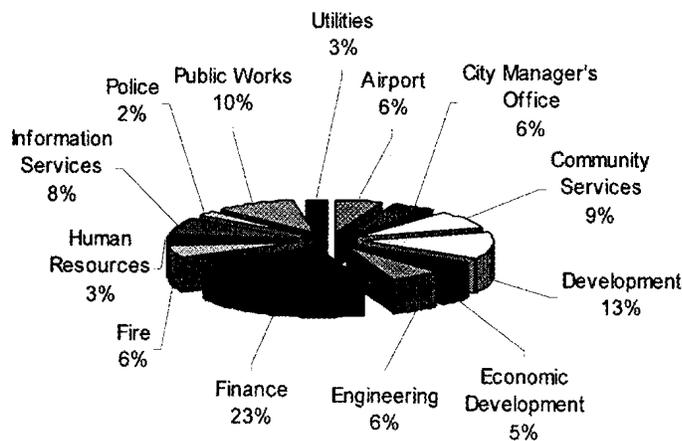
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## Logged Support Calls into Information Services Helpdesk

- The following table is provided to show support statistics by department. These statistics are influenced by helpdesk participation from users (visiting intranet site <http://cityweb/helpdesk>), and does not take into consideration support calls by email or phone.

<b>Reports</b>			
Average Items Entered January - March 2006			
<b>Department</b>	<b>Total</b>	<b>Time</b>	<b>Avg. Time</b>
Airport	77	1690	21.9
City Manager's Office	75	1515	20.2
Community Services	125	2932	23.5
Development	173	3157	18.2
Economic Development	63	1115	17.7
Engineering	82	1755	21.4
Finance	310	5220	16.8
Fire	84	2080	24.8
Human Resources	47	3185	67.8
Information Services	113	2550	22.6
Police	26	460	17.7
Public Works	135	2702	20
Utilities	36	695	19.3
<b>Totals</b>	<b>1346</b>	<b>29056</b>	<b>21.6</b>

**Composition of Closed Helpdesk Items by Department - 1st Quarter 2006**



## Web Activity

- The Information Services department designs, hosts, and maintains six websites for the City:

<http://ci.victorville.ca.us> – The official website for the City of Victorville  
<http://www.victorvillecity.com> – Website dedicated to the economic development in Victorville  
<http://www.avoidthe25.org> – San Bernardino County law enforcement DUI task force.  
<http://www.victorvillegolf.com> – Website linked to Victorville golf course information and fees.  
<http://www.victorvilleroads.com> – Provides updated information regarding road conditions in the area.  
<http://www.businessalert.org> – Alerts registered business owners about fraudulent activities and offenders.

- There were no significant changes made to the design or functionality of the hosted websites for the quarter. The following chart represents basic activity figures for each website during this period. The figures for [www.victorvillegolf.com](http://www.victorvillegolf.com), [www.victorvilleroads.com](http://www.victorvilleroads.com), and [www.businessalert.org](http://www.businessalert.org) are included in the statistics for <http://ci.victorville.ca.us>.

Website Activity for 1st Quarter 2006			
	<a href="http://ci.victorville.ca.us">ci.victorville.ca.us</a>	<a href="http://www.victorvillecity.com">victorvillecity.com</a>	<a href="http://www.avoidthe25.org">avoidthe25.org</a>
Website Visits	96930	8257	582
New/Unique Visitors	30834	3731	191

## Summary of Network/System Outages

- The following table summarizes downtime due to maintenance or unplanned outages which have occurred during this quarter.

Network and Systems Downtime Statistics for 1st Quarter 2006			
Primary Service	Date	Duration (hours)	Comments
All systems	01/01/2006	3 hours	Power Outage
Network and phones at Corporate Yard East and Police Department	02/07/2006	30 minutes	The Cisco switch had stopped passing traffic which caused the network outage.
Network and phones at SCLA, Station 319, WW Activities Center and WW Golf	02/03/2006	45 minutes	Power Outage
Network and phones at WW Sports Center	02/08/2006	2 hours	Power Outage

## Telephony

### Cellular Information:

- Total 227 cellular phones
  - Cingular = 9
  - Nextel = 217
  - Sprint = 1
  
- Total 4 aircards
  - Sierra Wireless = 4

**Long Distance:** In order to reduce monthly long distance telephone charges, the Information Services Department switched to Allcom<sup>®</sup> as its long distance service provider. For comparative purposes, when the City used AT&T as its long distance provider, the average cost for long distance charges per month was \$4,411. *Even with the growth of additional phones, the average cost for January through March 2006 for long distance charges was \$ 2170.60, a savings of \$2240.40 from what it was with AT&T.*

Product Type	Total Calls	Total Minutes	Total Amount
Interstate	1372	5153	\$219.17
Intralata	8343	21797	\$969.23
Intrastate	1755	4277	\$201.40



# MEMORANDUM

## INFORMATION SERVICES

DATE: 8/3/2006

TO: Honorable Mayor and City Council

FROM: Christopher P. Stathis *CPS*  
Director of Information Services

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### INFORMATION SERVICES ACTIVITY REPORT: 2nd QUARTER 2006

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This report represents a summary of significant events, statistics, and activity as it pertains to the Information Services department, operating divisions, and staff.

#### Accomplishments and Events

- A Tentative Tract Map Case Type for the Planning Department in the Tidemark Advantage System was applied. A tentative tract portrays any subdivision of land for a particular development project. The application went LIVE on May 31, 2006, enabling the Planning Department to process and track tentative tract maps. With this being developed in Tidemark Advantage, the amount of data that can be stored and tracked on a case increases, along with available benefits of business process automation, Cashier integration, and ODOC imaging integration.
- Tidemark Advantage was upgraded from 3.4.4 to 3.5.3 on May 19, 2006. This system houses various applications throughout the City, including Building Permits, Business License, and hosts the City's property information.
- A new application server was ordered and installed in June 2006 for the Public Works department. This server represents the first application server used exclusively by the Public Works Department to host their division-specific applications. Currently, this server has been configured to host the fleet maintenance work order and management. Benefit added: by having a dedicated server for Public Works applications, if the server is downed for application maintenance, it won't impair other department applications as if it were hosted on a shared server.
- The Cisco CallManager servers were upgraded in June 2006. The new equipment has more storage space which will allow for future growth and support the implementation of additional features for the City's IP phone system.
- XMedius FaxManager was upgraded to version 4.2 in June 2006. This system houses our electronic faxing application and is available citywide.

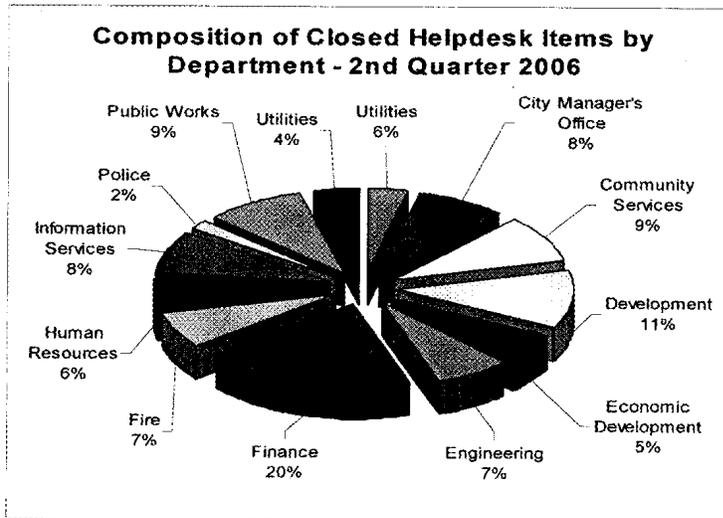
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8-15-06

- Prepared offsite server room at the Police Department to house City servers during the City Hall expansion project; this will also be used in the future for offsite Data Storage and disaster recovery. These servers are on a dedicated switch, UPS, and fiber optic connection to City Hall which will eliminate any possibility of impact to the current Police Department connectivity.
- Charter Fiber Optic connections have been implemented at the following locations; Fire Station 311, Fire Station 312, Fire Station 313, Fire Station 314, Green Tree Golf Course, Golf Maintenance Yard, Parks Maintenance Yard and Hook Community Center. This new connectivity will provide greater network speed and reliability which will allow the users to be more productive.
- A new server was installed to store City Hall employee data, user folders were migrated from several individual servers to this single server.
- Information Services replaced 54 out of warranty workstations.
- An upgrade to the Fire Department's incident reporting application, FireRMS, was installed at all fire station and fire administration workstations (26 workstations). This was a major upgrade (v3.29 to v4.1.37) which contained a number application fixes and incorporated enhancements such as rules-based scheduling. The upgrade took less than a day to test, complete, and deploy.
- A large format scanner with color capabilities was installed so the document imaging clerks can service large format items (e.g.: maps, technical drawings) into the document imaging system. This will allow color documents to be serviced in-house without having to send out to a reprographics provider, saving money and time to the departments serviced by the clerks.

## Logged Support Calls into Information Services Helpdesk

- The following table is provided to show support statistics by department. These statistics are influenced by helpdesk participation from users (visiting intranet site <http://cityweb/helpdesk>), and does not take into consideration support calls by email or phone.

<b>Reports</b>			
Average Items Entered April - June 2006			
<b>Department</b>	<b>Total</b>	<b>Time</b>	<b>Avg. Time</b>
Airport	49	760	15.5
City Manager's Office	112	3475	31
Community Services	125	2090	16.7
Development	152	2081	13.7
Economic Development	72	1215	16.9
Engineering	93	1215	13.1
Finance	262	4610	17.6
Fire	93	1310	14.1
Human Resources	77	1415	18.4
Information Services	106	1670	15.8
Police	28	830	29.6
Public Works	121	1515	12.5
Utilities	58	837	14.4
<b>Totals</b>	<b>1348</b>	<b>23023</b>	<b>17.1</b>



## Web Activity

- The Information Services department designs, hosts, and maintains six websites for the City:
  - <http://ci.victorville.ca.us> – The official website for the City of Victorville
  - <http://www.victorvillecity.com> – Website dedicated to the economic development in Victorville
  - <http://www.avoidthe25.org> – San Bernardino County law enforcement DUI task force.
  - <http://www.victorvillegolf.com> – Website linked to Victorville golf course information and fees.
  - <http://www.victorvilleroads.com> – Provides updated information regarding road conditions in the area.
  - <http://www.businessalert.org> – Alerts registered business owners about fraudulent activities and offenders.
- There were no significant changes made to the design or functionality of the hosted websites for the quarter. The following chart represents basic activity figures for each website during this period. The figures for [www.victorvillegolf.com](http://www.victorvillegolf.com), [www.victorvilleroads.com](http://www.victorvilleroads.com), and [www.businessalert.org](http://www.businessalert.org) are included in the statistics for <http://ci.victorville.ca.us>

<b>Website Activity for 2nd Quarter 2006</b>			
	<b>ci.victorville.ca.us</b>	<b>victorvillecity.com</b>	<b>avoidthe25.org</b>
<b>Website Visits</b>	107041	8913	365
<b>New/Unique Visitors</b>	33475	3903	155

## Summary of Network/System Outages

- The following table summarizes downtime due to maintenance or unplanned outages which have occurred during this quarter

<b>Network and Systems Downtime Statistics for 2nd Quarter 2006</b>			
<b>Primary Service</b>	<b>Date</b>	<b>Duration (hours)</b>	<b>Comments</b>
Pro-Shopkeeper (golf course point of sale)	6/7/2006	30 minutes	Maintenance Release applied to fix magnetic strip card reader issue
XMedius Fax	6/9/2006	2 hours	Software upgraded to version 4.2
Cisco CallManager(s) (IP Phone System)	6/16/2006	30 minutes	Hardware upgrade/replacement
RTA (Public Works fleet management application)	6/19/2006	3 hours	Application moved to its new hosting server and application version upgraded

## Telephony

### **IP Phone Information:**

- Total **477** devices registered with Cisco Call Manager (CCM)
  - 420 phones
    - 7910 = 12
    - 7936 = 2
    - 7940 = 189
    - 7960 = 215
    - 7970 = 2
  - 57 Others

### **Cellular Information:**

- Total **220** cellular phones
  - Cingular = 7
  - Nextel = 212
  - Sprint = 1
- Total **6** aircards
  - Sierra Wireless = 6

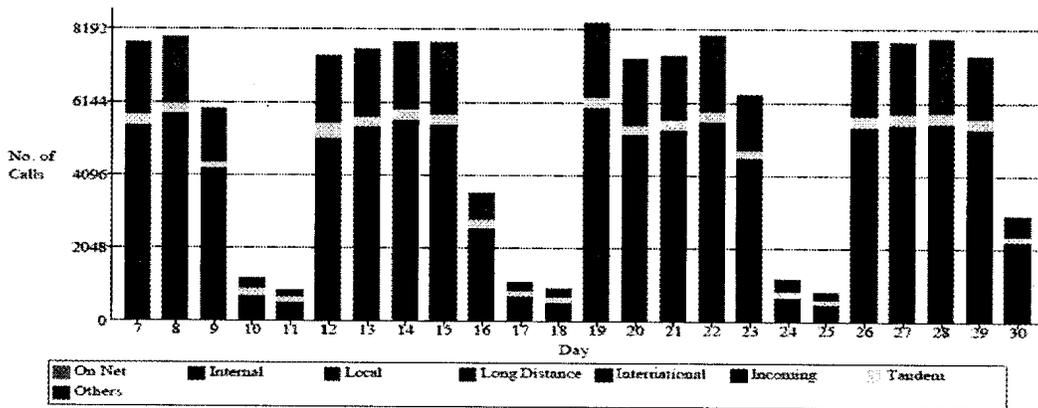
**Long Distance:** In order to reduce monthly long distance telephone charges, the Information Services Department switched to Allcom<sup>®</sup> as its long distance service provider. For comparative purposes, when the City used AT&T as its long distance provider, the average cost for long distance charges per month was \$4,411. *Even with the growth of additional phones, the average cost for April through June 2006 for long distance charges was \$ 2072.86, a savings of \$2338.14 from what it was with AT&T.*

<b>Product Type</b>	<b>Total Calls</b>	<b>Total Minutes</b>	<b>Total Amount</b>
Interstate	1478	4995	\$215.96
Intralata	9766	24075	\$1078.21
Intrastate	1822	4440	\$207.47

**IP Phone Utilization:** This IP Phone utilization graph represents a general usage summary of all calls placed using the Cisco IP phones within the City's domain for the month of June 2006. Each day on the chart represents an average of that day for that month. This chart does not represent cellular-based calls or calls handled by isolated Verizon-serviced phone lines. *(Due to the June hardware replacement, our records reflect information following that date).*

From Date: Jun 7, 2006  
To Date: Jun 30, 2006

Date: Aug 3, 2006  
Page: 2 of 4



Day	Calls								Total
	On Net	Internal	Local	Long Distance	International	Incoming	Tandem	Others	
7	0	1655	70	0	0	3763	261	3000	7749
8	0	1778	14	0	0	3998	257	1833	7880
9	0	1371	2	0	0	2882	148	1480	5883
10	0	65	5	0	0	632	162	272	1134
11	0	59	3	0	0	428	145	173	808
12	0	1380	1	0	0	3729	405	1855	7370
13	0	1749	13	0	0	3689	239	1880	7570
14	0	1785	3	0	0	3856	256	1881	7781
15	0	1635	2	0	0	3851	236	2003	7727
16	0	383	3	0	0	2186	209	730	3511
17	0	40	9	0	0	621	138	205	1013
18	0	50	2	0	0	435	137	202	826
19	0	1836	11	0	0	4141	250	2088	8326
20	0	1676	0	0	0	3573	239	1839	7327
21	0	1683	8	0	0	3653	261	1762	7367
22	0	1718	2	0	0	3867	227	2119	7933
23	0	1365	4	0	0	3199	174	1562	6304
24	0	53	3	0	0	584	187	304	1131
25	0	55	4	0	0	406	114	197	776
26	0	1741	3	0	0	3680	268	2109	7801
27	0	1783	0	0	0	3764	269	1981	7797
28	0	1780	1	0	0	3756	259	2070	7826
29	0	1627	0	0	0	3767	262	1735	7391
30	0	503	0	0	0	1951	124	552	2930

# MEMORANDUM



DATE July 27, 2006  
FROM **MARK TAYLOR**, Captain  
Victorville Police  
TO **JON ROBERTS**, City Manager  
City of Victorville

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SUBJECT **CITY MANAGER'S REPORT - JUNE 2006**

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## CRIMINAL ACTIVITY:

### PART I CRIMES

#### REPORTED

TOTAL: 423

### PART II CRIMES

TOTAL: 1028

### ARRESTS

Adult Felony:	<u>224</u>	Juvenile Felony:	<u>22</u>
Adult Misdemeanor:	<u>195</u>	Juvenile Misdemeanor:	<u>48</u>

## PROACTIVE PATROL:

<u>0%</u>	Percentage of time available for proactive patrol.
<u>10,984</u>	Incidents or calls for service - 2006
<u>8,100</u>	Incidents or calls for service - 2005
<u>35% Increase</u>	Percentage Difference
<u>1,627</u>	Reports Taken - 2006
<u>1,360</u>	Reports Taken - 2005
<u>19% Increase</u>	Percentage Difference

## RESPONSE TIMES (Minutes - Dispatch to Arrival)

Emergency:	<u>5:01</u>
Priority 1:	<u>7:55</u>
Priority 2:	<u>13:10</u>
Priority 3:	<u>14:24</u>
Priority 4:	<u>12:15</u>

Consent  
#6E6  
8-15-06

**TRAFFIC DIVISION:**

**Traffic Collisions Investigated**

<u>175</u>	Non Injury
<u>11</u>	Injury
<u>1</u>	Fatal

**Citations Issued for the Month**

Total: 829

DUI Arrests:	<u>24</u>
Hazardous:	<u>539</u>
Enforcement Index:	<u>                    </u>

**OVERTIME**

Hours used for month: 1,364

**CRIME PREVENTION:**

**Crime Prevention Presentations for the Month**

1. Neighborhood Watch:	<u>9</u>
2. Persons Fingerprinted:	<u>78</u>
3. Other Presentations:	<u>3</u>
4. Community Meetings	<u>10</u>

**VOLUNTEER FORCES:**

**Hours Donated**

Citizen Patrol:	<u>694</u>
Reserve Officers:	<u>208</u>
Explorer Scouts:	<u>474</u>
TOTAL:	<u>1,376</u>

**DETECTIVE DIVISION:**

**DETECTIVES**

<u>156</u>	Cases Assigned
<u>8</u>	Cases Self Assigned
<u>40</u>	Cases Cleared
<u>\$</u>	Property Recovery Values
<u>21</u>	Search Warrants

**KEY NOTE INVESTIGATIONS**

During this month, Detective Walsh completed a four month investigation in which 15 suspects were involved in a bail bonds scam. Using fraudulent documents, they were able to bail out other inmates in the jail system and charge them money. The District Attorney's Office has reviewed the case and filed 15 arrest warrants for this investigation.

Detectives conducted a sweep for sex registrants and were able to arrest 14 violators for being out of compliance.

Another search warrant was conducted in reference to Section 8 residents, which resulted in an arrest. During that arrest, the Section 8 violator was arrested along with her boyfriend. Her boyfriend was found to be in possession of over one pound of marijuana and weapons.

A search warrant was written for a grand theft of \$8,000.00. During this investigation, six persons were identified, arrested and charged by the District Attorney's Office.

CITY MANAGER'S REPORT - JUNE

**GANG SUPPRESSION**

Arrests 28

Gang Cards 28

**VICTORVILLE CITY GANG UNIT**

- The Victorville City Gang Unit assisted with the planning and execution of a citywide sweep concerning the theft of government funding and services. This sweep concentrated on fraudulent statements by subjects receiving housing aid.

**OTHER EVENTS**

- June 4<sup>th</sup> - Homicide  
Deputies responded to a report of shots being fired at a nightclub in the 15300 block of Ramona Road. Upon arrival, it was determined that a security employee for the nightclub had been shot. The victim was transported via aircraft to a hospital in the valley area. The victim later died at the hospital. The Sheriff's Homicide Division was notified and is handling the investigation.
- June 22<sup>nd</sup> - Fatal Traffic Collision  
Deputies and Fire Department personnel responded to a traffic collision on Palmdale Road near Cobalt Road. The driver of the first vehicle did not notice a car in front of her slowing to make a left turn into a parking lot. The driver of the first vehicle realized the vehicle in front was stopping and chose to serve into the oncoming traffic to avoid the rear end collision. As she swerved into the oncoming traffic, she collided head on with a car going the opposite direction. The driver and front seat passenger were pronounced dead at the scene. A juvenile in a rear child restraint seat was airlifted to a hospital in the valley. The collision is under investigation by the Victorville City MAIT.



AGENDA ITEM

CITY COUNCIL MEETING OF: 8-15-06

SUBMITTED BY: Carolee Bates *CB*  
City Clerk

DATE: 8-7-06

SUBJECT: PRESENTATION OF ORDINANCE NO. 2170 FOR SECOND  
READING AND ADOPTION BY THE CITY COUNCIL

RECOMMENDATION: That the City Council waive further reading and  
adopt Ordinance No. 2170

Amend Section 2.20.200(A) of the Victorville Municipal Code

DISCUSSION: At a regular City Council meeting held August 1, 2006, the  
City Council conducted a public hearing and introduced the above-referenced  
Ordinance. Accordingly, this Ordinance is presented for second reading and  
possible adoption at this time.

CB/dl  
Attachments

Consent  
#6F  
8-15-06

**ORDINANCE NO. 2170**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE AMENDING SECTION 2.20.200(A) OF THE VICTORVILLE MUNICIPAL CODE RELATING TO PUBLIC PARTICIPATION IN CITY COUNCIL MEETINGS**

**WHEREAS**, the City Council of the City of Victorville (the "City Council") desires to conduct its meetings in a manner which is open to the public and encourages the participation of interested persons; and

**WHEREAS**, the City Council desires to provide the public the opportunity to address the City Council on any item of interest that is within the subject matter jurisdiction of the City Council; and

**WHEREAS**, the City Council desires to conduct its meetings in an efficient and time-effective manner; and

**WHEREAS**, the City Council recognizes that it must limit the time an individual has for public comment in order to facilitate these desires; and

**WHEREAS**, California Government Code Section 54954.3(b) permits the legislative body of a city to adopt reasonable regulations on public comment, including, but not limited to, regulations limiting the time allocated for public testimony for each individual speaker; and

**WHEREAS**, the City Council desires to reduce the time limit for each individual to speak from five minutes to three minutes; and

**WHEREAS**, the City Council finds and determines that imposing such limit on the time that an individual has to address the City Council is critical to accommodating the right to public comment for all residents of the City.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY ORDAIN AS FOLLOWS:**

**Section 1.**

Section 2.20.200(A) of the Victorville Municipal Code is hereby amended as follows:

**2.20.200 Addressing the council.**

A. Manner of Addressing Council. Each person desiring to address the council shall step up to the microphone in the front of the rail, state his name and

address for the record, state the agenda item he wishes to discuss, state whom he is representing, if he is representing an organization or other persons, and unless further time is granted by a majority vote of the council, shall limit his remarks to three minutes. All remarks shall be addressed to the council as a whole and not to any member thereof and no questions shall be asked a councilman or a member of the city staff or member of the audience without permission of the presiding officer. Any person desiring to address the council on a subject not on the agenda shall first present his request to the city clerk in accordance to Section 2.20.200(D) unless it is deemed an emergency.

## **SECTION 2.**

If any section, subsection, sentence, clause, phrase, or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining sections, subsections, sentences, clauses, phrase, or portions of this ordinance. The City Council hereby declares that it would have adopted this ordinance and each section, subsection, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases, or portions be declared invalid or unconstitutional.

## **SECTION 3.**

This ordinance shall take effect thirty (30) days after its final passage.

## **SECTION 4.**

The City Clerk of the City of Victorville is hereby directed to certify to the passage and adoption of this Ordinance and to cause it to be published as required by law.

First read at a regular meeting of the City Council held on the \_\_\_\_\_ day of \_\_\_\_\_, 2006 and adopted and ordered published at a regular meeting of said Council held on the \_\_\_\_\_ day of \_\_\_\_\_, 2006.

\_\_\_\_\_  
Mike Rothschild, Mayor

ATTEST:

\_\_\_\_\_  
Carolee Bates, City Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

P:\APPS\WPDATA\WVCA\0001\DOC\117 Ordinance Amending Public Participation Time Limits.doc



**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

SUBMITTED BY: Adair M. Patterson *Ap*  
Director of Finance

DATE: August 4, 2006

SUBJECT: **Uniforms, Towels and Floor Mats Services – Project #CC06-058**

RECOMMENDATION: That the Honorable City Council award a contract to AmeriPride Uniform Services for the Uniforms, Towels and Floor Mats Services for the annual contract amount of (not-to-exceed) \$45,000.00.

FISCAL IMPACT: \$ 45,000.00  
Budget Amount: \$ 45,000.00  
Budget Account No.: SM056, SD056,  
SS056, GR056, TC056, TM056,  
VT056, CG056, QG056, QH056, QI056,  
WD056, PR056, and CF056

--Finance Dept. Use Only--	
Additional Appropriation:	
<input checked="" type="checkbox"/>	No
<input type="checkbox"/>	Yes/\$Amount:
Finance Director Review and Approval <u><i>Ap</i></u>	

DISCUSSION:

Bids were received from the following vendors:

COMPANY Pricing based on weekly rentals:

AmeriPride	\$763.88
Mission Linen	\$942.89

Evaluation Committee, which consists of staff from Airport Dept, Facilities, and Parks & Golf, have reviewed the bids submitted and recommended to award the contract to AmeriPride Uniform Services. Sufficient funds are available to cover the cost of this purchase.

AMP/cc *Ap*

Cc: Jon Gargan, Director of Community Services Department  
Rod Sorensen, Acting Director of Public Works Department  
Peter Soderquist, Airport Director

**ATTACHMENT A  
CITY OF VICTORVILLE**

**REVISED BID PROPOSAL FORM**

The undersigned hereby agrees to furnish and deliver the item(s) listed below in accordance with the specifications (which have been carefully examined and are attached hereto) on file in the Office of the Director of Finance. The quantities listed in the Bid Proposal Form are provided as a best estimate of usage by the City of Victorville. These quantities do not constitute an offer to rent. They are provided as a parameter for bidders to formulate their bids. Quantities provided are based on current staffing; the City of Victorville does not guarantee any quantities of rentals, and reserves the right to change quantities (increase or decrease) as required during the course of the contract.

Note: All prices should include sales tax, and any/all available discounts.

<i>DESCRIPTION</i>	<i>QTY.(Weekly)</i>	<i>Weekly Rental</i>	<i>Extended Price</i>
<b>Uniform (rental, cleaning/maintenance &amp; delivery)</b>			
a) Industrial Shirts	2035	0.152	309.32
b) Industrial Shirts Women	110	0.152	16.72
c) Industrial Pants	2050	0.152	311.60
d) Industrial Pants Women	110	0.152	16.72
e) Coveralls	40	0.32	12.80
f) Executive Shirts Men	49	0.241	11.80
g) Executive Shirts Women	11	0.241	2.65
h) Executive Pants Men	60	0.244	14.64
i) Executive Pants Women	24	0.244	5.85
██████████	█	██████████	██████████
j) Solid Polo Shirts	5	0.22	1.10
<b>Weekly Total</b>			<b>\$ 703.20</b>

**WEEKLY TOTAL IN WORDS:** Seven hundred three dollars & 20/100.

<i>Description</i>	<i>QTY. (Weekly)</i>	<i>Weekly Rental</i>	<i>Extended Price</i>
Shop Towels -- Orange/Red	200	0.05	10.00
Floor Mats	8	1.99	15.92
a) 3'x5' floor mat blue			
b) 3'x10 brown floor mats	4	3.35	13.40
c) 3'x5' gray floor mats	4	1.99	7.96
d) 3' x10" green floor mats	4	3.35	13.40
<b>Weekly Total</b>			<b>\$ 60.68</b>

**WEEKLY TOTAL IN WORDS:** Sixty dollars & 68/100.

**EMBROIDERED EMBLEMS/PATCHES**

<i>Description</i>	<i>Unit Price (Ea)</i>	<i>Extended Price</i>
City of Victorville Logo -- Circular size 3 3/4"	2.50	
Employee Name Tag -- size 2 3/4" x 1 1/2"	1.00	
U.S. Flag -- size 3/4" x 2"	1.75	

Mission Line

ATTACHMENT A  
CITY OF VICTORVILLE

REVISED BID PROPOSAL FORM

The undersigned hereby agrees to furnish and deliver the item(s) listed below in accordance with the specifications (which have been carefully examined and are attached hereto) on file in the Office of the Director of Finance. The quantities listed in the Bid Proposal Form are provided as a best estimate of usage by the City of Victorville. These quantities do not constitute an offer to rent. They are provided as a parameter for bidders to formulate their bids. Quantities provided are based on current staffing; the City of Victorville does not guarantee any quantities of rentals, and reserves the right to change quantities (increase or decrease) as required during the course of the contract.

Note: All prices should include sales tax, and any/all available discounts.

DESCRIPTION	QTY.(Weekly)	Weekly Rental	Extended Price
Uniform (rental, cleaning/maintenance & delivery)			
a) Industrial Shirts	2035	.19	386.65
b) Industrial Shirts Women	110	.19	20.90
c) Industrial Pants	2050	.19	389.50
d) Industrial Pants Women	110	.19	20.90
e) Coveralls	40	.38	15.20
f) Executive Shirts Men	49	.26	12.74
g) Executive Shirts Women	11	.26	2.86
h) Executive Pants Men	60	.26	15.60
i) Executive Pants Women	24	.26	6.24
j) Solid Polo Shirts	5	.26	1.30
Weekly Total			\$ 871.89

WEEKLY TOTAL IN WORDS: eight hundred seventy one and eighty nine cents.

942.89  
weekly

MIS

<i>Description</i>	<i>QTY. (Weekly)</i>	<i>Weekly Rental</i>	<i>Extended Price</i>
Shop Towels – Orange/Red	200	.06	12.00
Floor Mats	8		
a) 3'x5' floor mat blue		2.25	18.00
b) 3'x10 brown floor mats	4	4.00	16.00
c) 3'x5' gray floor mats	4	2.25	9.00
d) 3' x10" green floor mats	4	4.00	16.00
<b>Weekly Total</b>			<b>\$ 71.00</b>

WEEKLY TOTAL IN WORDS: Seventy one dollars

**EMBROIDERED EMBLEMS/PATCHES**

<i>Description</i>	<i>Weekly Rental</i>	<i>Extended Price</i>
City of Victorville Logo – Circular size 3 ¼"	1.25	
Employee Name Tag – size 2 ¾" x 1 ½"	1.25	
U.S. Flag – size ¾" x 2"	1.75	

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**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

**SUBMITTED BY:** Adair M. Patterson *AMP*  
Director of Finance

**DATE:** August 3, 2006

**SUBJECT:** Award of Contract CC07-002 (Piggyback Purchase) Protective Clothing for Structural Firefighting (Turnouts)

**RECOMMENDATION:** That the Honorable City Council award a contract to Fisher Safety for the piggyback purchase of (31) Thirty One sets of Turnouts for the amount of \$44,631.41

**FISCAL IMPACT:** \$44,631.41

Budget Amount: \$45,000.00  
Budget Account No.: FB032 = 25%  
FK032 = 25%  
FD032 = 25%  
FE032 = 25%

--Finance Dept. Use Only--	
Additional Appropriation:	
<input checked="" type="checkbox"/>	No
<input type="checkbox"/>	Yes/\$Amount:
Finance Director Review and Approval <i>AMP</i>	

**DISCUSSION:**

In August 2005 the City of Glendale competitively purchased Protective Clothing for Structural Firefighting (Turnouts) and through negotiation by staff, Fisher Safety has agreed to allow the City of Victorville to utilize the purchase contract of City of Glendale for the purchase of Turnouts at the price agreed upon with the City of Glendale. Fischer Scientific has also agreed to honor last year's pricing.

According to the Purchasing Division, this concession to utilize another governmental agency's contract fulfills the legal obligation to advertise and receive competitive bids. Sufficient funds are available to cover the cost of this purchase.

*AMP*  
AMP/cc  
Ccprojects/cc07-002/agenda

cc: John Becker, Fire Chief



# Fisher Safety

Fire and Emergency Services

mike.mcbride@fishersci.com  
760.497.6622

## QUOTATION

(Quote good for 30 days unless noted below)

Date: 7/25/2006

Person Quoted: Chief Becker

Phone: 760-955-5000

Company Name: Victorville Fire Dept

Fax: 760.245-666

Address:

City and State: Victorville CA

Quoted By:  
M.McBride 760.497.6622

FOB:

<u>PART#</u>	<u>QTY</u>	<u>DESCRIPTION</u>	<u>PRICE</u>	<u>TOTAL</u>
VFDTAILS	31	Firefighter PPE Turnout Coats	\$748.06	\$23,189.86
VFDPANTS	31	Firefighter PPE Turnout Pants	\$588.11	\$18,231.41
		Sub		\$41,421.27
		Tax		\$3,210.14
		<b>Total</b>		<b>\$44,631.41</b>



# Fisher Safety

A Fisher Scientific Company

Subject: Glendale Competitive Bid (GLN-4000000650)

Dear Mr Alexy 

Thank you for requesting information on the recent Glendale Competitive Bid (GLN-4000000650) and Award (PO/Contract ID 70000002835) made to Fisher Safety for firefighters Personal Protective Clothing and Equipment. At your request we will provide details of this bid and award.

Let me detail some of the specifics of this offer:

- A. We have obtained permission from the manufacturer/supplier, Total Fire Group/Morning Pride Mfg., to extend the same terms and pricing to your Department.
- B. This bid had specifications requiring the use of exact materials, designs, and features. Using the same discount from the Manufacturer's published 2005 Retail Price List, your Department may select any combination of outer shell, moisture barrier, thermal liner, features and/or designs that you desire to meet your own specific needs.
- C. The annual renewal clause on this contract is "the same discount from mfg. retail, or 5%, whichever is less". Should you continue to purchase into 2006 and beyond, your new prices would be calculated each December for the following year, and you'll be given 30 days notice of this pricing.
- D. Freight terms - FOB Destination
- E. Payment terms - Net 30 days
- F. Delivery terms - 75 - 90 days maximum

Please feel free to direct any requests or questions to myself or Brenda Kinder - West Coast Rep. - Total Fire Group/Morning Pride. Brenda can be reached at 800/688-6148 x227.

Thanks again for your request,  
JP

JOHN PRICE - Retired Capt., LACOFD  
Fire Specialist  
FISHER SAFETY Fire & Emergency Services  
1892 Freeman Avenue  
Signal Hill, CA 90755  
562/961-9555 office  
562/498-4034 fax

Purchase Order Contract

City of Glendale  
Purchasing Department  
141 N. Glendale Ave  
Room 346  
Glendale, CA 91206-4499  
Phone: 818/548-2102

Fax: 818/956-3286

Vendor ID 100259  
562/961-9535  
FISHER SCIENTIFIC/FISHER SAFETY  
1892 FREEMAN AVENUE  
SIGNAL HILL, CA  
90755

PO/Contract ID Date Page

7000002835 8/8/2005

Buyer: Gunderman, Gina K 818/548-2102

Contact MIKE MATLOCK

Contact phone 818/548-4814

Ship To Fire Administration  
421 Oak Street  
Glendale, CA  
91204-1298

Bill To 421 Oak Street  
Glendale, CA  
91204-1298

Description

Description	Begin Date	End Date	Extended Amt
TURN-OUT UNIFORMS	8/1/2005	6/30/2008	45,000.00

PROTECTIVE CLOTHING FOR STRUCTURAL FIREFIGHTING COAT AND PANT LIMITED PROTECTION, IN ACCORDANCE WITH THE DETAILED TECHNICAL SPECIFICATIONS DATED MAY 5, 2005, ATTACHED.

PLUS SALES TAX

COAT: LTO-4212 TAILS BRONZE, GEMINI MATRIX \$966.50 EACH  
PANT: BPR-4212 PANTS BRONZE, GEMINI MATRIX \$669.75 EACH

PRICING SHALL REMAIN FIRM FOR THE FIRST YEAR OF THE ORDER. ANY REQUEST FOR CALENDAR OR ANNUAL PRICE INCREASES SHALL BE ACCOMPANIED BY THE MANUFACTURER'S NEW NATIONALLY PUBLISHED RETAIL PRICE LIST. SUCH REQUEST SHALL BE MADE AT LEAST THIRTY (30) DAYS PRIOR TO TAKING EFFECT. INCREASES, IF MUTUALLY AGREED UPON, SHALL BE LIMITED TO NO MORE THAN 5%, OR THE QUOTED DISCOUNT FROM THE MANUFACTURER'S PUBLISHED RETAIL PRICE LIST, WHICHEVER IS LESS. NEW PRICES, IF APPROVED BY THE CITY OF GLENDALE, SHALL BE FIRM FOR AT LEAST TWELVE (12) MONTHS.

IN ACCORDANCE CITY OF GLENDALE REQUEST FOR QUOTATION DATED JUNE 14, 2005; AND REVISED QUOTATION DATED JULY 22, 2005.

Vendor to include unit price, applicable taxes and shipping charges on invoice/ packing slips for each shipment. The printed terms and conditions appearing on the face and accompanying this purchase order constitute a part of this order.

Purchasing Administrator

*Christopher P. Klein*



# MEMORANDUM

DATE: July 31, 2006

FROM: John Becker  
Fire Chief

TO: Adair M. Patterson  
Director of Finance

RECEIVED  
AUG 01 2006

*CRESTE*  
*8/2/06*

**PURCHASING**

**SUBJECT: REQUEST FOR PURCHASING SERVICES**

*CC07-002*

**GENERAL INFORMATION:**

- Request for: \_\_\_\_\_ RFP (Request for Proposal) (under \$25,000)  
 \_\_\_\_\_ RFP (Request for Proposal) (over \$25,000)  
 \_\_\_\_\_ Sealed Bid Package (under \$25,000)  
 \_\_\_\_\_ Sealed Bid Package (over \$25,000.)  
 \_\_\_\_\_ Purchasing (Buyer) Assistance (Quotes, research, etc.)

Project Name: **PIGGYBACK PURCHASE – TURN OUT COATS AND PANTS**

Department Contact Person: Chief Becker - 5226

**BUDGET INFORMATION:**

Amt. Budgeted for this Purchase/Project \$ 44,631.41

Budget Code(s)	Percent
<i>FB032</i>	<i>25%</i>
<i>FD032</i>	<i>25%</i>
<i>FE032</i>	<i>25%</i>
<i>FK032</i>	<i>25%</i>

**SPECIFICATIONS/VENDORS:**  attached

Please attach typed specifications (hardcopy as well as on disk) together with any drawings or diagrams. If available, include a list of any suggested sources, contractors, vendors with complete addresses, phone numbers and contact persons.

**TIMELINE:**  attached

Realizing that in most cases a formal sealed bid requires a minimum of 45 days - please indicate any critical dates, or timeline information pertinent to this bid/purchase.

**SPECIAL NOTES:**

\_\_\_\_\_  
\_\_\_\_\_

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**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

SUBMITTED BY: Adair M. Patterson *AMP*  
Director of Finance

DATE: August 7, 2006

SUBJECT: Contract Extension – Annual Supply Agreement – Street Sweeper Broom

RECOMMENDATION: That the Honorable City Council award a one-year contract extension on the Annual Supply Agreement to American Rotary Broom for the amount not-to-exceed \$27,000.00.

FISCAL IMPACT: 27,000.00

Budget Amount: 27,000.00  
Budget Account No.: SU15 = 50% / SS15 = 50%

--Finance Dept. Use Only--  
Additional Appropriation:

No  
 Yes/\$Amount:

Finance Director Review and  
Approval *AMP*

DISCUSSION:

The City of Victorville competitively bid and awarded a contract to American Rotary Broom (formerly San Diego Rotary Broom) on June 2004. The current contract with American Rotary Broom has a base contract and allows for four (4) additional optional one-year contract extension based on performance. The supplier has expressed an interest in exercising that option for fiscal year 2007. Purchasing Division has reviewed the matter and recommended the one-year contract extension for fiscal year 2007. Sufficient funds are available to cover the cost of this purchase.

*AMP*  
AMP/cc

cc: Rod Sorensen, Acting Director of Public Works

# MEMORANDUM

**DATE:** July 31, 2006  
**FROM:** J. P. Flores   
Public Works Manager  
**TO:** Mike L. Jenks  
Assistant Director of Public Works

RECEIVED  
AUG 01 2006  
PURCHASING



---

**SUBJECT:** ANNUAL SUPPLY PURCHASE ORDER REQUESTS

---

Attached for your review and approval, please find three purchase order requests and supporting documentation from Mr. Tim Jenkins, Public Works Supervisor, requesting the extension of annual supply purchase orders for the following companies:

American Rotary Broom Company ✓  
Service Rock Products ✓  
Cutting Edge Supply Company

Funding is available for FY 2006/2007.

If you have any questions, please contact me.

JPF:sc  
Attachments

cc: Tim Jenkins, Public Works Supervisor

*Finance:  
Please process.  
Thank you,  
Mike Jenks*

*Cutting Edge Supply Co. POR  
IS NOT ATTACHED please  
process the other two.  
Thx Jay*



**AGENDA ITEM**

CITY COUNCIL MEETING OF: September 7, 2004

**SUBMITTED BY:** Adair M. Most  
Director of Finance

**DATE:** August 25, 2004

**SUBJECT:** **Contract Award: Annual Supply Agreement – Street Sweeper Broom Project #CC05-015**

**RECOMMENDATION:** That the Honorable City Council award a contract to San Diego Rotary Broom for the purchase of Street Sweeper Broom, Annual Supply Agreement in an amount not to exceed \$27,000.00.

**FISCAL IMPACT:** \$ 27,000.00  
Budget Amount: \$ 27,000.00  
Budget Account No.: SS015 = 50% / SU015 = 50%

**DISCUSSION:**

The Request for Bid was mailed out to nine (9) vendors and only San Diego Rotary Broom has submitted a bid.

--Finance Dept. Use Only--  
Additional Appropriation:

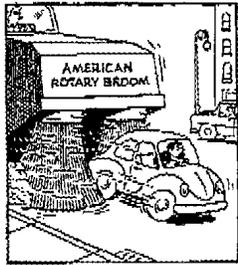
No  
 Yes/\$Amount:

Finance Director Review and  
Approval \_\_\_\_\_

Staff from Public Works and Purchasing Division have reviewed the bid submitted. Sufficient funds are available to cover the cost of this purchase.

AMM/cc

cc: Guy Patterson, Director of Public Works



# AMERICAN ROTARY BROOM Co., Inc.

564 N. Tulip St. • Escondido, CA 92025-2533

**OPERATIONS**

564 N. Tulip St.  
Escondido, CA 92025-2533  
PH. 760-747-1506  
FAX 760-747-3804  
800-342-4353

1054 E. 2nd St.  
Pomona, CA 91766  
PH. 909-629-9117  
FAX 909-620-9266  
800-494-7372

751 Middlegate Road  
Henderson, NV 89011  
PH. 702-566-9930  
FAX 702-566-9984  
CELL 702-580-0142

August 7, 2006

Celeste Calderon  
Buyer  
City of Victorville - Purchasing Division  
14343 Civic Drive  
Victorville, CA 92392

Dear Celeste,

On behalf of American Rotary Broom Co., Inc. I thank you for granting us the opportunity to continue servicing your street sweeper needs. We are strongly committed to supplying quality products and service at the lowest price possible. If you ever have any questions or requests for us to better serve you, please do not hesitate to contact me. The gutter brooms we supply to you, will remain at the existing price; however, due to some market changes we did have to adjust items three and four. Next year's Quote is as follows:

- Item 1. Model # 600 Material Kit.....\$38.92 per set
- Item 2. Model # 600 Reconditioning.....\$44.96 per set
- Item 3. Elgin Eagle Cable Wrap Main Broom Material Kit.....\$151.54 each
- Item 4. Elgin Eagle Cable Wrap Main Broom Reconditioning.....\$152.19 each

Terms for prices quoted are 2.5% 20 Days or net 30 Days. Please note that these prices will be honored for as long as possible. Due to instability in the raw material markets, prices cannot be held firm for any definitive amount of time. In the event of a drastic cost increase or decrease we will change prices accordingly. Proof of supplier increases or decreases will be made available upon request.

Sincerely,

James A. Wagner  
President  
(800) 342- 4353



**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

SUBMITTED BY: Adair M. Patterson *AP*  
Director of Finance

DATE: August 7, 2006

SUBJECT: **Contract Award (Piggyback) – CC07-004, Vehicle Purchase (1)**

RECOMMENDATION: That the Honorable City Council approve appropriations from Equipment Reserve Funds in the amount of \$31,446.97 and award a piggyback purchase to Sunland Ford.

FISCAL IMPACT: \$ 31,446.97

Budget Amount: \$  
Budget Account No.: 540450-10400-55100-  
00000-52222

DISCUSSION:

One of the Fire Department's vehicles was involved in an accident. The Insurance Appraiser has deemed the vehicle a total loss. The damages were in excess of the value of the car (\$31,794.05). Sufficient funds will be available after settlement with the City of Victorville's insurance company.

Recently, the City of Victorville competitively bid and awarded a contract to Sunland Ford for the purchase of one (1) Full-Size Sport Utility Vehicle and through negotiation by staff, Sunland Ford has agreed to allow the City to utilize purchase contract CC03-040 of April 2003. Purchasing staff and Fleet Manager request City Council approve the piggyback purchase. According to the Purchasing Division, the concession to utilize a previous competitively bid contract fulfills the legal obligation to advertise and receive competitive bids.

*ce*  
AMP/cc  
projects\ccprojects-approval cc06-023

cc: Rod Sorensen, Acting Director of Public Works

--Finance Dept. Use Only--  
Additional Appropriation:

No  
 Yes/\$Amount:

Finance Director Review and  
Approval \_\_\_\_\_



**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

**SUBMITTED BY:** Adair M. Patterson  
Director of Finance

**DATE:** August 7, 2006

**SUBJECT:** **Contract Award (Piggyback) – CC07-004, Vehicle Purchase (1)**

**RECOMMENDATION:** That the Honorable City Council approve appropriations from Equipment Reserve Funds in the amount of \$31,446.97 and award a piggyback purchase to Sunland Ford.

**FISCAL IMPACT:** \$

Budget Amount: \$  
Budget Account No.: Funds 10400

--Finance Dept. Use Only--  
Additional Appropriation:

No  
 Yes/\$Amount:

Finance Director Review and  
Approval \_\_\_\_\_

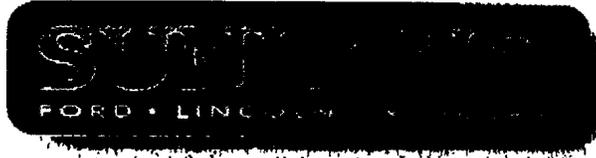
**DISCUSSION:**

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AMP/cc  
projects/ccprojects-approval cc06-023

cc: Rod Sorensen, Acting Director of Public Works



FROM THE DESK OF  
**RAUL D. VARGAS**

10/06/07

TO CITY OF VICTORVILLE

PLEASE ACCEPT THIS BID ON A NEW 2006 FORD EXPEDITION 4X4 WITH EQUIPPED AS LISTED BELOW.

- WHITE EXTERIOR COLOR
- CLOTH CAPTAINS CHAIRS
- XLT PKG
- 5.4L V8 ENGINE
- 4-SPEED AUTO TRANS
- AM/FM RADIO W/CD PREMIUM SOUND SYS
- LUGGAGE RACK ASSY
- SAFETY CANOPY
- SPEED CONTROL/ TILT WHEEL
- LEATHER WRAPPED STEERING WHEEL
- POWER WINDOWS/ LOCKS
- 4-WHEEL ABS
- AUX AIR CONDITIONING / HEATER
- TIRE PRESSURE SYSTM
- 17" ALUM WHEELS
- P265 OWL A/T TIRES
- ADVANCE TRAC W/ RSC
- TRAILER TOW PKG

<b>SALES PRICE</b>	<b>\$ 29,132.00</b>
<b>TAX</b>	<b>\$ 2,261.22</b>
<b>LICENSE</b>	<b>\$ N/C</b>
<b>TIRE FEE</b>	<b>\$ 8.75</b>
<b>DOC FEE</b>	<b>\$ 45.00</b>

**TOTAL \$ 31,446.97**

THANK YOU

*Raul D. Vargas*  
**RAUL D. VARGAS**  
**SALES MANAGER**



**AGENDA ITEM**

CITY COUNCIL MEETING OF: November 19, 2002

**SUBMITTED BY:** Adair M. Most  
Director of Finance

**DATE:** November 12, 2002

**SUBJECT:** Award of Contract #CC03-040, New Vehicle Purchase for FY 2003

**RECOMMENDATION:** That the Honorable City Council award a contract to the following:

**Sunland Ford** \$28,546.993  
**Victorville Motors** \$18,082.60  
**Rancho Motors** \$33,662.18  
**Rotolo Chevrolet** \$81,116.70  
**Raceway Ford** \$28,880.77  
**Victor Buick GMC** \$22,192.88

**FISCAL IMPACT:** \$ 212,482.12

**Budget Amount:** \$ 215,000.00  
**Budget Account No.:**

**DISCUSSION:**

Bids were received from ten (10) dealers.  
(see attached spreadsheet)

Staff from Purchasing Division and Public Works Fleet Supervisor have reviewed the bids and recommend bid award as stated above. Sufficient funds are available to cover the cost of this purchase.

AMM/cc  
projects/cc-approval cc03-040

cc: Guy Patterson, Director of Public Works

--Finance Dept. Use Only--  
Additional Appropriation:

\_\_\_\_\_ No  
\_\_\_\_\_ Yes/\$Amount:

Finance Director Review and  
Approval \_\_\_\_\_

**Tony Colver**

---

**From:** Marcie Wolters  
**Sent:** Tuesday, July 11, 2006 10:50 AM  
**To:** John Becker  
**Cc:** 'chuck@chasjoseph.com'; Mike Jenks; Tony Colver  
**Subject:** FW: FW: Total Loss Vehicle Evaluation AVC Our File 02.012953.00.M

John,

Below is the offer from our insurance company for the totalled Fire Dept. vehicle. Please review and give your authority.

The claim appraiser has deemed this vehicle a total loss. The damages were in excess of the value of the car. These are the claim figures:

ACV Value	\$25,797.67	
Low Mileage Allowance	1,575.00	
Total		\$27,372.87
Sales Tax		2,121.38
Equipment Transfer	4,500.00	
Gross Total		\$33,994.05
Deductible		-1,000.00 (Unless the
5k deductible applies, which I have asked for clarification on)		
Salvage		-1,200.00
Net Claim		\$31,794.05

Please advise if you concur with my evaluation. Also I was not sure what the sales tax was in Victorville. I used .0775% same as Orange County. If your deductible is lower or higher please advise.

Best regards,

Cathryn O'Meara  
MCLARENS YOUNG INTERNATIONAL

> 2465 Campus Drive, Suite 100  
> Irvine, CA 92612-1502  
> Telephone: 949-623-2495  
> Fax: 949-623-2496

Marcie Wolters, Management Technician  
City of Victorville, Departments of the City Manager, City Clerk and Risk Manager  
760-955-5035, fax 760-269-0014  
mwolters@ci.victorville.ca.us <mailto:mwolters@ci.victorville.ca.us>  
\*\*\*\*\* PLEASE NOTE \*\*\*\*\*

This message, along with any attachments, may be confidential or legally privileged. It is intended only for the named person(s), who is/are the only authorized recipients. If this message has reached you in error, kindly destroy it without review and notify the sender immediately. Thank you for your help.

-----Original Message-----

From: Chuck Buquet [mailto:chuck@chasjoseph.com]  
Sent: Tuesday, July 11, 2006 10:40 AM  
To: Marcie Wolters  
Cc: Suzanne

Please advise if you concur with my evaluation. Also I was not sure what the sales tax was in Victorville. I used .0775% same as Orange County. If your deductible is lower or higher please advise.

Best regards,

Cathryn O'Meara  
McLARENS YOUNG INTERNATIONAL

> 2465 Campus Drive, Suite 100  
> Irvine, CA 92612-1502  
> Telephone: 949-623-2495  
> Fax: 949-623-2496

Marcie Wolters, Management Technician  
City of Victorville, Departments of the City Manager, City Clerk and Risk Manager  
760-955-5035, fax 760-269-0014  
mwolters@ci.victorville.ca.us <mailto:mwolters@ci.victorville.ca.us>

\*\*\*\*\* PLEASE NOTE \*\*\*\*\*

This message, along with any attachments, may be confidential or legally privileged. It is intended only for the named person(s), who is/are the only authorized recipients. If this message has reached you in error, kindly destroy it without review and notify the sender immediately. Thank you for your help.

-----Original Message-----

From: Chuck Buquet [mailto:chuck@chasjoseph.com]  
Sent: Tuesday, July 11, 2006 10:40 AM  
To: Marcie Wolters  
Cc: Suzanne  
Subject: RE: FW: Total Loss Vehicle Evaluation AVC Our File  
02.012953.00.M

Marcie:

I also concur and would just suggest that John Becker and Mike Jenks also be in the loop with our collective concurrence. Thanks for your help with this.

Please feel free to contact me at your earliest opportunity should you have any questions or need of additional information or assistance with this matter.

Thanks

Chuck Buquet, President  
Charles Joseph Associates  
10681 Foothill Blvd Suite 395  
Rancho Cucamonga, CA 91730  
909-481-1822  
909-481-1824 fax  
www.chasjoseph.com

> ----- Original Message -----  
> Subject: FW: Total Loss Vehicle Evaluation AVC Our File  
> 02.012953.00.M  
> From: "Marcie Wolters" <MWolters@ci.victorville.ca.us>  
> Date: Tue, July 11, 2006 10:15 am  
> To: <Chuck@chasjoseph.com>  
>  
>  
> Chuck,



**AGENDA ITEM**

CITY COUNCIL MEETING OF: AUGUST 15, 2006

**SUBMITTED BY:** Jonathan E. Gargan  
Director of Community Services

**DATE:** July 25, 2006

**SUBJECT:** REQUESTING THE FULL RELEASE OF BOTH PERFORMANCE AND LABOR AND MATERIALS BONDS FOR TRACT 16244-1.

BOND NUMBER	TYPE OF BOND	AMOUNT
827675S	Performance	\$124,575.66
827675S	Labor and Materials	\$62,287.83
		\$186,863.49

**Developer Contact:** Portrait Homes  
Attn: Steve Day  
265 North Joy St., Suite 200  
Corona, CA 92879

**RECOMMENDATION:** That the City Council approve the full release of both the Performance and Labor and Materials Bonds in the amount of \$186,863.49.

**FISCAL IMPACT:** None

Budget Amount: \_\_\_\_\_ Budget  
Account No. \_\_\_\_\_

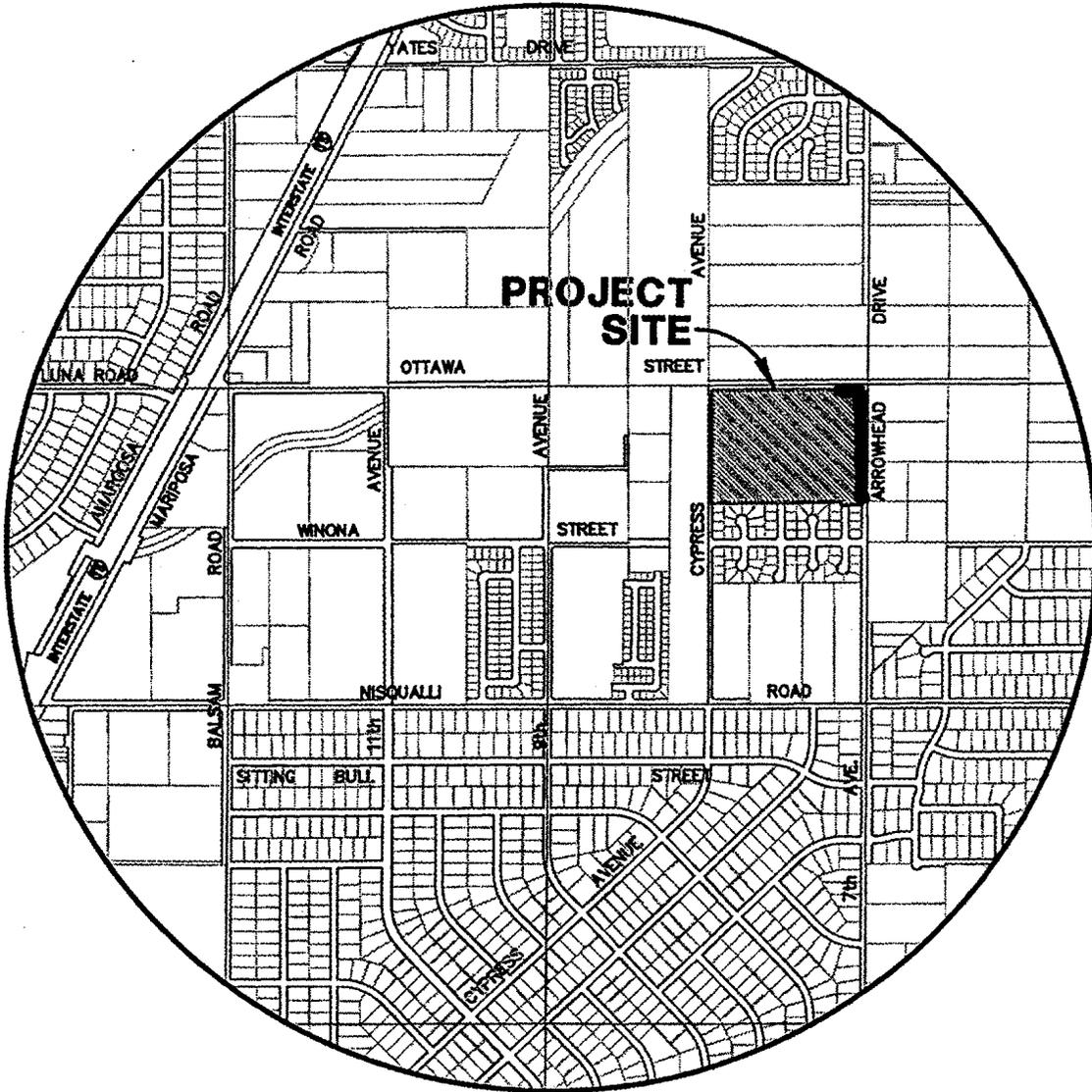
---Finance Dept. Use Only---  
Additional Appropriation:

No  
 Yes/\$Amount: \_\_\_\_\_ Finance Director  
Review & Approval                     

**DISCUSSION:** The developer, Portrait Homes, completed the required landscaping improvements along the west side of Arrowhead to Ottawa and the City accepted the area on August 16, 2005. At that time, copies of the bonds were unavailable and the developer failed to provide documentation. Just recently, copies were provided and it is requested that the bonds be released in full as the one-year warranty period has been completed. A vicinity map and copies of the bonds are attached.

JEG:RS:bw *04*

Attachments



NOT TO SCALE



**VVCE, Inc.**  
14297 Cajon St., Suite 101  
Victorville, CA., 92392-2335  
(760) 241-0595

**TRACT 16244**  
**VICINITY MAP**

**PORTRAIT HOMES**

**EXHIBIT**

**C**



**INSCO INSURANCE SERVICES, INC.**

Underwriting Manager for:  
Developers Surety and Indemnity Company  
Indemnity Company of California

17780 Fitch, Suite 200 • Irvine, California 92614 • (949) 263-3300

COPY

**SUBDIVISION IMPROVEMENTS  
PERFORMANCE BOND**

BOND NO. 827675S  
\$ 2,242.00 premium is for  
a term of Two (2) year(s)

KNOW ALL MEN BY THESE PRESENTS:

That we, Victorville Desert Sands, LLC, as Principal,  
and Developers Surety and Indemnity Company, a corporation organized and doing business  
under and by virtue of the laws of the State of California and duly licensed  
to conduct a general surety business in the State of California as Surety, are held and firmly bound unto the City of Victorville  
as Obligee, in the penal sum of (One Hundred Twenty-Four Thousand Five Hundred Seventy-Five  
Dollars and 66/100)  
(\$ 124,575.66 ) Dollars, for which payment, well and truly to be made, we bind ourselves, our heirs, successors, executors  
and administrators, jointly and severally firmly by these presents.

THE CONDITION OF THE OBLIGATION IS SUCH THAT:

Whereas the Obligee and Principal have entered into an agreement whereby Principal agrees to install and complete certain  
designated public improvements, which agreement, identified as Landscaping and irrigation for the Landscape  
Maintenance Assessment District on TRACT 16244 Phase 1, is hereby referred to and made a part hereof; and

Whereas, said Principal is required under the terms of said agreement to furnish a bond for the faithful performance of said  
agreement.

Now therefore, the condition of this obligation is such that is the above bounden principal, his or its heirs, executors,  
administrators, successor or assigns, shall in all things stand to and abide by, well and truly keep and perform the covenants,  
conditions and provisions in the said agreement and any alteration thereof made as therein provided, on his or their part, to be  
kept and performed at the time and in the manner therein specified, and in all respects according to their true intent and meaning,  
and shall indemnify and save harmless obligee, its officers, agents and employees, as therein stipulated, then this obligation shall  
become null and void; otherwise it shall be and remain in full force and effect.

As a part of the obligation secured hereby and in addition to the penal sum specified therefor, there shall be included costs  
and reasonable expenses and fees, including reasonable attorney's fees, incurred by Obligee in successfully enforcing such  
obligation, all to be taxed as costs and included in any judgement rendered.

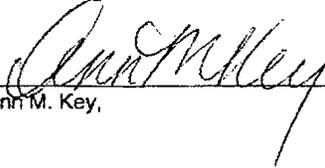
The surety hereby stipulates and agrees that no change, extension of time, alteration or addition to the terms of the agreement  
or to the work to be performed thereunder or the specifications accompanying the same shall in anywise affect its obligations on  
this bond, and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the agreement  
or to the work or to the specifications.

In witness whereof, this instrument has been duly executed by the principal and surety above named, on \_\_\_\_\_  
August 1, 2003

PRINCIPAL: Victorville Desert Sands, LLC

SURETY: Developers Surety and Indemnity Company

\_\_\_\_\_  
Stephen R. Day, Project Administrator

  
Ann M. Key,

Attorney-in-Fact.

ALL PURPOSE ACKNOWLEDGEMENT

STATE OF CALIFORNIA

SS

COUNTY OF SAN BERNARDINO

On August 1, 2003 before me, Angela L. Goldsmith, a Notary Public in and for the State of California, personally appeared **Ann M. Key**, (  ) personally known to me, (  ) proved to me on the basis of satisfactory evidence and acknowledged to me that ~~he/she/they~~ executed the same in ~~his~~, her, ~~their~~ authorized capacity(~~ies~~) and that by ~~his~~, her, ~~their~~ signature(~~s~~) on the instrument the person(~~s~~), or the entity upon behalf of which the person(~~s~~) acted, executed the instrument.

Witness my hand and official seal.

*Angela L. Goldsmith*

Notary Public, State of California



*This area for Official Notarial Seal*

**OPTIONAL**

Although the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

**Capacity claimed by Signer:**

- Individual(s)
- Corporate Officer(s)
- \_\_\_\_\_
- Partner(s)
- Attorney-in-Fact
- Trustee(s)
- Subscribing Witness
- Guardian/Conservator
- Other: \_\_\_\_\_
- \_\_\_\_\_

Signer is representing (name of person(s) or entity(s):

**Developers Surety and Indemnity Company**

**Description of Attached Document:**

**Final Performance and Payment Bond**  
**Victorville Desert Sands, LLC**  
Title or type of document

6  
Number of pages

August 1, 2003  
Date of Document

Signer(s) other than named above:



**INSCO INSURANCE SERVICES, INC.**

Underwriting Manager for:  
Developers Surety and Indemnity Company  
Indemnity Company of California  
17780 Fitch, Suite 200 • Irvine, California 92614 • (949) 263-3300

**SUBDIVISION IMPROVEMENTS  
LABOR AND MATERIAL BOND**

BOND NO. 827675S  
PREMIUM INCLUDED IN  
PERFORMANCE BOND

KNOW ALL MEN BY THESE PRESENTS:

That we, Victorville Desert Sands, LLC, as Principal, and Developers Surety and Indemnity Company, a corporation organized and doing business under and by virtue of the laws of the State of California and duly licensed to conduct a general surety business in the State of California as Surety, are held and firmly bound unto the City of Victorville as Obligee, in the penal sum of (Sixty-Two Thousand Two Hundred Eighty-Seven Dollars and 83/100) (\$ 62,287.83) DOLLARS, for which payment, well and truly to be made, we bind ourselves, our heirs, executors and successors, jointly and severally firmly by these presents.

THE CONDITION OF THE OBLIGATION IS SUCH THAT:

Whereas, the above-named Principal, has entered into an agreement which is made a part of this bond, with the City of Victorville, State of California, as Obligee, for the designated public improvements in the subdivision identified as Landscaping and Irrigation for the Landscape Maintenance Assessment District on TRACT 16244 Phase 1, as required by the Government Code of California.

Whereas, under the terms of said agreement, principal is required before entering upon the performance of the work, to file a good and sufficient payment bond with the City of Victorville to secure the claims to which reference is made in Title 15 (commencing with Section 3082) of Part 4 of Division 3 of the Civil Code of the State of California.

Now, therefore, said principal and the undersigned, as surety, are held firmly bound unto the City of Victorville and all contractors, subcontractors, laborers, materialmen and other persons employed in the performance of the aforesaid agreement and referred to in the aforesaid Code of Civil Procedure for material furnished or labor thereon of any kind, or for amounts due under the Unemployment Insurance Act with respect to such work or labor, that said surety will pay the same in an amount not exceeding the penal sum hereinabove set forth, and also in case suit is brought upon this bond, will pay, in addition to the penal sum thereof, costs and reasonable expenses and fees, including reasonable attorney's fees, incurred by Victorville Desert Sands, LLC in successfully enforcing such obligation, to be awarded and fixed by the court, and to be taxed as costs and to be included in the judgement therein rendered.

It is hereby expressly stipulated and agreed that this bond shall inure to the benefit of any and all persons, companies and corporations entitled to file claims under Title 15 (commencing with Section 3082) of Part 4 of Division 3 of the Civil Code, so as to give right of action to them or their assigns in any suit brought upon this bond.

Should the condition of this bond be fully performed, then this obligation shall become null and void, otherwise it shall be and remain in full force and effect.

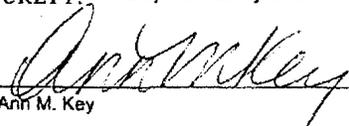
The surety hereby stipulates and agrees that no change, extension of time, alteration or addition to the terms of said agreement or the specifications accompanying the same shall in any manner affect its obligations on this bond, and it does hereby waive notice of any such change, extension, alteration or addition.

In witness whereof, this instrument has been duly executed by the principal and surety above named, on August 1, 2003

PRINCIPAL: Victorville Desert Sands, LLC

SURETY: Developers Surety and Indemnity Company

Stephen R. Day, Project Administrator

  
Ann M. Key

Attorney-in-Fact

ALL PURPOSE ACKNOWLEDGEMENT

STATE OF CALIFORNIA

SS

COUNTY OF SAN BERNARDINO

On August 1, 2003 before me, Angela L. Goldsmith, a Notary Public in and for the State of California, personally appeared **Ann M. Key**, (  ) personally known to me, (  ) proved to me on the basis of satisfactory evidence and acknowledged to me that ~~he/she/they~~ executed the same in his, her, ~~their~~ authorized capacity(ies) and that by his, her, ~~their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

Witness my hand and official seal.

  
Notary Public, State of California



*This area for Official Notarial Seal*

**OPTIONAL**

Although the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

**Capacity claimed by Signer:**

- Individual(s)
- Corporate Officer(s)
- \_\_\_\_\_
- Partner(s)
- Attorney-in-Fact
- Trustee(s)
- Subscribing Witness
- Guardian/Conservator
- Other: \_\_\_\_\_

Signer is representing (name of person(s) or entity(s):

**Developers Surety and Indemnity Company**

**Description of Attached Document:**

**Final Performance and Payment Bond**  
**Victorville Desert Sands, LLC**  
Title or type of document

6  
Number of pages

August 1, 2003  
Date of Document

Signer(s) other than named above:



**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

**SUBMITTED BY:** Adair Patterson *AP*  
Director of Finance

**DATE:** August 3, 2006

**SUBJECT:** Notice of Completion # JM06-001, SCLA Tenant Improvements to Hangar 676

**RECOMMENDATION:** That the Honorable City Council accept as completed the above referenced project.

**FISCAL IMPACT:** none

Budget Amount:

Budget Account No.:

--Finance Dept. Use Only--  
Additional Appropriation:

No  
 Yes/\$Amount:

Finance Director Review and  
Approval *AP*

**DISCUSSION:**

The above captioned project has been satisfactorily completed and inspected. The Finance Department and Airport Department would recommend acceptance of the project and the filing of the Notice of Completion.

*AMP*  
AMP/jvm

c:\mydocuments\projects\JM06-001676TenantImprov\JM06-001agendaitemNOC

cc: Peter Soderquist, Airport Director

Consent  
#6L  
8-15-06

Recording Requested By:

CITY OF VICTORVILLE

And When Recorded Mail To:

City of Victorville  
P.O. Box 5001  
Victorville, CA 92393-5001

RECEIVED  
JUL 31 2006  
PURCHASING

\_\_\_\_\_  
Space above this line for Recorder's Use \_\_\_\_\_

PUBLIC CONTRACT  
NOTICE OF COMPLETION

NOTICE IS HEREBY GIVEN THAT:

1. The work of improvement set forth in the contract documents for this project #JM06-001, to Furnish, Deliver, & Install Hangar 676 Tenant Improvement Project at Southern California Logistics Airport, was successfully completed on April 11, 2006.
2. The full name and address of the contractor is: I.C.E. Builders, Inc.  
421 E. Cerritos Ave.  
Anaheim, CA 92805
3. The location of the project is: Building 676, 13010 Aerospace, Victorville, CA 92394 - AP# 0459-041-04
4. Any communications relating to the subject work of improvement shall be directed to the Community Services Department, 14343 Civic Drive, Victorville, California 92392.

City of Victorville - Owner

Dated: \_\_\_\_\_

*7/28/06*



Peter Soderquist, Airport Department  
City of Victorville

The CITY OF VICTORVILLE in accordance with minute action taken this 15th day of August, 2006 hereby accepts the above work of improvements as set forth in the contract documents and all change orders applicable thereto subject to the guarantees as set forth in said contract documents.

Dated: \_\_\_\_\_

\_\_\_\_\_  
Mike Rothschild  
MAYOR OF THE CITY OF VICTORVILLE

ATTEST:

\_\_\_\_\_  
CITY CLERK

STATE OF CALIFORNIA            }  
COUNTY OF SAN BERNARDINO   }  
CITY OF VICTORVILLE         }

On \_\_\_\_\_, 2006, before me, \_\_\_\_\_ personally  
appeared \_\_\_\_\_ personally known to me  
(or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature \_\_\_\_\_

(THIS AREA FOR OFFICIAL NOTARIAL SEAL)

# MEMORANDUM



**DATE:** July 26, 2006

**FROM:** Peter Soderquist

**TO:** John Mendiola

---

**SUBJECT: Acceptance of Project # JM06-001**

---

Per your request, this memo is to notify you of SCLA's acceptance of the above mentioned project, Hangar 676 – Tenant Improvement.

Project was successfully completed in April 2006.

If you require any additional information, please feel free to contact me.

PRS/cg

cc: Adair Patterson, Director of Finance

---



**AGENDA ITEM**

CITY COUNCIL MEETING OF: **August 15, 2006**

SUBMITTED BY: Adair M. Patterson *AMP*  
Director of Finance

DATE: July 27, 2006

SUBJECT: **Notice of Completion – Repave Eva Dell Park Parking Lot,  
Project #BM06-043**

RECOMMENDATION: That the Honorable City Council accept as completed the above referenced project.

DISCUSSION:

The above captioned project has been satisfactorily completed and inspected. The Community Services Department would recommend acceptance of the project and the filing of the Notice of Completion.

--Finance Dept. Use Only--	
Additional Appropriation:	
<input checked="" type="checkbox"/>	No
<input type="checkbox"/>	Yes/\$Amount:
Finance Director Review and Approval <i>AMP</i>	

*AMP*  
AMP/bm *BM*

cc: Jon Gargan, Director of Community Services

Recording Requested By:

CITY OF VICTORVILLE

And When Recorded Mail To:

City of Victorville  
P.O. Box 5001  
Victorville, CA 92393-5001

Space above this line for Recorder's Use

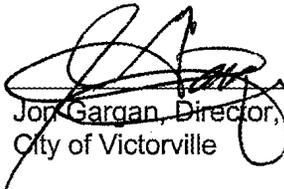
PUBLIC CONTRACT  
NOTICE OF COMPLETION

NOTICE IS HEREBY GIVEN THAT:

1. The work of improvement set forth in the contract documents for this project #BM06-043, Repave Eva Dell Park Parking Lot, was successfully completed on July 26, 2006.
2. The full name and address of the contractor is: **Medrano's Paving  
P. O. Box 403829  
Hesperia, CA 92345**
3. The location of the project is: **15714 First Street, Victorville, CA 92395  
AP# 0478-154-29**
4. Any communications relating to the subject work of improvement shall be directed to the Community Services Department, 14343 Civic Drive, Victorville, California 92392.  
**City of Victorville - Owner**

Dated: \_\_\_\_\_

*7/27/06*

  
Jon Gargan, Director, Community Services  
City of Victorville

The CITY OF VICTORVILLE in accordance with minute action taken this 15th day of August, 2006 hereby accepts the above work of improvements as set forth in the contract documents and all change orders applicable thereto subject to the guarantees as set forth in said contract documents.

Dated: \_\_\_\_\_

\_\_\_\_\_  
Mike Rothschild  
MAYOR OF THE CITY OF VICTORVILLE

ATTEST:

\_\_\_\_\_  
CITY CLERK

STATE OF CALIFORNIA            }  
COUNTY OF SAN BERNARDINO   }  
CITY OF VICTORVILLE         }

On \_\_\_\_\_, 2006, before me, \_\_\_\_\_ personally  
appeared \_\_\_\_\_ personally known to me  
(or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature \_\_\_\_\_

(THIS AREA FOR OFFICIAL NOTARIAL SEAL)

Bruce,

This project has been successfully completed.

Chuck

-----Original Message-----

**From:** Bruce Miller  
**Sent:** Wednesday, July 26, 2006 12:21 PM  
**To:** Chuck Reynolds  
**Subject:** FW: Repave Eva Dell Park Parking Lot

-----Original Message-----

**From:** Bruce Miller  
**Sent:** Thursday, July 13, 2006 11:22 AM  
**To:** Chuck Reynolds  
**Subject:** Repave Eva Dell Park Parking Lot

Please advise if this project has been inspected/accepted and should be considered "Complete".

Please contact me if you have any comments or questions.

Thank you,

***Bruce Miller, Buyer***

***City of Victorville - Purchasing Division***

Phone: (760) 955-5085

Fax: (760) 269-0045

Email: [bmiller@ci.victorville.ca.us](mailto:bmiller@ci.victorville.ca.us)



**AGENDA ITEM**

CITY COUNCIL MEETING OF: **August 15, 2006**

SUBMITTED BY: Adair M. Patterson *AP*  
Director of Finance

DATE: August 7, 2006

SUBJECT: Notice of Completion – Westwinds Golf Course Carpet and Flooring,  
Project #CC05-066

RECOMMENDATION: That the Honorable City Council accept as completed the  
above referenced project.

DISCUSSION:

The above captioned project has been satisfactorily completed and inspected. The Community Services Department would recommend acceptance of the project and the filing of the Notice of Completion.

*AMP/bm*

--Finance Dept. Use Only--  
Additional Appropriation:

No  
 Yes/\$Amount:

Finance Director Review and  
Approval *AP*

cc: Jon Gargan, Director of Community Services

Recording Requested By:

CITY OF VICTORVILLE

And When Recorded Mail To:

City of Victorville  
P.O. Box 5001  
Victorville, CA 92393-5001

Space above this line for Recorder's Use

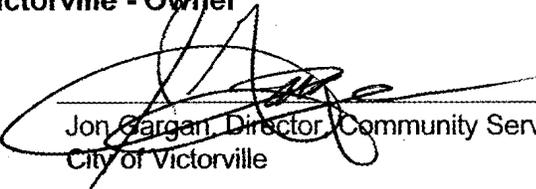
PUBLIC CONTRACT  
NOTICE OF COMPLETION

NOTICE IS HEREBY GIVEN THAT:

1. The work of improvement set forth in the contract documents for this project #CC05-066 Westwinds Golf Course Carpet and Flooring, was successfully completed on August 7, 2006.
2. The full name and address of the contractor is: **The Floor Store**  
**1170-B Bear Valley Road, Suite 140**  
**Victorville, CA 92395**
3. The location of the project is: **18003 Westwinds Drive, Victorville, CA 92394**  
**AP# 0459-041-04**
4. Any communications relating to the subject work of improvement shall be directed to the Community Services Department, 14343 Civic Drive, Victorville, California 92392.  
**City of Victorville - Owner**

Dated: \_\_\_\_\_

8-7-06

  
Jon Gargan, Director, Community Services  
City of Victorville

The CITY OF VICTORVILLE in accordance with minute action taken this 15th day of August, 2006 hereby accepts the above work of improvements as set forth in the contract documents and all change orders applicable thereto subject to the guarantees as set forth in said contract documents.

Dated: \_\_\_\_\_

\_\_\_\_\_  
Mike Rothschild  
MAYOR OF THE CITY OF VICTORVILLE

ATTEST:

\_\_\_\_\_  
CITY CLERK

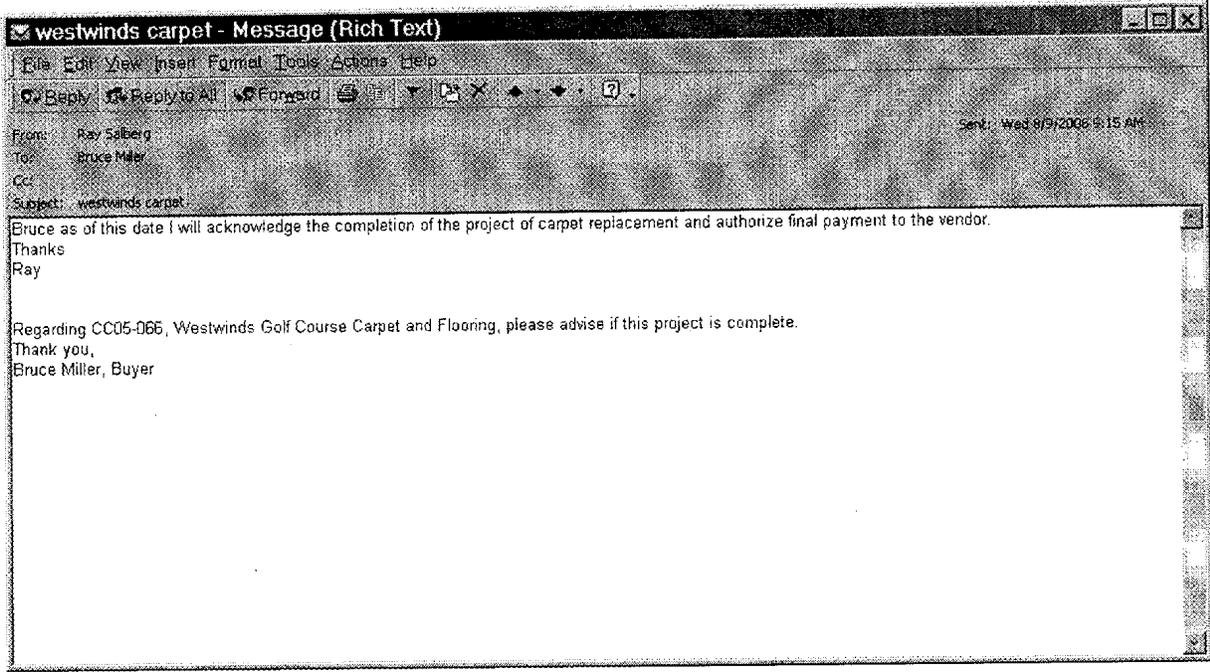
STATE OF CALIFORNIA            }  
COUNTY OF SAN BERNARDINO   }  
CITY OF VICTORVILLE         }

On \_\_\_\_\_, 2006, before me, \_\_\_\_\_ personally  
appeared \_\_\_\_\_ personally known to me  
(or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature \_\_\_\_\_

(THIS AREA FOR OFFICIAL NOTARIAL SEAL)



From: Ray Saberg  
To: Bruce Miller  
Cc:  
Subject: westwinds carpet

Sent: Wed 8/9/2006 9:15 AM

Bruce as of this date I will acknowledge the completion of the project of carpet replacement and authorize final payment to the vendor.  
Thanks  
Ray

Regarding CC05-066, Westwinds Golf Course Carpet and Flooring, please advise if this project is complete.  
Thank you,  
Bruce Miller, Buyer



**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

**SUBMITTED BY:** Adair M. Patterson  
Director of Finance

**DATE:** August 7, 2006

**SUBJECT:** Notice of Completion #CC06-039, OVS Playground Installation

**RECOMMENDATION:** That the Honorable City Council accept as completed the above referenced project.

**FISCAL IMPACT:** none

Budget Amount:

Budget Account No.:

<p>--Finance Dept. Use Only-- Additional Appropriation:</p> <p><input checked="" type="checkbox"/> No <input type="checkbox"/> Yes/\$Amount:</p> <p>Finance Director Review and Approval <u>AMP</u></p>
---

**DISCUSSION:**

The above captioned project has been satisfactorily completed and inspected. The Community Services Department would recommend acceptance of the project and the filing of the Notice of Completion.

*cc*  
AMP/cc

cc: Jon Gargan, Director of Community Services



Recording Requested By:  
CITY OF VICTORVILLE

And When Recorded Mail To:

City of Victorville  
P.O. Box 5001  
Victorville, CA 92393-5001

Space above this line for Recorder's Use

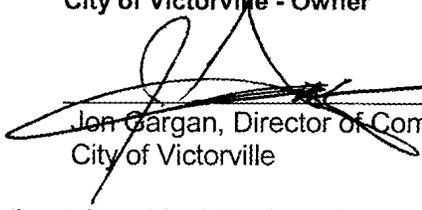
PUBLIC CONTRACT  
NOTICE OF COMPLETION

NOTICE IS HEREBY GIVEN THAT:

1. The work of improvement set forth in the contract documents for this project #CC06-039, Installation of Play Equipment, was successfully completed on 6/29/2006.
2. The full name and address of the contractor is: Micon Construction  
1616 Siera Madre Circle  
Placentia, CA 92870
3. The location of the project is: Old Victor School - 15476 Sixth St.  
Victorville, CA 92392
4. Any communications relating to the subject work of improvement shall be directed to the Community Services Department, 14343 Civic Dr., Victorville, California 92392.

City of Victorville - Owner

Dated: 8/7/06

  
Jon Gargan, Director of Community Services Dept.  
City of Victorville

The CITY OF VICTORVILLE in accordance with minute action taken this 15th day of August, 2006 hereby accepts the above work of improvements as set forth in the contract documents and all change orders applicable thereto subject to the guarantees as set forth in said contract documents.

Dated: \_\_\_\_\_

\_\_\_\_\_  
Mike Rothschild  
MAYOR OF THE CITY OF VICTORVILLE

ATTEST:

\_\_\_\_\_  
CITY CLERK

CITY OF  
VICTORVILLE



(760) 955-5000  
FAX (760) 245-7243  
E-mail: vville@ci.victorville.ca.us

14343 Civic Drive  
P.O. Box 5001  
Victorville, CA 92393-5001

STATE OF CALIFORNIA                    }  
COUNTY OF SAN BERNARDINO        }  
CITY OF VICTORVILLE                }

On \_\_\_\_\_, 2006, before me, \_\_\_\_\_ personally appeared  
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized  
capacity(ies), and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the  
person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature \_\_\_\_\_

(THIS AREA FOR OFFICIAL NOTARIAL SEAL)

**Celeste Calderon**

---

**From:** Becky Wasserman  
**Sent:** Monday, August 07, 2006 2:18 PM  
**To:** Celeste Calderon  
**Cc:** Dan McMurtry; Ray Salberg  
**Subject:** OVS Play Equipment - Micon Const.

Please proceed to place a Notice of Completion item on the agenda so that this project can be closed using FY 05-06 funds.

Thanks

*Becky Wasserman  
Management Technician  
Phone: 760-955-5275  
Fax: 760-269-0030  
bwasserman@ci.victorville.ca.us*

## Celeste Calderon

---

**From:** Becky Wasserman  
**Sent:** Thursday, August 03, 2006 3:18 PM  
**To:** 'Mitch Holle'; Kelly.spence@miracleplayground.com  
**Cc:** Dan McMurtry; Celeste Calderon  
**Subject:** RE: Old Victor School - Slide Gap

Thanks for your quick response.

We weren't planning on holding any funds for warranty work. The issue is getting the playground open to the public and issuing the final payment using funds budgeted last year. Our new fiscal year began July 1 and we only have a certain grace period to wrap up projects.

Becky

-----Original Message-----

**From:** Mitch Holle [mailto:mitch@miconconstruction.com]  
**Sent:** Thursday, August 03, 2006 2:26 PM  
**To:** Becky Wasserman; Kelly.spence@miracleplayground.com  
**Cc:** Dan McMurtry; Celeste Calderon  
**Subject:** RE: Old Victor School - Slide Gap

Just received the package today...I'll have someone up there Saturday or Monday to install the insert and tighten up the gap..

That said, I disagree that monies should be held for warranty work. If you call us in 6 months with a warranty claim, we'll be there to take care of it. We don't void warranties just because we've been paid.

You've got a very good playground and we're proud to have played a part in it. Please let me now if there is anything else you want our crews to do while we're there.

Thx  
MH

-----Original Message-----

**From:** Becky Wasserman [mailto:BWasserman@ci.victorville.ca.us]  
**Sent:** Thursday, August 03, 2006 2:10 PM  
**To:** Kelly.spence@miracleplayground.com  
**Cc:** mitch@miconconstruction.com; Dan McMurtry; Celeste Calderon  
**Subject:** Old Victor School - Slide Gap  
**Importance:** High

Kelly & Mitch,

Please advise as to when the part may be installed to cover the gap between the top of the slide and the platform. This was last year's project and we only have a few more days to spend the funding. I believe there is still a final payment due to Micon.

Thanks

Becky Wasserman  
Management Technician  
Phone: 760-955-5275  
Fax: 760-269-0030  
bwasserman@ci.victorville.ca.us

**Celeste Calderon**

---

**From:** Becky Wasserman  
**Sent:** Monday, July 31, 2006 8:41 AM  
**To:** Celeste Calderon  
**Cc:** Dan McMurtry; Martha Chisolm  
**Subject:** Micon Const. - OVS Play Equipment

FYI

As roll-over funding was not included in this year's budget, we hope to have the slide issue resolved so that the retention can be paid by August 10 using last year's budget. Will keep you posted.

*Becky Wasserman  
Management Technician  
Phone: 760-955-5275  
Fax: 760-269-0030  
bwasserman@ci.victorville.ca.us*



**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

**SUBMITTED BY:** Jon E. Gargan  **DATE:** August 1, 2006  
Director of Community Services

**SUBJECT:** **Contract Award – Doris Davies Park Parking & Security Lighting Project #BM06-035**

**RECOMMENDATION:** That the Honorable City Council re-award a contract to F.E.C. Electric, for furnishing, delivering, and installing the Doris Davies Park Parking & Security Lighting for the amount of \$93,213.00 and request additional appropriation of \$82,828 from Recreation District Funds (20200) and \$10,385 from Recreation DIF Fund (60500).

**FISCAL IMPACT:** \$93,213

Budget Amount: \$

Budget Account No.

540300-20200-80100-80049-52220 (\$82,828)

540300-60500-80100-80049-52220 (\$10,385)

—Finance Dept. Use Only—  
Additional Appropriation:

— No  
✓ Yes/\$Amount: \$93,213

Finance Director Review & Approval ap

**DISCUSSION:** This project was initially awarded by Council on May 2, 2006. Project began in June 2006. Due to a 12-week back order on light fixtures, project was not completed in the past fiscal year as anticipated.

Submitted by Chuck Reynolds, Facilities Manager 

JEG:CR:lm

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**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

**SUBMITTED BY:** Adair M. Patterson  
Director of Finance

**DATE:** August 4, 2006

**SUBJECT:** Contract Award – Valley Slurry – Project # BM06-064

**RECOMMENDATION:** That The Honorable City Council award the City's annual asphalt preventative maintenance contract to Valley Slurry Seal Co. in the amount of \$3,364,197.69 and approve additional appropriations in the amount of \$2,868,827.34, which includes a fifteen percent contingency.

**FISCAL IMPACT:** \$3,364,197.69

Budget Amount: \$ 1,000,000

Budget Account No.: Fund 40520 – Meas I Local  
Additional Appropriations:

**Fund 40210** - Prop 42 Transportation Improvement  
Act - \$956,000

**Fund 40515** - Meas I – Arterial Maintenance -  
\$600,000

**Fund 40200** - Local Transportation Fund -  
\$1,312,827.34

--Finance Dept. Use Only--  
Additional Appropriation:

No  
 Yes/\$Amount:

Finance Director Review and  
Approval \$2,868,827.34

**DISCUSSION:** Bids were received from the following vendors:

<u>Company</u>	<u>Amount</u>
<b>Valley Slurry</b>	<b>\$3,364,197.69</b>
Manhole Adjusting Contractors	\$4,433,526.75

The City received two bids on July 19, 2006. Over the last several years, the Public Works Department has committed approximately \$1,000,000 of Measure I funds for contracted street maintenance services in the City of Victorville. As Council is aware,

the tremendous growth experienced over the last few years has created a significant increase in lane miles of paved roads and vehicular traffic. Public Works staff believe it prudent to take proactive steps to preserve and maintain the City's infrastructure by authorizing additional funding sources and expanding the scope of this year's project.

The Public Works Department currently does not have adequate staffing and equipment to remove and replace pavement markings to accommodate the scope of this large project and its aggressive schedule for completion. Therefore, the cost for contracting the removal of existing street markings, the installation of temporary and permanent thermoplastic striping, stop bars and pavement markers is included in the attached bid price.

It should be noted that of the three funding sources, Measure I is the only consistent funding source for asphalt preventative maintenance. Contingency funding is based on pricing of materials used for street maintenance which is primarily petroleum based. Current petroleum market prices are increasing daily and contractors can't hold prices longer than 14 business days. This project will take 45-60 days to complete, thus, the additional funding will help offset guaranteed increases during the project timeline.

Staff from the Public Works Department and Purchasing Division have reviewed the bids submitted and recommend City Council award Valley Slurry a contract in the amount of \$3,364,197.69 and approve additional appropriations in the amount of \$2,868,827.33.

Staff remains available for questions or comments.

AMP/bas

cc: Rod Sorensen, Interim Director of Public Works

# MEMORANDUM



**DATE:** August 9, 2006  
**FROM:** Adair M. Patterson  
Director of Finance  
**TO:** Rod Sorensen  
Interim Director of Public Works

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**SUBJECT: Bid Results – RFP Annual Slurry Seal Road Maintenance –  
Project # BM06-064**

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Proposals were received July 19, 2006, for the above referenced project. Listed below are the proposed amounts:

<u>Company</u>	<u>(Re-calculated) Proposal Amount</u>
Valley Slurry Seal	\$ 3,364,197.69
Manhole Adjusting Contractors, Inc.	\$ 4,433,526.75

Copies of the proposals are attached for your review and analysis. In order to prepare a memorandum for Council approval, please provide your recommendation as soon as possible.

Submitted by: Bruce Miller

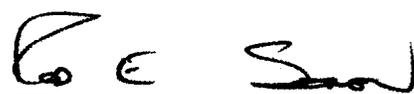
\* \* \* \* \*

Recommendation:

Proceed with agenda item for Council approval: \_\_\_\_\_ ✓

Other: \_\_\_\_\_

\_\_\_\_\_

  
Department Head Signature

Aug 9, 2006  
Date

Valley

CITY OF VICTORVILLE  
BID PROPOSAL

RFP Annual Slurry Seal Road Maintenance, Project #BM06-064

TO THE CITY COUNCIL OF THE CITY OF VICTORVILLE, CALIFORNIA:

The undersigned declares that he has carefully examined the locations of the proposed work, the plans, specifications, and contract documents; and being familiar with all of the conditions surrounding the work, including the availability of materials and labor, hereby proposes to furnish all labor, materials, tools, equipment, and incidentals, to complete all the work. All of the aforementioned shall be done in accordance with said plans, specifications, and contract documents for the price set forth in the following schedule:

(Note: All prices to include all appropriate taxes and any/all discounts.)

ITEM NO.	DESCRIPTION	ESTIMATED QUANTITY	UNITS	UNIT PRICE	TOTAL
1	Mobilization	1	EA	\$60,000.00	\$60,000.00
2	Raised Pavement Markers	15,000	EA	\$3.12	\$46,800.00
3	Painted Pavement Markers Stop Bar	3825	LF	\$1.57	\$6,005.25
4	Painted Pavement Markers	1532 units	1-8' letter/ symbol = 1 unit	\$8.92	\$13,665.44
5	Crackseal	10,000	LF	\$0.52	\$5,200.00
6	Asphalt-Rubber Seal Coat and Screenings	1,000,000	SQ FT	\$0.52	\$520,000.00
7	Crumb Rubber Polymer Modified (RPMA)	1,800,000	SQ FT	\$0.26	\$468,000.00
8	Mircosurfacing Type II	2,600,000	SQ FT	\$0.21	\$546,000.00
9	Mircosurfacing Type III	2,600,000	SQ FT	\$0.35	\$910,000.00
TOTAL					\$2,575,670.69

Total bid in words: TWO MILLION FIVE HUNDRED SEVENTY FIVE THOUSAND SIX HUNDRED SEVENTY DOLLARS AND SIXTY NINE CENTS.

NOTE:

VALLEY SLURRY SEAL WAS CONTACTED BY (BUYER) BRUCE MILLER ON 7/26/06 AT 12:08, AND SPOKE WITH MR. ALAN BERGER. MR. BERGER STATED HE WAS AWARE OF ADDENDUM #5, WHICH ADDED 2,094,665 SQUARE FEET. HE ALSO STATED THEIR (UNIT) PRICING PROVIDED DO REFLECT "ANY AND ALL ADDENDA" BM

VAWLEY

CITY OF VICTORVILLE  
BID PROPOSAL (continued)

The following Six items are specifically for Green Tree Blvd., and for Bear Valley Road, from the intersection of Bear Valley Road and Highway 395 – west to the city limits.

(Note: All prices to include all appropriate taxes and any/all discounts.)

ITEM NO.	DESCRIPTION	ESTIMATED QUANTITY	UNITS	UNIT PRICE	TOTAL
10	Thermoplastic Striping & Striping Removal, & Temporary Striping	87,248	LF	\$0.51	\$44,496.48
11	Thermoplastic Pavement Markers, Striping Removal, & Temporary Striping	332 units	1-8' letter/symbol =1unit	\$20.21	\$6,709.72
12	Thermoplastic Pavement Markers Stop Bar	2530	LF	\$1.68	\$4,250.40
TOTAL					\$55,456.60

(Note: All prices to include all appropriate taxes and any/all discounts.)

ITEM NO.	DESCRIPTION	ESTIMATED QUANTITY	UNITS	UNIT PRICE	TOTAL
13	Painted Striping & Striping Removal, & Temporary Striping	87,248	LF	\$0.41	\$35,771.68
14	Painted Pavement Markers, Striping Removal, & Temporary Striping	332 units	1-8' letter/symbol =1unit	\$8.92	\$2,961.44
15	Painted Pavement Markers Stop Bar	2530	LF	\$1.57	\$3,972.10 <del>\$42,705.22</del>
TOTAL					\$42,705.22

Public Works staff re-calculated totals to take into account Addendum #5, adding 2,094,665 sq. ft.  
(RECALCULATED VALLEY SLURRY ADJUSTING PROPOSAL SHEET)

ITEM NO.	DESCRIPTION	ESTIMATED QUANTITY	UNITS	UNIT PRICE	TOTAL
1	Mobilization	1	EA	\$60,000.00	\$60,000.00
2	Raised Pavement Markers ORG 15,000 ADDED 3245	18,245	EA	\$3.12	\$56,924.40
3	Painted Pavement Markers Stop Bar	3,825	LF	\$1.57	\$6,005.25
4	Painted Pavement Markers	1532 units	1-8' letter/ Symbol = 1unit	\$8.92	\$13,665.44
5	Crackseal	10,000	LF	\$.52	\$5,200.00
6	Asphalt-Rubber Seal Coat and Screenings	1,000,000	SQ FT	.52	\$520,000.00
7	Crumb Rubber Polymer Modified (RPMA)	1,800,000	SQ FT	.26	\$468,000.00
8	Mircosurfacing Type II	2,600,000	SQ FT	.21	\$546,000.00
9	Mircosurfacing Type III ADDITIONAL 2 MILLION SQ FT FROM ADDEM 5	4,600,000	SQ FT	.35	\$1,610,000.00
					\$3,285,795.09

**TOTAL**

(Note: All prices to include all appropriate taxes and any/all discounts.)

ITEM NO.	DESCRIPTION	ESTIMATED QUANTITY	UNITS	UNIT PRICE	TOTAL
10	Thermoplastic Striping & Striping Removal, & Temporary Striping ADD STRIPING FOR ADDITIONAL STREETS	109,610	LF	\$.51	\$55,901.10
11	Thermoplastic Pavement Markers, Striping Removal, & Temporary Striping	595 units	1-8' letter/ Symbol =1unit	\$20.10	\$11,959.50
12	Thermoplastic Pavement Markers Stop Bar	6275	LF	\$1.68	\$10,542.00
<b>TOTAL</b>					\$78,402.60

Total bid for Valley Slurry **\$3,364,197.69**

CITY OF VICTORVILLE  
**BM06-064**  
**RFP Annual Slurry Seal Road Maintenance**  
July 12, 2006

**ADDENDUM #5**

The attached constitutes additional information and serves to clarify issues (considered to be part of the City of Victorville "RFP Annual Slurry Seal Road Maintenance" project).

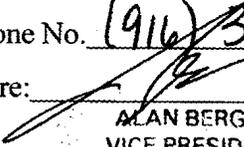
**INFORMATION:**

The following additional square footage has been added to this bid package:

- Amargosa Road, from Bear Valley Road to Seneca Road = 1,096,665 square feet
- Seventh Street, from D Street through the intersection of Green Tree Boulevard = 998,000 square feet

\* \* \* \* \*

Please confirm receipt of this Addendum #5, BM06-064, by either faxing the acknowledgment to the City of Victorville, Purchasing Division at (760) 269-0045, or by attaching the signed acknowledgment to your bid proposal. Failure to acknowledge receipt of this addendum may result in the disqualification of your proposal. The undersigned acknowledges receipt of ADDENDUM #5:

Name of Bidder Valley Slurry Seal Co.  
Address P.O. Box 981330, West Sacramento, CA 95798  
Telephone No. (916) 373-1500 Fax No: (916) 373-1438  
Signature:   
ALAN BERGER  
VICE PRESIDENT 7/18/06  
Title Date

MAN  
HOVE

CITY OF VICTORVILLE  
BID PROPOSAL

RFP Annual Slurry Seal Road Maintenance, Project #BM06-064

TO THE CITY COUNCIL OF THE CITY OF VICTORVILLE, CALIFORNIA:

The undersigned declares that he has carefully examined the locations of the proposed work, the plans, specifications, and contract documents; and being familiar with all of the conditions surrounding the work, including the availability of materials and labor, hereby proposes to furnish all labor, materials, tools, equipment, and incidentals, to complete all the work. All of the aforementioned shall be done in accordance with said plans, specifications, and contract documents for the price set forth in the following schedule:

(Note: All prices to include all appropriate taxes and any/all discounts.)

ITEM NO.	DESCRIPTION	ESTIMATED QUANTITY	UNITS	UNIT PRICE	TOTAL
1	Mobilization	1	EA	45,145.00	45,145.00
2	Raised Pavement Markers	15,000	EA	4.75	71,250.00
3	Painted Pavement Markers Stop Bar	3825	LF	2.30	8,797.50
4	Painted Pavement Markers	1532 units	1-8' letter/ symbol = 1unit	16.50	25,278.00
5	Crackseal	10,000	LF	1.00	10,000.00
6	Asphalt-Rubber Seal Coat and Screenings	1,000,000	SQ FT	0.585	585,000.00
7	Crumb Rubber Polymer Modified (RPMA)	1,800,000	SQ FT	0.431	775,800.00
8	Mircosurfacing Type II	2,600,000	SQ FT	0.260	676,000.00
9	Mircosurfacing Type III	2,600,000	SQ FT	0.428	1,112,800.00
TOTAL					3,310,070.50

Total bid in words: Three Million Three hundred ten Thousand  
Seventy dollars and Fifty cents

NOTE:

(BUYER) BRUCE MILLER SPOKE WITH MR. JOHN CORCORAN AND MR. JOHN VELEZ (CONFERENCE CALL) ON 7/26/06 AT 3:54. THEY WERE AWARE OF ADDENDUM #5 (ADDITIONAL SQUARE FOOTAGE) AND VERIFIED THEIR SUBMITTED UNIT PRICES "ARE GOOD FOR THE INCREASED SQUARE FOOTAGE". BMM

MAN  
HOLE

CITY OF VICTORVILLE  
**BID PROPOSAL (continued)**

The following Six items are specifically for Green Tree Blvd., and for Bear Valley Road, from the intersection of Bear Valley Road and Highway 395 – west to the city limits.

(Note: All prices to include all appropriate taxes and any/all discounts.)

ITEM NO.	DESCRIPTION	ESTIMATED QUANTITY	UNITS	UNIT PRICE	TOTAL
10	Thermoplastic Striping & Striping Removal, & Temporary Striping	87,248	LF	1.10	95,972.80
11	Thermoplastic Pavement Markers, Striping Removal, & Temporary Striping	332 units	1-8' letter/ symbol =1unit	115.50	38,346.00
12	Thermoplastic Pavement Markers Stop Bar	2530	LF	10.00	25,300.00
TOTAL					159,618.80

(Note: All prices to include all appropriate taxes and any/all discounts.)

ITEM NO.	DESCRIPTION	ESTIMATED QUANTITY	UNITS	UNIT PRICE	TOTAL
13	Painted Striping & Striping Removal, & Temporary Striping	87,248	LF	0.75	65,436.00
14	Painted Pavement Markers, Striping Removal, & Temporary Striping	332 units	1-8' letter/ symbol =1unit	84.00	27,888.00
15	Painted Pavement Markers Stop Bar	2530	LF	6.60	16,698.00
TOTAL					110,022.00

Public Works staff re-calculated totals to take into account Addendum #5, adding 2,094,665 sq. ft.  
(RECALCULATED MANHOLE ADJUSTING PROPOSAL SHEET)

ITEM NO.	DESCRIPTION	ESTIMATED QUANTITY	UNITS	UNIT PRICE	TOTAL
1	Mobilization	1	EA	\$45,145.00	\$45,145.00
2	Raised Pavement Markers ORG 15,000 ADDED 3245	18245	EA	\$4.75	\$86,663.75
3	Painted Pavement Markers Stop Bar	3825	LF	\$2.30	\$8,797.50
4	Painted Pavement Markers	1532 units	1-8' letter/ Symbol = 1unit	\$16.50	\$25,278.00
5	Crackseal	10,000	LF	\$1.00	\$10,000.00
6	Asphalt-Rubber Seal Coat and Screenings	1,000,000	SQ FT	.585	\$585,000.00
7	Crumb Rubber Polymer Modified (RPMA)	1,800,000	SQ FT	.431	\$775,800.00
8	Mircosurfacing Type II	2,600,000	SQ FT	.26	\$676,000.00
9	Mircosurfacing Type III ADDITIONAL 2 MILLION SQ FT FROM ADDEM 5	4,600,000	SQ FT	.428	\$1,968,800.00
					\$4,181,484.25

**TOTAL**

(Note: All prices to include all appropriate taxes and any/all discounts.)

ITEM NO.	DESCRIPTION	ESTIMATED QUANTITY	UNITS	UNIT PRICE	TOTAL
10	Thermoplastic Striping & Striping Removal, & Temporary Striping ADD STRIPING FOR ADDITIONAL STREETS	109,610	LF	\$1.10	\$120,571.00
11	Thermoplastic Pavement Markers, Striping Removal, & Temporary Striping	595 units	1-8' letter/ Symbol =1unit	\$115.50	\$68,722.50
12	Thermoplastic Pavement Markers Stop Bar	6275	LF	\$10.00	\$62,750.00
<b>TOTAL</b>					\$252,043.50

Total bid for Manhole Adjusting **\$4,433,526.75**

CITY OF VICTORVILLE  
**BM06-064**  
**RFP Annual Slurry Seal Road Maintenance**  
July 12, 2006

**ADDENDUM #5**

The attached constitutes additional information and serves to clarify issues (considered to be part of the City of Victorville "RFP Annual Slurry Seal Road Maintenance" project).

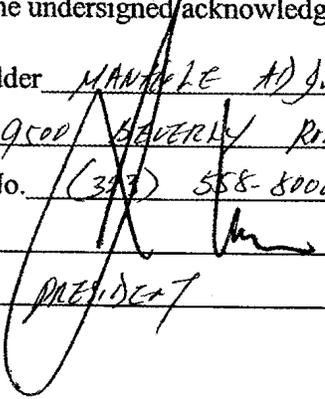
**INFORMATION:**

The following additional square footage has been added to this bid package:

- Amargosa Road, from Bear Valley Road to Seneca Road = 1,096,665 square feet
- Seventh Street, from D Street through the intersection of Green Tree Boulevard = 998,000 square feet

\*\*\*\*\*

Please confirm receipt of this Addendum #5, BM06-064, by either faxing the acknowledgment to the City of Victorville, Purchasing Division at (760) 269-0045, or by attaching the signed acknowledgment to your bid proposal. Failure to acknowledge receipt of this addendum may result in the disqualification of your proposal. The undersigned/acknowledges receipt of ADDENDUM #5:

Name of Bidder MANTLE ADJUSTING CONTRACTORS INC.  
Address 9500 BEVERLY ROAD, PICO RIVERA, CA 90660  
Telephone No. (323) 558-8000 Fax No: (323) 558-8255  
Signature:   
Title PRESIDENT Date 7/14/06

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**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

SUBMITTED BY: John A. M. Blade  
City Engineer

DATE: August 7, 2006

**SUBJECT:** Development Impact Fee Credit Agreements with LB/L Suncal II, Victor Valley, LLC for Tracts 16968 (pending future assignments to Tracts 17130, 17131, 17132, 17133, 17134 & 17135) and Tract 17083.

**RECOMMENDATION:** That City Council approve the Fee Credit Agreements for the Development Impact fees in the amount of \$2,172,063.00 towards Tracts 16968 (pending future assignments to Tracts 17130, 17131, 17132, 17133, 17134 & 17135) and Tract 17083.

**FISCAL IMPACT:** None

Finance Dept. Use Only  
Additional Appropriation  
/ No \_\_\_\_\_  
/ Yes/\$ Amount \_\_\_\_\_  
Finance Director Review  
\$ Approval \_\_\_\_\_

**DISCUSSION:** The Adelanto Elementary School District Community Facilities District No. 1 will fund City Facilities Fees through payment of a portion of the Development Impact Fees. This action shall approve fee credits in an amount equal to, or less than, the fees paid by Adelanto School District CFD No. 1.

**FEE CREDIT AGREEMENT**  
(City Fee Facilities)

THIS AGREEMENT is entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2006 between LB/L SUNCAL WEST CREEK, LLC, a California limited liability company (hereinafter "Developer") and the CITY OF VICTORVILLE, a municipal corporation organized and existing under the laws of the State of California (hereinafter "City").

**RECITALS**

This Agreement is predicated upon the following facts:

1. The property described and depicted in Exhibit "A" hereto (the "Property") which is located in the City of Victorville, County of San Bernardino, State of California, is located within the boundaries of the Adelanto Elementary School District Community Facilities District No. 1 (the "CFD");

2. Developer intends to develop the Property for residential purposes and has obtained or intends to obtain the necessary development approvals to construct approximately Six Hundred Sixty-Nine (669) detached single family residential units on the Property as Phase I, and additional detached single family residential units on the Property as Phases II and II, as such development may be modified from time to time (the "Project");

3. The CFD was formed for the purpose of financing, among other things, the acquisition and/or construction of various public facilities to be owned and operated by City as described in the Facilities Report for Proposed Community Facilities District of the Adelanto Elementary School District, West Creek Specific Plan, City of Victorville, California prepared by Hall & Foreman, Inc. dated April, 2005, Revised April 18, 2005 (the "Facilities Report"), which facilities will benefit the Project in whole or in part, including (i) certain public facilities to be constructed by or on behalf of the Developer and ultimately owned and operated by City (the "Acquisition Facilities") and (ii) certain public facilities to be constructed and owned and operated by City (the "City Fee Facilities") in lieu of the payment of road fees, parks and recreation fees, and all components thereof imposed by the City upon the Project to finance City Fee Facilities as set forth in Exhibit "B" (the "City Fees"). Credits relating to the Acquisition Facilities shall be set forth in a separate agreement.

4. The City Fee Facilities set forth in Exhibit "B" are proposed to be financed with special taxes levied and the proceeds of bonds or several series of bonds secured by special taxes levied within the CFD (the "Bonds").

5. The City agrees to credit Developer for (i) a portion of the City Fees imposed on the Property as specified in Exhibit "C" hereto to the extent of the funding provided by the CFD that is to be utilized to construct City Fee Facilities that would otherwise be funded by such City Fees.

6. Numerous properties will be benefited by the construction of the City Fee Facilities.

7. Construction of the City Fee Facilities and the Project have been previously analyzed under the California Environmental Quality Act, Public Resources Code §§ 21000 *et seq.* ("CEQA"), and the adoption of this Agreement does not constitute a "project" under CEQA pursuant to 14 Cal. Code Regs. § 15378(b)(4).

NOW, THEREFORE, IN CONSIDERATION OF THE MUTUAL PROMISES AND COVENANTS CONTAINED HEREIN, AND OTHER GOOD AND VALUABLE CONSIDERATION, THE RECEIPT OF WHICH IS HEREBY ACKNOWLEDGED BY EACH OF THE PARTIES HERETO, THE PARTIES HERETO AGREE AS FOLLOWS:

1. Recitals. The Recitals set forth above are hereby incorporated into this Agreement by this reference, as though fully set forth herein. This Agreement relates only to the City Fee Facilities outlined in Recital 3 above, and not to any other obligation or condition of approval which Developer may either now, or in the future, be required to satisfy.

2. Term. This Agreement shall expire seven (7) years from the later of the date first indicated above, or the date of execution.

3. Fee Credit.

a. Developer shall earn credits against City Fees based upon the payment to the City of moneys for City Fee Facilities as provided in Sections 4 and 5 of the Joint Community Facilities Agreement (the "JCFA") entered into effective as of the 19<sup>th</sup> day of April, 2005, by and among the School District, the Developer (as successor to LB/L SunCal II Victor Valley, LLC) and the City. The Fee Credits shall be available upon payment to the City of moneys as provided in Sections 4 and 5 of the JCFA. If Developer has advanced any City Fees prior to the time at which credits will be available, the amount advanced shall be returned to Developer upon Developer's request, within the City's normal period for processing payments after payment of Bond proceeds to the City. With respect to lots within Phase I, until such time as applicable payments have been made to the City in accordance with Sections 4 and 5 of the JCFA, and/or completion of Acquisition Facilities as provided in Section 7 of the JCFA, as applicable, the Developer or its successor shall pay City Fees to the City when due and payable.

With respect to lots within Phase I, once payments have been made to the City in accordance with Sections 4 and 5 of the JCFA, it is anticipated that the City shall credit to Developer, an aggregate amount of \$3,657.75 per dwelling unit in the amounts determined as set forth in clauses 7(a) and 7(b). The City shall have the discretion to allocate the credits among the Road Fee, Park Fee, Public Safety Fee or Other Fee, based on the City's expenditure requirements. The Developer shall specify the lots to which such credits shall be applied.

With respect to lots within Phases II and III, until such time as applicable payments have been made to the City in accordance with Sections 4 and 5 of the JCFA, and/or completion of Acquisition Facilities as provided in Section 7 of the JCFA, as applicable, the Developer or its successor shall pay City Fees to the City when due and payable. With respect to lots within Phases II and III, once payments have been made to the City in accordance with Sections 4 and 5 of the JCFA, and/or completion of Acquisition Facilities as provided in Section 7 of the JCFA, it is anticipated that the City shall credit to Developer an amount equal to the aggregate amounts per lot in a manner similar to that described above with respect to Phase I, with appropriate changes to reflect the amount of funds provided by the CFD under the JCFA, with the Developer or its successor paying the balance of the applicable development impact fees not provided either through payments made to the City in accordance with Sections 4 and 5 of the JCFA and/or completion of Acquisition Facilities as provided in Section 7 of the JCFA.

In no case shall the total City Fee Credits and reimbursement of amounts advanced by Developer exceed the amount of Bond proceeds paid to the City from time to time from the fund, account or sub-account of the CFD into which a portion of the Bond proceeds may be deposited in accordance with the applicable documents authorizing the issuance of the Bonds for the purpose of financing City Fee Facilities.

4. Termination. This Agreement may be terminated by either party for breach hereof, provided that the party electing to terminate this Agreement gives written notice of such termination to the other party and a reasonable opportunity to cure such breach consistent with Section 15 below. A termination of this Agreement for an uncured breach under this Section shall become effective on the thirtieth (30th) business day following actual receipt of said notice by the party to whom said notice was sent.

5. No Association Between City and Developer. City and Developer in no way intend for this Agreement to give rise to or create any relationship of partnership, joint venture, or any other form of association of any kind or nature between City and Developer.

6. Notices. All notices given hereunder shall be in writing. Notices shall be presented in person or by certified or registered United States Mail,

return receipt requested, postage prepaid or by overnight delivery by a nationally recognized delivery service to the addresses set forth below. Notice presented by United States Mail shall be deemed effective on the third business day following the deposit of such Notice with the United States Postal Service. This Section shall not prevent the parties hereto from giving notice by personal service or telephonically verified fax transmission, which shall be deemed effective upon actual receipt of such personal service or telephonic verification. Either party may change their address for receipt of written notice by notifying the other party in writing of a new address for delivering notice to such party.

To City: John A. McGlade, City Engineer  
City of Victorville  
14343 Civic Drive  
Victorville, CA 92392

To Developer: Derek S. Hicks, Project Manager  
LB/L SunCal West Creek, LLC,  
c/o SunCal Companies  
1250 Corona Pointe Circle, Suite 210  
Corona, California 92879

7. Conflicts of Interest. Developer, including any entities affiliated with Developer, hereby agrees not to hire or otherwise employ any City employee or their relatives during: (a) the term of this Agreement and (b) the one year period following the completion or termination of this Agreement, unless the prior written consent of City to such employment is obtained, not to be unreasonably withheld.

8. Entire Agreement. This Agreement contains the entire agreement between City and Developer with respect to the subject matter hereof and supersedes all prior understandings, if any, with respect thereto. This Agreement may not be modified, changed, supplemented or terminated, nor may any obligations hereunder be waived, except by written instrument signed by each party or by its agent duly authorized in writing or as otherwise expressly permitted herein. City and Developer do not intend to confer any benefit hereunder on any person, firm, corporation or entity, other than City and Developer and their successors and assigns.

9. Counterparts. This Agreement and any amendment or modification hereto may be executed in counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument.

10. Governing Law and Venue. This Agreement shall be governed by, interpreted under, construed and enforced in accordance with, the laws of the State of California. This Agreement is made and entered into in the County of

San Bernardino, State of California, and any legal actions or proceedings arising from or related to this Agreement shall be brought in the County of San Bernardino, State of California.

11. Captions and Headings. The headings and captions of the various sections and paragraphs of this Agreement have been inserted only for the purpose of convenience and are not a part of this Agreement and shall not be deemed in any manner to modify, explain, expand or restrict any of the provisions of this Agreement.

12. Ambiguities. This Agreement is in all respects intended by each party hereto to be deemed and construed to have been jointly prepared by the parties and the parties hereby expressly agree that any uncertainty or ambiguity existing herein shall not be interpreted against either of them. Except as expressly limited by this paragraph, all of the applicable rules of interpretation of contract shall govern the interpretation of any uncertainty or ambiguity of this Agreement.

13. Default.

a. Failure or delay by any party to this Agreement to perform any material term or provision of this Agreement shall constitute a default under this Agreement; provided however, that if the party who is otherwise claimed to be in default by the other party commences to cure, correct or remedy the alleged default, within five (5) calendar days after receipt of written notice specifying such default, and shall diligently complete such cure, correction or remedy, such party shall not be deemed to be in default hereunder.

b. The party which may claim that a default has occurred shall give written notice of default to the party in default, specifying the alleged default. Delay in giving such notice shall not constitute a waiver of any default nor shall it change the time of default; provided, however, the injured party shall have no right to exercise any remedy for a default hereunder without delivering the written default notice as specified herein.

c. Any failure or delay by a party in asserting any of its rights and remedies as to any default shall not operate as a waiver of any default or of any rights or remedies associated with a default. The exercise by a party of one or more rights or remedies shall not preclude the exercise by it, at the same or different times, of any other rights or remedies for the same default or any other default by the other party.

d. In the event that a default of any party to this Agreement may remain uncured for more than five (5) calendar days following receipt of written notice of default, as provided above, a "breach" shall be deemed to have

occurred. In the event of a breach, the injured party shall be entitled to seek any appropriate remedy or damages by initiating legal proceedings.

14. Cumulative Remedies. In the event of a breach or default of this Agreement, the non-breaching party shall be entitled to all remedies available pursuant to the terms of this Agreement, at law and in equity, including, but not limited to, specific performance of this Agreement, and all such remedies are cumulative in nature and may be asserted by such party in the alternative and the assertion of a remedy by a party shall not be deemed an exclusive election of remedies or waiver of any other rights conferred on that party by the terms of this Agreement.

15. Severability. Every provision of this Agreement is intended to be severable. If any provision of this Agreement or the application of any provision hereof to any party or circumstance is declared to be illegal, invalid or unenforceable for any reason whatsoever by a court of competent jurisdiction, such invalidity shall not affect the other terms and provisions hereof or the application of the provision in question to any other party or circumstance, all of which shall continue in full force and effect.

16. Waivers. No waiver of any breach of any agreement, provision or failure of a condition herein contained shall be deemed a waiver of any preceding or succeeding breach or failure thereof, or of any other agreement, provision or condition contained herein, nor an extension of time for performance of any other obligation or act.

17. Assignment. This Agreement shall not be assignable by either party without the prior written consent of the other party which consent shall not be unreasonably withheld.

18. Review by Attorneys. Each party hereto has had its attorneys review this Agreement and all related documents. Each party hereto has consulted with its attorneys and has negotiated the terms of this Agreement based on such consultation.

19. Representations of Persons Executing Agreement. The persons executing this Agreement warrant that they are duly authorized to execute this Agreement on behalf of and bind the parties each purports to represent.

20. Effectiveness of Agreement. This Agreement shall not be binding upon City, until signed by an authorized representative of Developer, approved by the City Council, approved as to form by the City Attorney and executed by the Mayor of the City of Victorville.

21. Successors, Heirs and Assigns. Except as otherwise expressly provided herein, this Agreement shall be binding upon the successors,

endorsees, assigns, heirs, and personal representatives of each of the parties to this Agreement and, likewise, shall inure to the benefit of the successors, endorsees, assigns, heirs, and personal representatives of each of the parties.

22. Gender. In this Agreement, unless the context clearly requires otherwise, the masculine, feminine and neuter genders and the singular and the plural shall include one another.

23. Attorney's Fees. If an action (including a reference) is commenced to enforce or interpret any provision of this Agreement, or for damages alleged to have resulted from a breach of this Agreement, the prevailing party, as determined by the referee and/or the court, shall be entitled to recover from the other party, reasonable attorneys' fees and expenses incurred in the action as the court may award, including, expert witness fees, photocopying and telephone charges, deposition costs, travel expenses and investigation expenses. In addition, the prevailing party shall be entitled to its reasonable attorneys' fees and expenses incurred in any post-judgment proceeding to collect or enforce a judgment. This provision shall survive the merger of this Agreement into any judgment based on this Agreement.

24. Further Assurances. Each party shall execute and deliver to the other party all such other further instruments and documents that may be reasonably necessary to carrying out this Agreement in order to provide and secure to the other party the full and complete enjoyment of its rights and privileges hereunder. Each party shall further cooperate with the other in connection with any obligation required to be performed under this Agreement.

25. Exhibits. The following Exhibits are incorporated by this reference:

<b>Exhibit</b>	<b>Description</b>
A	Description of Property
B	City Fee Facilities Descriptions
C	Partial Fee Credits Table

IN WITNESS THEREOF, this Agreement has been executed by the parties on the day and year first above written:

CITY OF VICTORVILLE

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CITY MANAGER

ATTEST:

\_\_\_\_\_  
CITY CLERK

APPROVED AS TO FORM AND CONTENT:

\_\_\_\_\_  
CITY ATTORNEY

LB/L-SUNCAL WEST CREEK, LLC,  
a Delaware limited liability company

By: LB/L-SunCal II Victor Valley, LLC,  
a Delaware limited liability company

By: LB/Lakeside Capital Partners, LLC  
a Delaware limited liability company

By: \_\_\_\_\_

Authorized Signatory

By: SCC/West Creek, LLC,  
a Delaware limited liability company

By: \_\_\_\_\_

**Exhibit "A"**  
**Legal Description of Property**

Lots 1-7 of Tract 16968, recorded in Book 310, pages 100-106 Official Records  
County of San Bernardino.

**Exhibit "B"**  
**City Fee Facilities Description**

Those eligible roadways, parks and recreation projects, fire and police safety projects and public buildings described in the Development Impact Fee Update Study prepared by Agajanian & Associates dated April 12, 2003 and City Council Resolution No. 0238 adopted May 7, 2002, as each may be amended or updated from time to time.

## Exhibit "C"

### Phase 1 Partial Fee Credit Table

Upon receipt of funds from the Adelanto Elementary School District Community Facilities District No. 1, fee credits shall be available. \$2,172,063 is expected to be available. The lot and tract numbers to which credits will be available will be determined after receipt of funds by the City. If \$2,172,063 is available, the following lot and tracts are expected to receive credits in the amounts set forth in the following table. If a different amount is received, or if additional amounts are received, the lot and tracts to which such amounts shall be available shall be set forth in an updated Fee Credit Table.

<u>Tract #</u>	<u>Builder</u>	<u>Amount</u>	<u># of Lots</u>	<u>Total</u>
17083 Recorded Book 317, Pages 64 -69, Lots 1-40	Capital Pacific	3,657.75	40	146,310.19
17130 Recorded Book 315, Pages 81-86, Lots 2-9, 27-34, & 50-84	Woodside	3,657.75	51	384,064.26
17131 Recorded Book 316, Pages 17-28 Lots: 1-154	J.D. Pierce	3,657.75	154	563,294.25
17132 Recorded Book 316, Page 29-36 Lots: 1-31, 46, 55-85	Woodside	3,657.75	63	310,909.16
17133 Recorded Book 316, Page 76-88 Lots: 1-154	J.D. Pierce	3,657.75	154	563,294.25
17134 Recorded Book 316, Page 89-94 Lots: 1-68	Ryland	3,657.75	68	248,727.33
17132 Recorded Book 316, Page 29-36 Lots: 1-63	J.D Pierce	3,657.75	63	230,438.56

**TOTAL            593            2,172,063.00**

Approved by:

By: \_\_\_\_\_  
Adair Patterson,  
Director of Finance

By: \_\_\_\_\_  
John A. McGlade,  
City Engineer

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**AGENDA ITEM**

CITY COUNCIL MEETING OF August 15, 2006

SUBMITTED BY: John A. McGlade *[Signature]* DATE: August 7, 2006  
City Engineer

**SUBJECT:** Sewer Fee Credit Agreements with LB/L Suncal II, Victor Valley, LLC for Tracts 16968 (pending future assignments to Tracts 17130, 17131, 17132, 17133, 17134 & 17135) and Tract 17083.

**RECOMMENDATION:** That City Council acting as the Board of Directors for the Victorville Sanitary District approve the Fee Credit Agreements for the Development Impact fees in the amount of \$ 167,250.00 towards Tracts 16968 (pending future assignments to Tracts 17130, 17131, 17132, 17133, 17134 & 17135) and Tract 17083.

**FISCAL IMPACT:** None

Finance Dept. Use Only  
Additional Appropriation  
/ No \_\_\_\_\_  
/ Yes/\$ Amount \_\_\_\_\_  
Finance Director Review  
\$ Approval \_\_\_\_\_

**DISCUSSION:** The Adelanto Elementary School District Community Facilities District No. 1 will fund Sewer Facilities Fees in an amount of \$167,250.00 . This action shall approve fee credits in an amount equal to, or less than, the fees paid by Adelanto School District CFD No. 1.

**FEE CREDIT AGREEMENT**  
(Sanitary District Fee Facilities)

THIS AGREEMENT is entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2006 between LB/L SUNCAL WEST CREEK, LLC, a California limited liability company (hereinafter "Developer") and the VICTORVILLE SANITARY DISTRICT, a special district organized and existing under the laws of the State of California (hereinafter "District").

**RECITALS**

This Agreement is predicated upon the following facts:

1. The property described and depicted in Exhibit "A" hereto (the "Property") which is located in the City of Victorville, County of San Bernardino, State of California, is located within the boundaries of [Improvement Area A of the Adelanto Elementary School District Community Facilities District No. 1 (the "CFD")];

2. Developer intends to develop the Property for residential purposes and has obtained or intends to obtain the necessary development approvals to construct approximately Six Hundred Sixty-Nine (669) detached single family residential units on the Property as Phase I and additional detached single family residential units as Phases II and III, as such development may be modified from time to time (the "Project");

3. The CFD was formed for the purpose of financing, among other things, the acquisition and/or construction of various public facilities to be owned and operated by Sanitary District as described in the Facilities Report for Proposed Community Facilities District of the Adelanto Elementary School District, West Creek Specific Plan, City of Victorville, California prepared by Hall & Foreman, Inc. dated April, 2005, Revised April 18, 2005 (the "Facilities Report"), which facilities will benefit the Project in whole or in part, including certain public facilities to be constructed and owned and operated by District (the "Sanitary District Fee Facilities") in lieu of the payment of sewer fees, sanitary line fees, and other fees and all components thereof imposed by the Sanitary District upon the Project (the "Sanitary District Fees") to finance Sanitary District Fee Facilities as set forth in Exhibit "B".

4. The Sanitary District Fee Facilities set forth in Exhibit "B" are proposed to be financed with special taxes levied and the proceeds of bonds or several series of bonds secured by special taxes levied within the CFD (the "Bonds").

5. The Sanitary District agrees to credit Developer for (i) a portion of the Sanitary District Fees imposed on the Property as specified in Exhibit "C" hereto to the extent of the funding provided by the CFD that is to be utilized to construct Sanitary District Fee Facilities that would otherwise be funded by such Sanitary District Fees.

6. Construction of the Sanitary District Fee Facilities and the Project have been previously analyzed under the California Environmental Quality Act, Public Resources Code §§ 21000 *et seq.* ("CEQA"), and the adoption of this Agreement does not constitute a "project" under CEQA pursuant to 14 Cal. Code Regs. § 15378(b)(4).

NOW, THEREFORE, IN CONSIDERATION OF THE MUTUAL PROMISES AND COVENANTS CONTAINED HEREIN, AND OTHER GOOD AND VALUABLE CONSIDERATION, THE RECEIPT OF WHICH IS HEREBY ACKNOWLEDGED BY EACH OF THE PARTIES HERETO, THE PARTIES HERETO AGREE AS FOLLOWS:

1. Recitals. The Recitals set forth above are hereby incorporated into this Agreement by this reference, as though fully set forth herein. This Agreement relates only to the Sanitary District Fee Facilities outlined in Recital 3 above, and not to any other obligation or condition of approval which Developer may either now, or in the future, be required to satisfy.

2. Term. This Agreement shall expire seven (7) years from the later of the date first indicated above, or the date of execution.

3. Fee Credits. Developer shall earn credits against Sanitary District Fees based upon the payment to the Sanitary District of moneys for Sanitary District Fee Facilities as provided in Sections 4 and 5 of the Joint Community Facilities Agreement (the "JCFA") entered into effective as of the 19th day of April, 2005, by and among the School District, the Developer (as successor to LB/L SunCal II Victor Valley, LLC) and the Sanitary District. The Sanitary District Fee credits shall be available upon payment to the Sanitary District of moneys as provided in Sections 4 and 5 of the JCFA. If Developer has advanced any Sanitary District Fees prior to the time at which credits will be available, the amount advanced shall be returned to Developer upon Developer's request, within the Sanitary District's normal period for processing payments after payment of Bond proceeds to the Sanitary District. Until such time as applicable payments have been made to the Sanitary District in accordance with Sections 4 and 5 of the JCFA, the Developer or its successor shall pay Sanitary District Fees to the Sanitary District when due and payable. With respect to lots in Phase I, once payments have been made to the Sanitary District in accordance with Sections 4 and 5 of the JCFA, it is anticipated that the Sanitary District shall credit to Developer, the amounts as set forth above, which amounts are

estimated to be \$250 per lot as set forth in Exhibit B to the extent of such funding.

With respect to lots within Phases II and III, until such time as applicable payments have been made to the Sanitary District in accordance with Sections 4 and 5 of the JCFA, the Developer or its successor shall pay Sanitary District Fees to the District when due and payable. With respect to lots within Phases II and III, once payments have been made to the Sanitary District in accordance with Sections 4 and 5 of the JCFA, it is anticipated that the Sanitary District shall credit to Developer an amount equal to the aggregate amounts per lot in a manner similar to that described above with respect to Phase I, with appropriate changes to reflect the amount of funds provided by the CFD under the JCFA with the Developer or its successor paying the balance of the applicable development impact fees not provided either through payments made to the Sanitary District in accordance with Sections 4 and 5 of the JCFA.

In no case shall the total Sanitary District Fee credits and reimbursement of amounts advanced by Developer exceed the amount of Bond proceeds paid to the Sanitary District from time to time from the fund, account or sub-account of the CFD into which a portion of the Bond proceeds may be deposited in accordance with the applicable documents authorizing the issuance of the Bonds for the purpose of financing Sanitary District Fee Facilities.

4. Termination. This Agreement may be terminated by either party for breach hereof, provided that the party electing to terminate this Agreement gives written notice of such termination to the other party and a reasonable opportunity to cure such breach consistent with Section 15 below. A termination of this Agreement for an uncured breach under this Section shall become effective on the thirtieth (30th) business day following actual receipt of said notice by the party to whom said notice was sent.

5. No Association Between Sanitary District and Developer. Sanitary District and Developer in no way intend for this Agreement to give rise to or create any relationship of partnership, joint venture, or any other form of association of any kind or nature between Sanitary District and Developer.

6. Notices. All notices given hereunder shall be in writing. Notices shall be presented in person or by certified or registered United States Mail, return receipt requested, postage prepaid or by overnight delivery by a nationally recognized delivery service to the addresses set forth below. Notice presented by United States Mail shall be deemed effective on the third business day following the deposit of such Notice with the United States Postal Service. This Section shall not prevent the parties hereto from giving notice by personal service or telephonically verified fax transmission, which shall be deemed effective upon actual receipt of such personal service or telephonic verification.

Either party may change their address for receipt of written notice by notifying the other party in writing of a new address for delivering notice to such party.

To Sanitary District:           Sanitary District Finance Director  
Victorville Sanitary District  
14343 Civic Drive  
Victorville, CA 92392

To Developer:                   Derek S. Hicks, Project Manager  
LB/L SunCal West Creek, LLC  
c/o SunCal Companies  
1250 Corona Pointe Circle, Suite 210  
Corona, California 92879

7.     Conflicts of Interest. Developer, including any entities affiliated with Developer, hereby agrees not to hire or otherwise employ any Sanitary District employee or their relatives during: (a) the term of this Agreement and (b) the one year period following the completion or termination of this Agreement, unless the prior written consent of Sanitary District to such employment is obtained, not to be unreasonably withheld.

8.     Entire Agreement. This Agreement contains the entire agreement between Sanitary District and Developer with respect to the subject matter hereof and supersedes all prior understandings, if any, with respect thereto. This Agreement may not be modified, changed, supplemented or terminated, nor may any obligations hereunder be waived, except by written instrument signed by each party or by its agent duly authorized in writing or as otherwise expressly permitted herein. Sanitary District and Developer do not intend to confer any benefit hereunder on any person, firm, corporation or entity, other than Sanitary District and Developer and their successors and assigns.

9.     Counterparts. This Agreement and any amendment or modification hereto may be executed in counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument.

10.    Governing Law and Venue. This Agreement shall be governed by, interpreted under, construed and enforced in accordance with, the laws of the State of California. This Agreement is made and entered into in the County of San Bernardino, State of California, and any legal actions or proceedings arising from or related to this Agreement shall be brought in the County of San Bernardino, State of California.

11.    Captions and Headings. The headings and captions of the various sections and paragraphs of this Agreement have been inserted only for the

purpose of convenience and are not a part of this Agreement and shall not be deemed in any manner to modify, explain, expand or restrict any of the provisions of this Agreement.

12. Ambiguities. This Agreement is in all respects intended by each party hereto to be deemed and construed to have been jointly prepared by the parties and the parties hereby expressly agree that any uncertainty or ambiguity existing herein shall not be interpreted against either of them. Except as expressly limited by this paragraph, all of the applicable rules of interpretation of contract shall govern the interpretation of any uncertainty or ambiguity of this Agreement.

13. Default.

a. Failure or delay by any party to this Agreement to perform any material term or provision of this Agreement shall constitute a default under this Agreement; provided however, that if the party who is otherwise claimed to be in default by the other party commences to cure, correct or remedy the alleged default, within five (5) calendar days after receipt of written notice specifying such default, and shall diligently complete such cure, correction or remedy, such party shall not be deemed to be in default hereunder.

b. The party which may claim that a default has occurred shall give written notice of default to the party in default, specifying the alleged default. Delay in giving such notice shall not constitute a waiver of any default nor shall it change the time of default; provided, however, the injured party shall have no right to exercise any remedy for a default hereunder without delivering the written default notice as specified herein.

c. Any failure or delay by a party in asserting any of its rights and remedies as to any default shall not operate as a waiver of any default or of any rights or remedies associated with a default. The exercise by a party of one or more rights or remedies shall not preclude the exercise by it, at the same or different times, of any other rights or remedies for the same default or any other default by the other party.

d. In the event that a default of any party to this Agreement may remain uncured for more than five (5) calendar days following receipt of written notice of default, as provided above, a "breach" shall be deemed to have occurred. In the event of a breach, the injured party shall be entitled to seek any appropriate remedy or damages by initiating legal proceedings.

14. Cumulative Remedies. In the event of a breach or default of this Agreement, the non-breaching party shall be entitled to all remedies available pursuant to the terms of this Agreement, at law and in equity, including, but not limited to, specific performance of this Agreement, and all such remedies are

cumulative in nature and may be asserted by such party in the alternative and the assertion of a remedy by a party shall not be deemed an exclusive election of remedies or waiver of any other rights conferred on that party by the terms of this Agreement.

15. Severability. Every provision of this Agreement is intended to be severable. If any provision of this Agreement or the application of any provision hereof to any party or circumstance is declared to be illegal, invalid or unenforceable for any reason whatsoever by a court of competent jurisdiction, such invalidity shall not affect the other terms and provisions hereof or the application of the provision in question to any other party or circumstance, all of which shall continue in full force and effect.

16. Waivers. No waiver of any breach of any agreement, provision or failure of a condition herein contained shall be deemed a waiver of any preceding or succeeding breach or failure thereof, or of any other agreement, provision or condition contained herein, nor an extension of time for performance of any other obligation or act.

17. Assignment. This Agreement shall not be assignable by either party without the prior written consent of the other party which consent shall not be unreasonably withheld.

18. Review by Attorneys. Each party hereto has had its attorneys review this Agreement and all related documents. Each party hereto has consulted with its attorneys and has negotiated the terms of this Agreement based on such consultation.

19. Representations of Persons Executing Agreement. The persons executing this Agreement warrant that they are duly authorized to execute this Agreement on behalf of and bind the parties each purports to represent.

20. Effectiveness of Agreement. This Agreement shall not be binding upon Sanitary District, until signed by an authorized representative of Developer, approved by the Board of Directors and executed by the President of the Board of Directors of the Sanitary District.

21. Successors, Heirs and Assigns. Except as otherwise expressly provided herein, this Agreement shall be binding upon the successors, endorsees, assigns, heirs, and personal representatives of each of the parties to this Agreement and, likewise, shall inure to the benefit of the successors, endorsees, assigns, heirs, and personal representatives of each of the parties.

22. Gender. In this Agreement, unless the context clearly requires otherwise, the masculine, feminine and neuter genders and the singular and the plural shall include one another.

23. Attorney's Fees. If an action (including a reference) is commenced to enforce or interpret any provision of this Agreement, or for damages alleged to have resulted from a breach of this Agreement, the prevailing party, as determined by the referee and/or the court, shall be entitled to recover from the other party, reasonable attorneys' fees and expenses incurred in the action as the court may award, including, expert witness fees, photocopying and telephone charges, deposition costs, travel expenses and investigation expenses. In addition, the prevailing party shall be entitled to its reasonable attorneys' fees and expenses incurred in any post-judgment proceeding to collect or enforce a judgment. This provision shall survive the merger of this Agreement into any judgment based on this Agreement.

24. Further Assurances. Each party shall execute and deliver to the other party all such other further instruments and documents that may be reasonably necessary to carrying out this Agreement in order to provide and secure to the other party the full and complete enjoyment of its rights and privileges hereunder. Each party shall further cooperate with the other in connection with any obligation required to be performed under this Agreement.

25. Exhibits. The following Exhibits are incorporated by this reference:

<b>Exhibit</b>	<b>Description</b>
A	Description of Property
B	Sanitary District Fee Facilities Descriptions
C	Fee Credits Table

IN WITNESS THEREOF, this Agreement has been executed by the parties on the day and year first above written:

VICTORVILLE SANITARY DISTRICT

\_\_\_\_\_  
PRESIDENT

ATTEST:

\_\_\_\_\_  
SANITARY DISTRICT CLERK

LB/L-SUNCAL WEST CREEK, LLC,  
a Delaware limited liability company

By: LB/L-SunCal II Victor Valley, LLC,  
a Delaware limited liability company

By: LB/Lakeside Capital Partners, LLC  
a Delaware limited liability company

By: \_\_\_\_\_

Authorized Signatory

By: SCC/West Creek, LLC,  
a Delaware limited liability company

By: \_\_\_\_\_

**Exhibit "A"**  
**Legal Description of Property**

Lots 1-7 of Tract 16968, recorded in Book 310, pages 100-106 Official Records  
County of San Bernardino.

**Exhibit "B"**  
**Sanitary District Fee Facilities Description**

Sanitary District Fee Facilities

Those eligible sanitary facilities otherwise payable from proceeds of the \$250 of Sewer Trunk Fees referenced in the Facilities Report for Proposed Community Facilities District of the Adelanto Elementary School District, West Creek Specific Plan, City of Victorville, California, dated April 2005, revised April 18, 2005, as such Sewer Trunk Fees and related sanitary facilities may be amended or updated from time to time.

## Exhibit "C"

### Phase 1 Fee Credit Table

Upon receipt of funds from the Adelanto Elementary School District Community Facilities District No. 1, fee credits shall be available. \$167,250 is expected to be available. The lot and tract numbers to which credits will be available will be determined after receipt of funds by the Sanitary District. If \$167,250 is available, the following lot and tracts are expected to receive credits in the amounts set forth in the following table. If a different amount is received, or if additional amounts are received, the lot and tracts to which such amounts shall be available shall be set forth in an updated Fee Credit Table.

<u>Tract #</u>	<u>Builder</u>	<u>Amount</u>	<u># of Lots</u>	<u>Total</u>
17083 Recorded Book 317, Pages 64 -69,	Capital Pacific	250.00	40	10,000.00
17130 Recorded Book 315, Pages 81-86,	Woodside	250.00	105	26,250.00
17131 Recorded Book 316, Pages 17-28	J.D. Pierce	250.00	154	38,500.00
17132 Recorded Book 316, Page 29-36	Woodside	250.00	85	21,250.00
17133 Recorded Book 316, Page 76-88	J.D. Pierce	250.00	154	38,500.00
17134 Recorded Book 316, Page 89-94	Ryland	250.00	68	17,000.00
17132 Recorded Book 316, Page 29-36	J.D Pierce	250.00	63	15,750.00
	<b>TOTAL</b>		<b>669</b>	<b>\$167,250.00</b>

Approved by:

By: \_\_\_\_\_  
Adair Patterson,  
Director of Finance

By: \_\_\_\_\_  
John A. McGlade,  
City Engineer

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RESOLUTION NO. 06-131

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF VICTORVILLE  
OBJECTING TO THE SALE OF CERTAIN TAX DEEDED PROPERTY WITHIN  
THE CITY OF VICTORVILLE

THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY RESOLVE AS  
FOLLOWS:

SECTION 1. The Tax Collector of the County of San Bernardino has provided the City Clerk of the City of Victorville a list of parcels which have been approved by the San Bernardino County Board of Supervisors for sale by public auction for delinquent taxes, which includes parcels located within the City of Victorville.

SECTION 2. Section 3695 of the Revenue and Taxation Code provides that the governing body of any taxing agency may object to said sale if there is a public need for part or all of certain parcels and if that public agency will agree to enter into an agreement with the County to purchase said parcels.

SECTION 3. The list provided by the County Tax Collector includes parcels required by the City of Victorville for public purposes as set forth in the attached Exhibit "A".

SECTION 4. The City Council of the City of Victorville does hereby file with the County Tax Collector and the Board of Supervisors its formal objection to the sale of the parcels as the parcels are required for public use.

SECTION 5. The City Council of the City of Victorville does hereby authorize the City Manager to execute, on behalf of the City, an agreement to purchase said parcels for an amount equal to the back taxes and such other incidental administrative County costs as may be involved.

SECTION 6. The City Clerk of the City of Victorville is hereby directed to forward a certain copy of this resolution to the San Bernardino County Board of Supervisors and the Office of the San Bernardino County Tax Collector.

## EXHIBIT A

## CHAPTER 8 TAX SALE PROPERTIES

DEPT.	APN	AMOUNT	FUNDING	PURPOSE
Economic Development	478-214-06	\$63,150	Old Town RDA	-Affordable Housing Development in Old Town Project Area
	478-214-07	7,250	Old Town RDA	
	478-214-08	17,700	Old Town RDA	
	478-232-16	16,450	Old Town RDA	
Engineering	472-101-09	\$ 1,450	Tax Increment-Bond Proceeds	-Southern Industrial Rail
	472-161-17	2,200	DIF	-High Desert Corridor
	3093-091-04	1,400	DIF	-Wash Road
	477-541-04	1,800	Storm Drain-North & Central	-Oro Grande Wash Detention Basin
	477-541-05	1,250	Storm Drain-North & Central	-Oro Grande Wash Detention Basin

**AGREEMENT TO PURCHASE TAX-DEFAULTED PROPERTY**

This agreement is made this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, by and between the Board of Supervisors of San Bernardino County, State of California, and the City of Victorville ("PURCHASER"), pursuant to the provisions of Division 1, Part 6, Chapter 8, of the Revenue and Taxation Code.

The real property situated within said county, hereinafter set forth and described in Exhibit "A", is tax-defaulted and is subject to the power of sale by the tax collector of said county for the nonpayment of taxes, pursuant to provisions of law.

It is mutually agreed as follows:

1. That, as provided by Revenue and Taxation Code §3800, the cost of giving notice of this agreement shall be paid by the PURCHASER, and
2. That the PURCHASER agrees to pay the sum of \$112,650.00 for the real property described in Exhibit "A" within 15 days after the date this agreement becomes effective. Upon payment of said sum to the tax collector, the tax collector shall execute and deliver a deed conveying title to said property to PURCHASER.
3. That the PURCHASER agrees to use the parcel(s) for public purpose under the following intent:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
4. That, if said purchaser is a taxing agency as defined in the Revenue and Taxation Code §121 or any other agency that receives its revenue share under the provision of Division 1, Part 8, Chapter 3 of the Revenue and Taxation Code, it will not share in the distribution of the payment required by the Agreement as defined by §3791 and §3720 of the Revenue and Taxation Code.

If all or any portion of any individual parcel described in this agreement is redeemed prior to the effective date of this agreement, this agreement shall be null and void as to that individual parcel.

The undersigned hereby agree to the terms and conditions of this agreement and are duly authorized to sign for said agencies.

**This document is being executed in counterpart each of which constitutes an original**

ATTEST:

\_\_\_\_\_  
(Purchaser)  
(seal)

By: \_\_\_\_\_

ATTEST:

BOARD OF SUPERVISORS

\_\_\_\_\_  
Clerk of the Board of Supervisors

By \_\_\_\_\_

By \_\_\_\_\_  
Deputy  
(seal)

By \_\_\_\_\_  
Chairman

Pursuant to the provisions of Revenue and Taxation Code §3775, the governing body of the City of \_\_\_\_\_ hereby agrees to the selling price as provided in this agreement.

ATTEST:

CITY OF \_\_\_\_\_

\_\_\_\_\_  
Deputy  
(seal)

By \_\_\_\_\_  
Mayor

Pursuant to the provisions of Revenue and Taxation Code §3795, the Controller approves the foregoing agreement this \_\_\_\_\_ day of \_\_\_\_\_.

**STEVE WESTLY, CALIFORNIA STATE CONTROLLER**

By: \_\_\_\_\_  
Patricia L. Quinn, Chief  
Bureau of Tax Administration

**EXHIBIT A**

City of Victorville

0472-101-09-0000	\$ 1450.00
0472-161-17-0000	\$ 2200.00
0477-541-04-0000	\$ 1800.00
0477-541-05-0000	\$ 1250.00
0478-214-06-0000	\$63,150.00
0478-214-07-0000	\$ 7250.00
0478-214-08-0000	\$17,700.00
0478-232-16-0000	\$16,450.00
3093-091-04-0000	<u>\$ 1400.00</u>

Total: \$112,650.00 – Plus the cost of notice



**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

**SUBMITTED BY:** Mark Taylor, Captain  
Police Department

**DATE:** August 4, 2006

**SUBJECT:** Resolution 06-142 Contract Adjustment for Law Enforcement Services

**RECOMMENDATION:** That the Honorable City Council ratify the submission of the contract adjustment for the San Bernardino County Sheriff's Department to provide law enforcement services to the City of Victorville and authorize the City Manager or his designee to process all documents required for the application.

**FISCAL IMPACT:** \$18,462. The total 2 year grant is for \$596,728.00. The net increase to the contract is after the City accepts the grant funds awarded for the addition of 2 traffic motorcycle officers from the Office Traffic Safety. The impact is for the addition of 2 motorcycles used for the added positions.

Budget Amount: \$18,462

Budget Account No.: 521009-10100-50000-50023-52193

**DISCUSSION:** This OTS grant provides reimbursement of \$410,000 for 2 traffic motorcycle officer positions over two years. The City of Victorville must match 50% of the salaries of each officer during the second year of the grant. There is not a mid-year increase to Victorville's share of the salaries during the first year of the grant after reimbursement. Additional funds of \$186,728 are provided for overtime and grant expenses to administer the grant program. Approximately \$18,462 for the additional of 2 motorcycles will be paid from the existing police budget from the towed vehicle recovery fund.

MT/JM/jm

Attachment – Copy of proposed grant.

–Finance Dept. Use Only–  
Additional Appropriation:

No  
 Yes/\$Amount:

Finance Director Review and  
Approval \_\_\_\_\_

**RESOLUTION NO. 06-142**

**A RESOLUTION OF THE VICTORVILLE CITY COUNCIL, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, SUPPORTING THE CONCEPT AND EFFORTS OF THE VICTORVILLE POLICE DEPARTMENT NEEDED TO CONDUCT A DRIVING UNDER THE INFLUENCE (DUI) TRAFFIC SAFETY PROJECT.**

WHEREAS, DUI drivers are a significant traffic safety problem; and

WHEREAS, the Victorville Police Department has received grant funds from the California Office of Traffic Safety to focus on DUI driving, to add two motorcycle officers and overtime funds for special enforcement programs; and

WHEREAS, the Victorville Police Department has agreed that increasing traffic law enforcement is an important element in improving public safety;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Victorville expresses its strong support for the project and authorizes execution of agreements with participating law enforcement agencies as provided in the Office of Traffic Safety grant agreement.



State of California

**OFFICE OF TRAFFIC SAFETY  
GRANT AGREEMENT**

**PROJECT NUMBER  
AL0728**

PAGE 1 (To be completed by applicant Agency)

**1. PROJECT TITLE**

**SELECTIVE TRAFFIC ENFORCEMENT PROGRAM (STEP)**

**2. NAME OF APPLICANT AGENCY**

**CITY OF VICTORVILLE**

**4. PROJECT PERIOD**

Month - Day - Year

From: **10/01/06**

To: **09/30/08**

**3. AGENCY UNIT TO HANDLE PROJECT**

**VICTORVILLE POLICE DEPARTMENT**

**5. PROJECT DESCRIPTION (Provide an overview of the project activities that will address the problem statement, in approximately 100 words. Space is limited to six lines.)**

The STEP program will use overtime to employ enforcement and innovative strategies to reduce persons killed and injured in traffic collisions. The funded strategies include DUI/Driver's License checkpoints and DUI roving patrols. This program will also develop a "Hot Sheet" program to notify patrol and traffic officers to be on the lookout for identified repeat DUI offenders with suspended or revoked licenses as a result of DUI convictions. Court "stings" operations will focus on DUI offenders with suspended or revoked driver licenses who get behind the wheel after leaving court. Enforcement operations will target red light runners, aggressive speeders, driver's with vehicles equipped with illegal street racing equipment, and unbelted vehicle occupants. Additionally, enforcement operations will be directed to intersections with disproportionate numbers of traffic crashes. The STEP program will seek voluntary compliance with traffic laws by generating publicity throughout the grant period.

**6. FEDERAL FUNDS ALLOCATED UNDER THIS AGREEMENT SHALL NOT EXCEED:**

**\$ 596,728.00**

**8. APPROVAL SIGNATURES**

**A. PROJECT DIRECTOR**

NAME: **John Mattke** PHONE: 760 241-1106  
TITLE: Sergeant FAX: 760 241-2181  
ADDRESS: 14200 Amargosa Road  
Victorville, CA. 92392  
E-MAIL: [jmattke@sbcisd.org](mailto:jmattke@sbcisd.org)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Date)

**B. AUTHORIZING OFFICIAL OF APPLICANT AGENCY**

NAME: **Mark Taylor** PHONE: 760 241-2073  
TITLE: Captain FAX: 760 241-2181  
ADDRESS: 14200 Amargosa Road  
Victorville, CA. 92392  
E-MAIL: [mtaylor@sbcisd.org](mailto:mtaylor@sbcisd.org)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Date)

**C. FISCAL OR ACCOUNTING OFFICIAL**

NAME: **Adele Mosher** PHONE: 760 955-5000  
TITLE: Assistant Finance Director FAX: 760 245-7243  
ADDRESS: 14500 Civic Drive  
Victorville, CA. 92392  
E-MAIL: [amosher@ci.victorville.ca.us](mailto:amosher@ci.victorville.ca.us)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Date)

**D. OFFICE AUTHORIZED TO RECEIVE PAYMENTS**

NAME: **City of Victorville**  
ADDRESS: PO Box 5001  
Victorville, CA. 92392-5001

**GRANTS MADE EASY – STEP - SCHEDULE A**

**PROJECT NO: AL0728**

PROJECT DESCRIPTION												PAGE 1
Collision Type	2002				2003				2004			
	Collisions		Victims		Collisions		Victims		Collisions		Victims	
Fatal	3		3		12		13		10		12	
Injury	137		206		253		417		294		497	
	Fatal	Injury	Killed	Injured	Fatal	Injury	Killed	Injured	Fatal	Injury	Killed	Injured
Alcohol Involved	Unk	Unk	Unk	Unk	4	27	Unk	Unk	Unk	Unk	Unk	Unk
Hit & Run	Unk	Unk	Unk	Unk	Unk	Unk	Unk	Unk	Unk	Unk	Unk	Unk
Nighttime 2100-0259 hours	Unk	Unk	Unk	Unk	Unk	Unk	Unk	Unk	Unk	Unk	Unk	Unk

The Victorville Police Department is committed to reducing the fatal and injury collisions occurring in the City of Victorville. Currently, Victorville ranks 7<sup>th</sup> and 11<sup>th</sup> in the OTS rankings out of 97 cities for HBD driving under the age of 21. Victorville also ranks 28<sup>th</sup> and 36<sup>th</sup> out of 97 in the OTS rankings for HBD drivers in the 21-34 age group.

Impaired driving is a tremendous problem in the City of Victorville and is growing at a rapid rate with the population growth. When compared to surrounding cities in the Victor Valley, the City of Victorville appears to stand alone in this problem. A reason for this can be attributed to the business districts in the surrounding Victor Valley. The surrounding communities drive to Victorville for what they need and make Victorville the draw for most of the valley's population of about 400,000. With Victorville's population estimated at nearly 100,000 now (and growing), more than 300,000 of the surrounding community's residents drive to Victorville to do their shopping, seek entertainment from the business establishments, and to do their drinking and driving. Due to this population swell, Victorville suffers from the consequences of the alcohol consumption by the drivers and ranks 7<sup>th</sup> of the 97 comparable cities.

Victorville administers the county-wide "Avoid the 25" DUI task force and has worked at reducing the impaired driving problem. However, with the tremendous population growth and strain on fiscal resources, impaired driving enforcement is struggling to keep up. The enforcement officers time is continually being redirected to investigate traffic collisions instead of increasing enforcement to prevent collisions. Every year since 2002, Victorville has also participated in the OTS mini-grant programs for sobriety checkpoints and seatbelts. Victorville continues to participate in these programs in the future. Currently the local high schools are having successful "every 15 minute" programs. We have established a "Victim Impact Panel" with the assistance of the local MADD chapter and the support of the local court judges.

With the addition of funding from OTS, overtime can be utilized to supplement existing personnel and increasing the enforcement aspect of impaired driving. The checkpoints will re-enforce the enforcement efforts with media participation to create the perception of risk necessary to prevent impaired driving. The saturation patrols will supplement existing efforts and increase the arrests of impaired drivers. Red-light running enforcement programs and intersection targeting will increasing impaired driver arrests and reduce the number of fatal and injury collisions. Identifying and awareness of repeat DUI offenders and repeat offenders of suspended drivers will also enhance the efforts to reduce impaired driving collisions.

**Please provide detailed answers to the following questions as part of the Problem Statement:**

GRANTS MADE EASY – STEP - SCHEDULE A

PROJECT NO: AL0728

PROJECT DESCRIPTION

PAGE 2

1. *What percent of your crashes involve drivers with suspended or revoked license or drivers who have never been issued a license?*  
This statistic has not been tracked in the past, but it is estimated to be approximately 10%. Most of these drivers flee the scene of the collision, causing a large number of hit and run collisions.
2. *How many sobriety checkpoints did your department conduct in between October 1, 2004 and September 30, 2005?*  
During the above dates, 11 checkpoints were conducted in the City of Victorville. Funding for the checkpoints came from three sources: local funding from tow administration fees, sobriety mini-grant funds, and Avoid the 25 DUI Task Force funds.
3. *What is the average number of DUI arrests and vehicles impounded per checkpoint?*  
The average number of DUI arrests from a checkpoint is four. Generally all DUI drivers have their vehicles impounded, and all vehicles driven by unlicensed/suspended drivers also have their vehicles impounded for 30 days with an average of about 26 vehicles impounded during each checkpoint.
4. *What percent of your DUI arrests are made as a result of a crash?*  
During 2002-2004, approximately 2% of all traffic collisions result in an arrest for DUI.
5. *What percent of your fatal and injury crashes occur at intersections?*  
This statistic is not tracked, however, it appears that most of our collisions are a result of right of way violations at or near an intersection. An estimate of this statistic would be approximately 70%.
6. *Describe the problem caused by red light running in your city.*  
As stated above, a large percentage of our traffic collisions occur due to right of way violations. On two occasions during 2005, a red-light-running citation operation was worked. On both occasions, just five deputies cited nearly 100 drivers for running a red light in less than 8 hours of enforcement. Attached are the newspaper articles related to the operations.
7. *Is illegal street racing a problem in your city? If illegal street racing is a problem in your city, has your department received training through San Diego Police Department's "DragNet" program on how to conduct inspections of vehicles suspected of being equipped with illegal street equipment.*  
Street racing becoming a problem in the city, however, deputies are very aggressive when enforcing street racing laws. Several deputies have attending street racing operations at Ontario PD and received some of their training. A training class is scheduled in March 2006 with Ontario PD and plans are being made to conduct some street racing enforcement operations during the summer of 2006.
8. *What are your primary collision factors?*  
The PCF for the majority of collisions in Victorville are: right of way, unsafe speed, DUI, and stop sign/light violations.
9. *Is aggressive driving a problem?*  
This is a growing problem that appears to be increasing with the rise in the City's population and more congested roadways. The most common aggressive maneuver is running of red lights. Often, three or

GRANTS MADE EASY – STEP - SCHEDULE A

PROJECT NO: AL0728

**PROJECT DESCRIPTION**

PAGE 3

four vehicles will continue through red lights endangering many drivers in an effort to get through the congested streets in the city.

*10. Seat belt citations make up what percent of all hazardous citations issued?*

Seat belt citations account for about 5% of all citations each month. With the manpower shortage existing due to the fast rising population, deputies struggle to keep up with the basic workload and do not have time to seek out seat belt violators.

**PERFORMANCE MEASURES:**

**Goals:** Goals serve as the foundation upon which the project is built. Goals are what you hope to accomplish by implementing a traffic safety grant program.

1. To reduce the number of fatal and injury crashes involving drivers at fault with suspended or revoked licenses or who have never been issued a license.
2. To reduce the number of persons killed in alcohol-involved collisions.
3. To reduce the number of persons injured in alcohol-involved collisions.
4. To reduce hit & run fatal collisions.
5. To reduce hit & run injury collisions.
6. To reduce nighttime (2100 - 0259 hours) fatal collisions.
7. To reduce nighttime (2100 - 0259 hours) injury collisions.
8. To reduce fatal collisions at intersections.
9. To reduce injury collisions at intersections.
10. To reduce fatal collisions involving red light runners.
11. To reduce injury collisions involving red light runners.
12. To reduce fatal collisions involving aggressive drivers.
13. To reduce injury collisions involving aggressive drivers.
14. To increase seat belt use.

**Objectives:** Objectives are the tasks or activities undertaken during the project period to make the goals a reality. Objectives are designed to move you closer to achieving your overall goals. *Objectives are used to measure a grantee's success.*

GRANTS MADE EASY – STEP - SCHEDULE A

PROJECT NO: AL0728

PROJECT DESCRIPTION

PAGE 4

1. To issue a press release announcing the kick-off of the project by January 31, 2007. The press releases and media advisories, alerts, and materials must be forwarded to your OTS Regional Coordinator and the OTS Public Information Officer at [pio@ots.ca.gov](mailto:pio@ots.ca.gov) for approval five days prior to the issuance date of the release.
2. To submit resulting press stories to both the OTS Public Information officer by email at [pio@ots.ca.gov](mailto:pio@ots.ca.gov), and the OTS Regional Coordinator, or fax printed clips to (916) 262-2960. Include publication name and date the article was published on all clips.
3. To use the following standard language in all press, media, and printed materials: ***“Funding for this program was provided by a grant from the California Office of Traffic Safety, through the National Highway Traffic Safety Administration.”***
4. To e-mail the OTS Public Information Officer at [pio@ots.ca.gov](mailto:pio@ots.ca.gov) and OTS Regional Coordinator at least one month in advance, a short description of any new traffic safety event or program.
5. To conduct 6 DUI/DL checkpoints by December 31, 2007 and an additional 6 by September 30, 2008.
6. To conduct 12 saturation DUI patrols by December 31, 2007 and an additional 12 by September 30, 2008.
7. To conduct 12 special enforcement operations targeting red light running enforcement by September 30, 2007 and an additional 12 by September 30, 2008.
8. To conduct 12 special enforcement operations at or near intersections with a disproportionate number of traffic collisions by September 30, 2007 and an additional 12 by September 30, 2008.
9. To conduct 12 special enforcement operations targeting aggressive drivers by September 30, 2007 and an additional 12 by September 30, 2008.
10. To increase total department-wide DUI arrests by 10 % from the calendar 2005 base year total of 344 to 378 by September 30, 2007, and an additional 10 % to 416 by September 30, 2008
11. To increase the Department’s enforcement index 3 percentage points from the 2005 base year rate of 30% to 33% by September 30, 2007 and an additional 3 percentage points to 36% by September 30, 2008.  
  
Note: To calculate the current enforcement index, divide total hazardous citations by total fatal and injury collisions.
12. To increase total department-wide seat belt citations as a percent of total hazardous or moving citations issued by 9 percentage points from the 2005 base year rate of 1% to 10% by September 30, 2007, and an additional 5 percentage points to 15% by September.

GRANTS MADE EASY – STEP - SCHEDULE A

PROJECT NO: AL0728

**PROJECT DESCRIPTION**

PAGE 5

Note: To calculate your current seat belt citations as a percent of total hazardous citations, simply divide seat belt citations by total hazardous or moving citations.

13. To develop a “Hot Sheet” program to notify patrol and traffic officers to be on the lookout for identified repeat DUI offenders with suspended or revoked licenses as a result of DUI convictions by January 1, 2006. Updated Hot Sheets will be distributed to patrol and traffic officers every three to four weeks.
14. To conduct 6 “Court Sting” operations to cite individuals driving from court after having their license suspended or revoked by September 30, 2007 and an additional 6 by September 30, 2008.
15. To conduct 1 Real DUI Trial in a local high school.
16. To increase total department-wide number of vehicles impounded for 30 days by 10 % from the calendar 2005 calendar base year of 120 to 132 by September 30, 2007, and by an additional 10 % to 145 by September 30, 2008.
17. To purchase or develop promotional materials to promote traffic safety awareness and encourage participation in traffic safety presentations and contests. Items must include a traffic safety message, and if space is available the Office of Traffic Safety logo.
18. To conduct seat belt usage surveys during September of each grant year.

Nothing in this “agreement” shall be interpreted as a requirement, formal or informal, that a particular police officer issue a specified or predetermined number of citations in pursuance of the goals and objectives hereunder.

**METHOD OF PROCEDURE:**

**Phase I: Program Preparation and Training (October 1, 2006 – December 31, 2006)**

The police department will develop operational plans to implement the “best practice” strategies outlined in the objectives section. A draft news release will be submitted to OTS to announce the grant program. All training needed to implement the program will be conducted this quarter. Also, all grant related purchases need to implement the program will be made this quarter. During this quarter, the police department will complete the base year information required for the QPR. In order to develop the “Hot Sheets”, research will be conducted to identify the “worst of the worst” repeat DUI offenders with suspended or revoked licenses as a result of DUI convictions. The Hot Sheets may include the driver’s name, last known address, DOB, description, current license status, with the number of times suspended or revoked for DUI. The police department will meet with appropriate court personnel to help develop an operational plan to conduct court stings.

**Phase II: Program Implementation (October 1, 2006)**

Implementation of the STEP program will be accomplished by deploying on an overtime basis personnel at high collision locations. DUI/Driver’s License checkpoint site locations will have a history of significant alcohol

GRANTS MADE EASY – STEP - SCHEDULE A

PROJECT NO: AL0728

**PROJECT DESCRIPTION**

PAGE 6

involved crashes and/or DUI arrests. Hot Sheets will be updated and distributed to traffic and patrol officers every three to four weeks.

Phase III: Community Involvement (Throughout Grant Period)

The police department will work to create media opportunities throughout the grant period to call attention to the innovative program strategies and outcomes.

Phase IV: Data Gathering and Analysis (Throughout Project Period)

The police department will submit a Quarterly Performance Report (QPR) and Schedule C within 30 days following each calendar quarter. The QPR will be a brief report listing results relating to all grant goals and objectives. The final report will consist of a two-page executive summary and Schedule C.

**METHOD OF EVALUATION:**

The Office of Traffic Safety will use the QPR data and Schedule C to determine whether the grant was successful. OTS will also select grants for monitoring reviews to ensure the accuracy of claimed costs. For example, OTS will review claimed costs to ensure they are supported by time sheets, vouchers, invoices, purchases, etc.

**ADMINISTRATIVE SUPPORT:**

This program has full support of the city and every effort will be made to continue the activities after the project conclusion. The City Council has endorsed this project by resolution.

SCHEDULE B-1

PROJECT NO. AL0728

BUDGET NARRATIVE

Page 1

**PERSONNEL COSTS**

Enforcement services conducted under this agreement will be provided through the Cities enforcement contract with San Bernardino County Sheriff Department. Costs are detailed on the attached Contractual Services Budget Attachment

**TRAVEL EXPENSE**

See Sub-Contractor's page

**CONTRACTUAL SERVICES**

Enforcement services conducted under this agreement will be provided through the Cities enforcement contract with San Bernardino County Sheriff Department. Costs are detailed on the attached Contractual Services Budget Attachment.

**EQUIPMENT**

None

**OTHER DIRECT COSTS**

**Promotional Items** - Costs are included to purchase, develop, and distribute promotional items to encourage participation in traffic safety presentations, contests, and programs at media events and schools. These items will promote safe and sober graduations and the real court DUI trial and include advertising in the local school newspapers. Media/educational items will also be developed to include the Spanish speaking community and their local media resources. Items must include a traffic safety message, and if space is available the Office of Traffic Safety logo. Items may include magnets, pens/pencils, key chains, lanyards, cups, shirts, bags, CD covers, water bottles, pins, stickers, license plate frames, note pads, and similar items. *Promotional items may also include other items, if approved by OTS.*

**Educational Items** - Costs are included to purchase or develop and print, and distribute educational materials at public forums, checkpoints, media events and schools on traffic safety. Items must include a traffic safety message, and if space is available the Office of Traffic Safety logo. Items may include brochures, pamphlets, fliers, color books, posters, signs, banners, booklets, and conference materials. *Educational materials may also include other items, if approved by OTS*

**INDIRECT COSTS**

N/A

**PROGRAM INCOME**

No income will be generated by this project.

**PERSONNEL COSTS**

**Enforcement Services**

The personnel costs associated with this grant are all in the form of overtime except for two (2) full time deputy sheriffs and will not generate any benefits.

The focus of this project will be the apprehension of Impaired Drivers, enforcement of licensing violations, impoundment of vehicles for licensing or Impaired Driving violations, and enforcement of other traffic laws.

Overtime allowance will be used to add and involve regular patrol officers to assist in special enforcement projects and checkpoints. Court overtime for officers assigned to the project will be absorbed by each individual agency.

Two (2) full-time deputy sheriffs will be hired and scheduled to exclusively enforce impaired driving laws. The salary and benefits will be 100% paid through the grant the first year and 50% paid through the grant the second year. The position will be a permanent position and will be maintained by the City for at least one year following the conclusion of the grant. The position combined salary and benefits for the position total \$136,995 annually and will be hired through the normal contract the City of Victorville maintains with the San Bernardino County Sheriff's Department. The total 2-year cost of the positions is \$410,985. This position does not include a vehicle or equipment.

Twelve (12) Impaired Driver/CDL checkpoints totaling 8 hours each will include: 1 sergeant (supervisor) @ \$74.00/hour and 10 officers @ \$62.00/hour. Each checkpoint will total \$5,552 in personnel costs and \$66,624 for all 12 checkpoints.

Twenty-four (24) DUI Saturations totaling 8 hours each will include: 1 sergeant (supervisor) @ \$74.00/hour and 4 officers @ \$62.00/hour. Each saturation event will total \$2,576 in personnel costs and \$61824 for all 24.

Six (6) warrant service/habitual-repeat offender programs totaling 8 hours each will include: 1 sergeant (supervisor) @ \$74.00/hour and 4 officers @ \$62.00/hour. Each event will total \$2,576 in personnel costs and \$18,816 for all six.

Six (6) Court sting programs totaling 8 hours each will include: 1 sergeant (supervisor) @ \$74.00/hour, 4 officers @ \$62.00/hour and 2 non-sworn patrol specialists @\$35.00/hour. Each event will total \$3,136 in personnel costs and \$18,816 for all six.

One (1) Real Court Trial in a local high school will include: 1 sergeant (supervisor) @ \$74.00/hour for 8 hours, 2 officers @ \$62.00/hour for 8 hours each. The event will total \$1,584 for the overtime for the sworn officers involved in the event.

The project director will utilize 120 hours throughout the project to manage the grant @ \$74.00/hour totaling \$8,880 for the 24 month grant.

Budgeted Overtime grant activities will be conducted by San Bernardino County Sheriffs Department personnel on an overtime basis. Grant funded operations may be conducted by personnel such as an Officer, Sergeant, Corporal, Deputy, Community Services Officer, Dispatcher etc., depending on the titles used by the agency. Personnel will be deployed as needed to accomplish the grant goals and objectives.

Costs are estimated based on an overtime/hourly rate range of \$23.25/hr to \$83.03/hr (NOTE: do not include benefits in the overtime rate).

Overtime reimbursement (OT hourly rate and benefit) will reflect actual costs of the personnel conducting the appropriate operation up to the maximum range specified.

**Maximum Overtime Benefit Rate**

Unemployment Insurance	0 %
Social Security/FICA	0 %
Workers Compensation Insurance	15.42%
(enter additional overtime benefits)	%
<b>Total Benefit Rate</b>	<b>15.42 %</b>

Overtime benefits are usually between 9% - 12% of the hourly overtime rate.

**Enforcement Full Time Personnel**

The San Bernardino County Sheriff's Department will hire two additional Traffic Officer(s) for the City of Victorville to be responsible for achieving the (STEP, VI, DUI) goals and objectives described in the grant. The funds will be used to pay 100% of the salary for the 2 Traffic Officer(s) the first operational year and 50% salary for the second year. The salary category represents their estimated actual base salary, plus the following established city benefits:

**Motor Deputy**

Salary	58.49%
Retirement Contrib	20.53%
Retirement Match	2.94%
Leave Cashout	1.12%
Workers Comp	9.09%
SS-Medicare	0.86%
Uniform Allowance	0.50%
Survivor's Benefit	0.05%
Retirement Med	
Trust	0.58%
Flexible Benefit	2.88%

Plan	
Medical Plan	
Subsidy	2.54%
Long Term	
Disability	0.32%
Vision	0.10%
<b>Total</b>	<b>100%</b>

To avoid supplanting, the city agrees to increase the traffic unit from its current complement of 6 officers to 8 officers. The traffic Unit will maintain a minimum of 8 officers (6 existing and 2 grant funded) throughout the grant period and will continue for 1 year after the grant ends.

**TRAVEL EXPENSE**

**In-State** - Costs are included for appropriate staff to attend conferences and training events supporting the grants goals and objectives and/or traffic safety. Funds may be used to attend OTS approved training. Anticipated travel and events include local mileage for grant activities and meetings, the PTS Seminar, OTS summit, and the Standardized Field Sobriety Testing (SFST) training. The grant manager will attend the OTS Summit and the OTS PTS Seminar each year. *All conferences, seminars or training not specifically identified in the Schedule B-1, must be approved by OTS. All travel claimed would be at the agency approved rate. Per diem may not be claimed for meals provided at conferences when registration fees paid with OTS grant funds.*

**Out-Of-State** - The grant manager will attend the Life Savers Conference 2007 in support of the grant goals and objectives. All out-of-state travel trips not included in the grant agreement must receive written approval from OTS.

**CONTRACTUAL SERVICES**

N/A

**EQUIPMENT**

N/A

**OTHER DIRECT COSTS**

N/A

**INDIRECT COSTS**

N/A

**PROGRAM INCOME**

N/A

SCHEDULE B  
PAGE 1  
DETAILED BUDGET ESTIMATE

PROJECT NO. AL0728

COST CATEGORY	FISCAL YEAR ESTIMATES			TOTAL COST TO PROJECT
	FY-1 10/01/06 thru 09/30/07	FY-2 10/01/07 thru 09/30/08	FY-3 thru	
<b>A. PERSONNEL COSTS</b>				
<u>Positions and Salaries</u>				
N/A				\$0.00
				0.00
				0.00
				0.00
				0.00
				0.00
				0.00
				0.00
				0.00
				0.00
				0.00
Benefits @ _____%				0.00
<b>Category Sub-Total</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>
<b>B. TRAVEL EXPENSE</b>				
See Sub-contract				\$0.00
				0.00
<b>Category Sub-Total</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>
<b>C. CONTRACTUAL SERVICES</b>				
San Bernardino County Sheriff	\$365,488.65	\$224,622.32	\$0.00	\$590,110.97
				0.00
				0.00
<b>Category Sub-Total</b>	<b>\$365,488.65</b>	<b>\$224,622.32</b>	<b>\$0.00</b>	<b>\$590,110.97</b>



COST CATEGORY	FISCAL YEAR ESTIMATES			TOTAL COST TO PROJECT
	FY-1 10/01/06 thru 09/30/07	FY-2 10/01/07 thru 09/30/08	FY-3 thru	
<b>A. PERSONNEL COSTS</b>				
<u>Positions and Salaries</u>				
(2) Full-time DUI enforcement deputy 2 X 12 Months @ \$6,677 @ 100%	\$160,248.00			\$160,248.00
2 X 12 Months @ \$6,677 @ 50%		\$80,124.00		\$80,124.00
DUI/DL Checkpoints (Overtime)	\$28,175.29	\$25,637.89		\$53,813.18
Court Strings/Court/Probation Office Stings (OT)	\$15,914.57	\$15,914.57		\$31,829.14
Special Enforcement Operations (Overtime)	\$26,145.37	\$25,345.24		\$51,490.61
Real Court DUI Trail in High School (Overtime)	\$0.00	\$1,339.75		\$1,339.75
Grant Management Administrative (Overtime)	\$3,755.35	\$3,755.35		\$7,510.70
				\$0.00
				\$0.00
Full-time benefits @ 41.52%	113,760.65	56,880.32		\$170,640.97
Overtime benefits @ 15.42%	13,489.42	13,125.20		\$26,614.62
				\$0.00
	<b>\$361,488.65</b>	<b>\$222,122.32</b>	<b>\$0.00</b>	<b>\$583,610.97</b>
<b>B. TRAVEL EXPENSE</b>				
In-State	\$2,500.00	\$2,500.00		\$5,000.00
Out-of-State	1,500.00			1,500.00
<b>Category Sub-Total</b>	<b>\$4,000.00</b>	<b>\$2,500.00</b>	<b>\$0.00</b>	<b>\$6,500.00</b>
<b>C. CONTRACTUAL SERVICES</b>				
				\$0.00
				0.00
				0.00
<b>Category Sub-Total</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>



APPLICANT AGENCY <b>Victorville Police Department</b>	OTS GRANT NUMBER <b>AL0728</b>
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The following are included herein and constitute a part of this Agreement:

1. OTS-38 – Page 1	5. Schedule C – Quarterly Evaluation Data (when required)
2. Schedule A – Grant Description	6. OTS-33 – Acceptance of Conditions and Certifications
3. Schedule B – Detailed Budget Estimate	7. General Terms, Conditions, and Certifications (OTS Grant Program Manual (GPM), Chapter 6. GPM available on-line at <a href="http://www.ots.ca.gov">www.ots.ca.gov</a> )
4. Schedule B-1 – Budget Narrative	

**TERMS AND CONDITIONS**

It is understood and agreed by the Project Director and Authorizing Official that any grant received as a result of this Agreement is subject to all federal and state regulations governing grants and to those controls expressed in the California Traffic Grant Program Manual which include, but are not limited to:

**REPORTS**

1. Quarterly Performance Reports and Reimbursement Claims must be submitted by the Project Director to the Office of Traffic Safety by January 31, April 30, July 31, and October 31, during each year of grant operation.
2. OTS will withhold or disallow grant payments, reduce or terminate grant funds, and/or deny future grant funding anytime a grantee fails to comply with any term or condition of the grant agreement or program guidelines (**GPM, Chapter 3.13**). This may include, but is not limited to, the following:
  - Failure to submit acceptable and timely reimbursement claims;
  - Failure to submit acceptable and timely quarterly performance reports;
  - Failure to submit an acceptable and timely Schedule C, Quarterly Evaluation Data (OTS-38g, applies only when a Schedule C has been required.);
  - Failure to comply with requirement of the Single Audit Act; (**GPM, Chapter 4.11**)
  - Failure to submit fully executed and acceptable sub-contracts.
3. By October 31, “continuing” grants must submit a September 30 claim and a written justification to support carrying forward prior year unexpended funds. September 30 claims and written justifications, supporting the carrying forward of prior year unexpended funds, submitted after November 30, will not be processed. The prior claim (i.e., June 30) will be considered the year-end claim in order to close out the federal fiscal year ending September 30. In addition, prior year unexpended funds will be deobligated and allocated to new grants.

## SUB-CONTRACTS

4. Consultants and/or sub-contractors shall be selected in accordance with the grantee agency procurement policies and procedures in order to comply with the terms of this agreement and in accordance with the OTS GPM Chapter 6 Procurement & Contract Administration, and Exhibit 6-A General Terms, Conditions, and Certifications.

A fully executed copy of the sub-contract and completed Contractual Services Checklist & Questionnaire, OTS 85 shall be submitted to OTS for inclusion in the official grant file prior to request for reimbursement.

The grantee, consultant, contractor and/or sub-contractor are subject to all conditions and certifications of the Grant Agreement and 49 CFR Part 18, and/or CFR Part 19 whichever is applicable.

Services shall be provided subsequent to final sub-contract execution and signature by both parties to the sub-contract and the work shall be consistent with the start and end dates identified in the Grant Agreement. The State is not obligated to make any payment under any agreement prior to final execution or outside the terms of the sub-contract period. Contractor/Grantee Agency expenditures incurred prior to final sub-contract execution are taken at the risk of that Contractor/Grantee Agency and will be considered unallowable if that agreement/sub-contract is not executed.

## AVAILABILITY OF FUNDS

5. If, during the term of the grant award, federal funds become reduced or eliminated, OTS may immediately terminate or reduce the grant award upon written notice to the project director.

## REVISIONS

6. Grant Agreement revisions are allowed in accordance with the guidelines detailed in the OTS GPM, Chapter 3.8 and the revision examples provided in Chapter 3.9. All appropriate documentation required to request a grant revision requiring OTS approval (i.e., budget category increases, etc.) must be submitted to OTS.
7. No alteration or variation of the terms of this Agreement shall be valid unless made in writing and signed by the parties hereto, and no oral understanding or agreement not incorporated herein shall be binding on any of the parties hereto.
8. Additional terms and conditions identified in the OTS GPM, **Chapter 6, General Terms, Conditions, and Certifications (Exhibit 6-A)**, are incorporated herein by reference and made a part of this document.

**ENFORCEMENT AGENCIES ONLY:**

9. Full time personnel funded under this grant shall be dedicated in total to traffic law enforcement.

*EXCEPT:*

- In the case of a criminal offense committed in the officer's presence.
- In the case of response to an officer in distress.
- In the case of a riot where all available personnel must be committed.

10. Equipment funded under this grant is subject to the same requirements as No. 9 above.

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We, the officials named below, hereby swear that we are duly authorized legally, to bind the contractor or grant recipient to the above described terms and conditions. Executed on the date and in the county below, and is made under penalty of perjury under the laws of the State of California.

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PROJECT DIRECTOR'S NAME	EXECUTED IN THE COUNTY OF
John Mattke	San Bernardino
PROJECT DIRECTOR'S SIGNATURE	DATE EXECUTED
➤	
TITLE	
Sergeant	
AUTHORIZING OFFICIAL'S NAME	EXECUTED IN THE COUNTY OF
Mark Taylor	San Bernardino
AUTHORIZING OFFICIAL'S SIGNATURE	DATE EXECUTED
➤	
TITLE	
Captain	

Quarterly Evaluation Form - Schedule C

Grant Number: AL0728

Agency: Victorville Police Department

	2005 CALENDAR BASE YEAR					2006 OPERATIONAL YEAR				
	Jan 1 to Mar 31	Apr 1 to Jun 30	Jul 1 to Sep 30	Oct 1 to Dec 31	TOTAL	Jan 1 to Mar 31	Apr 1 to Jun 30	Jul 1 to Sep 30	Oct 1 to Dec 31	YEAR TO DATE
<b>GOAL DATA POINTS</b>										
Total Traffic Fatalities - Victims	1	1	1	10	13					0
Total Traffic Injuries - Victims	64	53	67	48	232					0
Alcohol Involved Fatalities - Victims	0	0	0	0	0					0
Alcohol Involved Injuries - Victims	6	4	6	6	22					0
Hit and Run Fatal Collisions	0	0	0	0	0					0
Hit and Run Injury Collisions	4	8	12	8	32					0
Nighttime (2100 - 0259 HRS) Fatal Collisions	unk	unk	unk	unk	0					0
Nighttime (2100 - 0259 HRS) Injury Collisions	unk	unk	unk	unk	0					0
Intersection Fatal Collisions	0	0	0	1	1					0
Intersection Injury Collisions	5	1	0	3	9					0
Red Light Running Fatal Collisions - CVC 21453(a)	1	0	1	2	4					0
Red Light Running Injury Collisions - CVC 21453(a)	7	3	4	10	24					0
Speed as the PCF in Fatal Collisions	0	0	0	3	3					0
Speed as the PCF in Injury Collisions	8	12	9	9	38					0
Seat Belt Use Rate (from Observational Surveys)	86%	86%	86%	86%						
<b>OBJECTIVE DATA POINTS</b>										
DUI/Driver's License Checkpoints Conducted	0	1	6	2	9					0
Vehicles Through Checkpoints	0	650	3600	1200	5450					0
Drivers Screened at Checkpoints	0	650	3600	1200	5450					0
Field Sobriety Tests Administered at Checkpoints	0	8	48	16	72					0
DUI Arrests from Checkpoints	0	4	24	8	36					0
Vehicles Impounded at Checkpoints (30-day impounds only)	0	26	230	52	308					0
Criminal Arrests at Checkpoints	0	2	12	4	18					0
Court Sting Operations Conducted	0	0	1	0	1					0
Arrests from Court Sting Operations	0	0	1	0	1					0
DUI Roving/Saturation Patrols Conducted	2	1	2	3	8					0
DUI Arrests Resulting from DUI Roving/Saturations Patrols	12	6	12	16	46					0
Criminal Arrests from DUI Roving/Saturation Patrols	2	2	4	6	14					0
Stakeout Operations Conducted	0	0	0	0	0					0
Arrests from Stakeout Operations	0	0	0	0	0					0
Repeat DUI Offender Warrant Service Operations	0	0	0	0	0					0
Warrant Service Attempts	0	0	0	0	0					0
Warrants Served (Citations/Arrests)	0	0	0	0	0					0
Enforcement Operations Conducted Targeting Red Light Running Violations	0	0	2	0	2					0
Red Light Running Citations Issued	0	0	194	0	194					0
Enforcement Operations Conducted Targeting Other PCF Violations at or Near Intersections	0	0	0	0	0					0
Citations Issued (excluding citations for red light running violations)	0	0	0	0	0					0
Inspection Operations Conducted Targeting Vehicles Suspected of Being Equipped With Illegal Street Racing Equipment	0	0	0	0	0					0
Smog Referee Referral Citations Issued CVC 27156 (Gross Polluter)	0	0	0	0	0					0

**Quarterly Evaluation Form - Schedule C**

Grant Number: AL0728

Agency: Victorville Police Department

	2005 CALENDAR BASE YEAR					2006 OPERATIONAL YEAR				
	Jan 1 to Mar 31	Apr 1 to Jun 30	Jul 1 to Sep 30	Oct 1 to Dec 31	TOTAL	Jan 1 to Mar 31	Apr 1 to Jun 30	Jul 1 to Sep 30	Oct 1 to Dec 31	YEAR TO DATE
Speed Contest Citations Issued CVC 23109	0	0	0	0	0					0
Number of Officers Trained to Conduct Vehicle Inspections	0	0	2	2	4					0
Total Departmentwide 30-Day Vehicle Impounds (includes Impounds from Checkpoints, Special Enforcement Operations and Patrols)	110	103	150	149	512					0
Total Departmentwide DUI arrests	70	77	62	135	344					0
Total Departmentwide Seatbelt Citations	41	34	43	48	166					0
Departmentwide Enforcement Index	28	54	22	49	38				#DIV/0!	#DIV/0!
Total Departmentwide Hazardous Citations Issued	1160	1845	931	2350	6286					0
Total Departmentwide Fatal and Injury Collisions	41	34	43	48	166					0
Seat Belt Citations as a Percent of Total Hazardous Citations Issued	1%	1%	1%	1%						
Special Enforcement Operations Conducted	0	0	0	0	0					0
Hazardous Citations Issued	0	0	0	0	0					0
Criminal Arrests	0	0	0	0	0					0
Officers Trained in Standardized Field Sobriety Testing	0	0	0	0	0					0
Officers Trained as Drug Recognition Experts (DRE)	0	0	0	0	0					0
Number of "Real DUI Trials" Conduct at High Schools	0	0	0	0	0					0
Students Impacted	0	0	0	0	0					0



**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

**SUBMITTED BY:** MARK TAYLOR, Captain  
Police Department

**DATE:** August 4, 2006

**SUBJECT:** Resolution 06-143 Authorization to Apply & Accept Office of Traffic Safety Grant

**RECOMMENDATION:** That the Honorable City Council ratify the submission of the application for participation in the Office of Traffic Safety Grant DUI Checkpoint Mini-grant program and authorize the City Manager or his designee to process all documents required for the application and acceptance of the grant.

**FISCAL IMPACT:** None. This grant will provide \$33,240 to reimburse overtime expenses to conduct DUI/CDL checkpoints.

Budget Amount: None

Budget Account No.: None

--Finance Dept. Use Only--  
Additional Appropriation:

No  
 Yes/\$Amount:

Finance Director Review and  
Approval Ap

**DISCUSSION:** This grant, if awarded, will provide \$33,240.00 for reimbursement for overtime to enforce impaired driving laws in the City of Victorville, through DUI Checkpoints. There are not any indirect funds available through the grant.

MT/JM/jm

Attachment – Copy of Application

Written  
#13  
8-15-06

**RESOLUTION NO. 06-143**

**A RESOLUTION OF THE VICTORVILLE CITY COUNCIL, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, SUPPORTING THE CONCEPT AND EFFORTS OF THE VICTORVILLE POLICE DEPARTMENT NEEDED TO CONDUCT A DRIVING UNDER THE INFLUENCE (DUI) TRAFFIC SAFETY PROJECT.**

WHEREAS, DUI drivers are a significant traffic safety problem; and

WHEREAS, the Victorville Police Department may received grant funds from the California Office of Traffic Safety to conduct DUI/CDL checkpoints in the City; and

WHEREAS, the Victorville Police Department has agreed that increasing traffic law enforcement is an important element in improving public safety;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Victorville expresses its strong support for the project and authorizes execution of agreements with participating law enforcement agencies as provided in the Office of Traffic Safety grant agreement.

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**SOBRIETY CHECKPOINT PROGRAM  
FOR LOCAL LAW ENFORCEMENT AGENCIES**

**Mini-Grant Application**

*Submit to:* UC Berkeley Traffic Safety Center  
Sobriety Checkpoint Program  
140 Warren Hall, Mail Stop 7360  
Berkeley, CA 94720-7360

*Questions?* Email [checkpoint@berkeley.edu](mailto:checkpoint@berkeley.edu) or call LaShawn Raybon at 510-642-0566.

**Mini-grant applications must be postmarked no later than August 25, 2006.**

Agency name Victorville Police Department

Address 14200 Amargosa Road

City and County Victorville, San Bernardino County Zip 92392

Telephone no. 760 241-2911 Fax no. 760 241-2181

Contact person Sgt. John Mattke

Email address jmattke@sbcasd.org

**Sobriety Checkpoint Mini-grant Timeline:**

<b>August 25, 2006 (postmarked no later than)</b>	Mini-grant due to UC Berkeley TSC. Must be postmarked no later than August 25, 2006.
<b>August-September 2006</b>	Application review. OTS will make funding selections.
<b>September 2006</b>	UC Berkeley TSC will notify agencies selected for funding and send them a completed mini-grant for review and signatures.
<b>September 2006</b>	Final mini-grants will be mailed to the agencies from UC Berkeley TSC.
<b>October 1, 2006</b>	Mini-grant period begins.
<b>Fall 2006</b>	Mini-grant trainings will be conducted.

**SOBRIETY CHECKPOINT PROGRAM  
FOR LOCAL LAW ENFORCEMENT AGENCIES**

**Personnel Overtime Hours Per Checkpoint**

Mobilization Dates:

December 15, 2006, - January 3, 2007; and

August 15, 2007 - September 3, 2007

Personnel	Average No. of Personnel	Average No. of OT Hours/Checkpoint	Average Hourly \$ OT Rate	Total Average \$ OT	% OASDI	% St. Comp	% Medicare	Total % Benefits	Total Benefits \$
Supervisor	1	9	78.00	702.00					0
Officer	12	8	65.00	6240.00					0
CSO	4	8	35.00	1120.00					0
Clerical	1	8	31.00	248.00					0
Criminalist Other e.g., reserve officer etc.									
<b>Total OT: \$8310.00</b>					<b>Total Benefits: \$0</b>				

**Be sure to check with your fiscal representatives to ensure overtime rates, including benefits are accurate.**

**Will your department conduct combination DUI/DL (30 day impounds) checkpoints? Yes**

**How many DUI arrests do you do average from a single checkpoints operation   5  ?**

**How many 30 day impounds do you average from a single checkpoint operation       ?**

**Number of Sobriety Checkpoints to be conducted   4**

**Average Cost Per Sobriety Checkpoint \$   8310.00**

**Total Amount Requested \$   33240.00**

*I certify that the requesting Agency agrees to provide base year data, Sobriety Checkpoint Operational data and submit timely reimbursement claims.*

Submitted By \_\_\_\_\_ Date   080206  

Print Name   John Mattke   Title   Sergeant

**SOBRIETY CHECKPOINT PROGRAM  
FOR LOCAL LAW ENFORCEMENT AGENCIES**

**Mini-grant Information, Instructions and Application**

The Office of Traffic Safety (OTS), through the National Highway Traffic Safety Administration (NHTSA), funds sobriety checkpoints throughout California. This year, the UC Berkeley Traffic Safety Center (TSC) will administer and coordinate the mini-grants for OTS. All final funding decisions will be made with OTS approval.

**Mini-Grant Information**

**Operations**

The mini-grant period is October 1, 2006, through September 30, 2007. This period cannot be extended.

The mini-grants cover only the cost of overtime for personnel to conduct sobriety checkpoints and are available to city police departments and contract city police departments in cities with a population greater than 20,000.

To maximize the traffic safety benefit of checkpoint operations, OTS recommends mini-grantees conduct combination DUI/Driver's License checkpoints that include 30-day vehicle impounds. However, OTS does not require agencies to combine driver's license checks with the sobriety checkpoint operations.

All checkpoints must be conducted after 1800 hours.

For combination DUI/DL checkpoints, mini-grantees must issue press releases that inform the public that driver's licenses will be checked at the DUI/DL checkpoint. Also, according to the Attorney General's Office, all DUI/DL checkpoint operations must be set up with signs reading, "DUI/Driver's License Checkpoint Ahead."

**Costs**

Mini-grantees will be reimbursed the actual overtime cost for each checkpoint operation up to the OTS-approved estimated cost. Unexpended funds cannot be transferred from one checkpoint operation to another for expenditure.

In order to receive reimbursement for mini-grant costs, mini-grantees must submit the appropriate completed "Sobriety Checkpoint Data Form" to UC Berkeley TSC.

Payroll ledgers and other pertinent accounting records must be submitted to UC Berkeley TSC to reconcile with claimed overtime costs. Claims must be submitted quarterly. In the event no checkpoints were conducted during a particular quarter, no claim should be submitted.

**SOBRIETY CHECKPOINT PROGRAM  
FOR LOCAL LAW ENFORCEMENT AGENCIES**

**Other Requirements and Details**

Mini-grantees agree to draft a press release announcing the grant award and checkpoint operations planned for the mobilization periods.

Mini-grantees agree to submit to UC Berkeley TSC copies of newspaper articles relating to checkpoint operations and results.

There is no final report requirement.

To submit an application, please complete the mini-grant application form (below) and mail it to:

UC Berkeley Traffic Safety Center  
Sobriety Checkpoint Program  
140 Warren Hall, MS 7360  
Berkeley, CA 94720-7360



**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

SUBMITTED BY: Adair M. Patterson *Ap*  
Director of Finance

DATE: August 4, 2006

SUBJECT: Request for Additional Appropriation

RECOMMENDATION: That the Honorable City Council approve additional appropriation for the purchase of two (2) CNG Training Video Modules for the amount of \$19,600.00.

FISCAL IMPACT: \$ 19,600.00

Budget Amount: \$ 19,600.00  
Budget Account No.:

--Finance Dept. Use Only--  
Additional Appropriation:

No  
 Yes/\$Amount:

Finance Director Review and  
Approval \$19,600

DISCUSSION:

The equipment was initially purchased on June 1, 2006 and anticipated to receive the order by June 30<sup>th</sup> 2006. Due to manufacturer's delay in production of this product, delivery has been delayed to September 30<sup>th</sup> 2006. This equipment was not budgeted in the 2007 fiscal year therefore, Public Works Department is requesting for additional appropriation to cover the cost of this purchase.

*AMP*  
AMP/jvm/cc

cc: Rod Sorensen, Acting Director of Public Works Dept.

**Celeste Calderon**

---

**From:** Tony Colver  
**Sent:** Friday, August 04, 2006 2:41 PM  
**To:** Celeste Calderon  
**Subject:** Broadlux CNG Module

**Celeste,**

***Please add an agenda item for additional appropriations to purchase the training module from Broadlux. This was expected to be delivered during FY05/06. Due to manufacturer delays in production of this product, we will need these appropriations to purchase during FY06/07. The expected delivery of this product will be between 9/02/06 and 9/30/06.***

**Tony Colver  
Public Works Supervisor/Fleet Maintenance  
City of Victorville  
14177 Mcart road  
Victorville, Ca. 92392  
Office 760-955-5210  
Fax 760-955-5199**



# Purchase Order

## City of Victorville

CITY HALL  
14343 CIVIC DRIVE  
Victorville CA 92392  
United States

Phone: 760/955-5000  
Fax: 760/245-6646

Purchase Order No. CITY - 0000001580

Date	Revision	Payment Terms	Page
06/01/2006		Net 30	1
Freight Terms	Ship Via		
FOB Destination, Frt Prepaid	UPS REG		
Buyer: Calderon, Celeste	Currency Code: USD		

Vendor: 0000013472  
Broadlux Technology Solutions  
P.O. Box 7303  
Laguna Niguel CA 92607  
United States

Ship To: CITY YARD  
14177 McArt Rd.  
Victorville CA 92392  
United States

**RECEIVED**

**JUN 01 2006**

**FINANCE DEPT.**

Bill To: City of Victorville  
P.O. Box 5001  
Victorville CA 92393-5001  
United States

Line-Schd	Item	Description	Quantity	UOM	PO Price	Extended Amt	Due Date
1 - 1		FF829VT100 CNG Driver Training Video Module	2.00	EA	5,895.00	11,790.00	06/06/2006
					Tax Code:CA	913.73	
					Schedule Total	12,703.73	
	Mfg ID				Item Total	12,703.73	
2 - 1		CA eWaste Fee	2.00	EA	6.00	12.00	06/06/2006
					Schedule Total	12.00	
	Mfg ID				Item Total	12.00	
3 - 1		FF034-5 5 Site Software Upgrade PC to work group server	1.00	EA	1,050.00	1,050.00	06/06/2006
					Tax Code:CA	81.38	
					Schedule Total	1,131.38	
	Mfg ID				Item Total	1,131.38	
4 - 1		Extended support - CS003-5 Annual Support 5 site license	0.75	EA	1,000.00	750.00	06/06/2006
					Schedule Total	750.00	
	Mfg ID				Item Total	750.00	
5 - 1		CS003-5 Annual Software Support 5 site license VFP Heat control	1.00	EA	1,000.00	1,000.00	06/06/2006
					Tax Code:CA	77.50	
					Schedule Total	1,077.50	
	Mfg ID				Item Total	1,077.50	

*Handwritten signatures and initials:*  
Calderson  
1580  
rechecked  
New PO

*Handwritten notes:*  
Cancelled PO  
Reg 1540 Reg-

Transportation charges must be prepaid on all purchases where F.O.B. point is other than Victorville, California. These charges may be added to Vendor's invoice and shown as a separate item. Invoices must be mailed to the City of Victorville Finance Department. Invoices must show on their face the number of this order which appears in the upper right hand corner hereof.

Authorized Signature

*Adair Patterson*

Finance Director-City Treasurer



# Purchase Order

## City of Victorville

CITY HALL  
14343 CIVIC DRIVE  
Victorville CA 92392  
United States

Phone: 760/955-5000  
Fax: 760/245-6646

**Purchase Order No. CITY - 000001580**

Date	Revision	Payment Terms	Page
06/01/2006		Net 30	2
Freight Terms			Ship Via
FOB Destination, Frt Prepaid			UPS REG
Buyer: Calderon, Celeste		Currency Code: USD	

Vendor: 0000013472  
Broadlux Technology Solutions  
P.O. Box 7303  
Laguna Niguel CA 92607  
United States

Ship To: CITY YARD  
14177 McArt Rd.  
Victorville CA 92392  
United States

Bill To: City of Victorville  
P.O. Box 5001  
Victorville CA 92393-5001  
United States

Tax Exempt? N Tax Exempt ID:

Line-Schd	Item	Description	Quantity	UOM	PO Price	Extended Amt	Due Date
6 - 1		FF827HD2 Telephone Helpdesk assistance Gilbarco w/crind (per SCP)	2.00	EA	189.00	378.00	06/06/2006
					Schedule Total	378.00	
	Mfg ID				Item Total	378.00	
7 - 1		FF829HD2 Telephone Helpdesk assistance video training units site control processor for video	2.00	EA	118.00	236.00	06/06/2006
					Schedule Total	236.00	
	Mfg ID				Item Total	236.00	
8 - 1		FF827HD2 Helpdesk assistance Gilbarcow/crind (per SCP) remainder of first year plan	1.50	EA	189.00	283.50	06/06/2006
					Schedule Total	283.50	
	Mfg ID				Item Total	283.50	
9 - 1		FF827M Annual Hardware maintenance (parts only) after warrantly	2.00	EA	880.00	1,760.00	06/06/2006
					Tax Code:CA	136.40	
					Schedule Total	1,896.40	
	Mfg ID				Item Total	1,896.40	
10 - 1		BRPS01 Broadlux Tech Services (hourly) reconfigure host & sites to support video training	1.00	EA	240.97	240.97	06/06/2006
					Schedule Total	240.97	

Transportation charges must be prepaid on all purchases where F.O.B. point is other than Victorville, California. These charges may be added to Vendor's invoice and shown as a separate item. Invoices must be mailed to the City of Victorville Finance Department. Invoices must show on their face the number of this order which appears in the upper right hand corner hereof.

Authorized Signature

*Aldair Patterson*

Finance Director-City Treasurer



# Purchase Order

## City of Victorville

CITY HALL  
14343 CIVIC DRIVE  
Victorville CA 92392  
United States

Phone: 760/955-5000  
Fax: 760/245-6646

**Purchase Order No. CITY - 0000001580**

Date	Revision	Payment Terms	Page
06/01/2006		Net 30	3

Freight Terms	Ship Via
FOB Destination, Frt Prepaid	UPS REG

Buyer: Calderon, Celeste	Currency Code: USD
--------------------------	--------------------

Vendor: 0000013472  
Broadlux Technology Solutions  
P.O. Box 7303  
Laguna Niguel CA 92607  
United States

Ship To: CITY YARD  
14177 McArt Rd.  
Victorville CA 92392  
United States

Bill To: City of Victorville  
P.O. Box 5001  
Victorville CA 92393-5001  
United States

Tax Exempt? N Tax Exempt ID:

Line-Schd	Item	Description	Quantity	UOM	PO Price	Extended Amt	Due Date
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Mfg ID

Item Total 240.97

11 - 1		Project Management FF900-10	2.00	EA	250.00	500.00	06/06/2006
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Tax Code:CA 38.75

Schedule Total 538.75

Mfg ID

Item Total 538.75

12 - 1		Estimated Shipping	1.00	EA	300.00	300.00	06/06/2006
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Schedule Total 300.00

Mfg ID

Item Total 300.00

Total PO Amount 19,548.23

Transportation charges must be prepaid on all purchases where F.O.B. point is other than Victorville, California. These charges may be added to Vendor's invoice and shown as a separate item. Invoices must be mailed to the City of Victorville Finance Department. Invoices must show on their face the number of this order which appears in the upper right hand corner hereof.

Authorized Signature

Finance Director-City Treasurer

# PURCHASE ORDER REQUEST

~~1533~~ PO 1562  
1542

DATE May 25, 2006	REQUESTED BY Tony E. Colver, Public Works Supervisor <i>TEC</i>	VENDOR NO.
----------------------	---	------------

VENDOR NAME Global Diving and Salvage INC. <i>15197</i>	SHIP TO City Yard
MAILING ADDRESS 3840 W. Marginal Way SW	STREET ADDRESS 14177 Mc Art Road
CITY, STATE, ZIP CODE Seattle, WA 98106	CITY, STATE, ZIP CODE Victorville, CA 92392

DATE REQUIRED ASAP	CONFIRMING YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	Budget Check: Requesting Dept. <input type="checkbox"/> Finance Dept. <input type="checkbox"/>
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SPEED CODE OR ACCOUNT	FUND	ORG	PROGRAM	SUBCLASS	AMOUNT OR %	QUANTITY	DESCRIPTION	UNIT PRICE	PRICE
<i>(CNO17) 540300</i>	<i>10100</i>	<i>70650</i>	<i>70651</i>	<i>52220</i>	<i>50</i>	<i>TRC</i>	CNG driver training video modules, host software, support and installation	\$16,878.75	\$16878.75
<i>(MC015) 540300</i>	<i>10100</i>	<i>70650</i>	<i>70652</i>	<i>52220</i>	<i>50</i>	<i>TRC</i>			
				<i>52216</i>					
<i>540400</i>	<i>10100</i>	<i>70650</i>	<i>70652</i>	<i>52220</i>					
								Subtotal	\$16,878.75
								TAX	\$1,200.00
								TOTAL	\$18,078.75

TO BE USED FOR  
Training video console to certify drivers to operate an unattended pay-at-the-pump CNG dispenser with their VISA, MASTERCARD and most other credit cards

IF THIS IS A CONFIRMING PURCHASE REQUEST, PLEASE EXPLAIN

DEPARTMENT HEAD APPROVAL <i>(Signature)</i>	DIRECTOR OF FINANCE APPROVAL
---	------------------------------

## BIDS RECEIVED

PLEASE SHOW THREE BIDS FOR EACH ITEM

SUPPLIER #1 NAME: Global Diving and Salvage \$18,078.75	SUPPLIER #2 NAME: Broadlux, INC. \$19,838.63	SUPPLIER #3 NAME: Multiforce Systems Corporation \$21,777.27
SUPPLIER #4 NAME:	SUPPLIER #5 NAME:	SUPPLIER #6 NAME:

NOTES:

# MEMORANDUM



DATE May 25, 2006  
FROM Tony E. Colver *TEC*  
Public Works Supervisor  
TO Rod Sorensen  
Acting Director of Public Works

RECEIVED  
MAY 25 2006

**PURCHASING**

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SUBJECT **PURCHASE ORDER REQUEST FOR CNG TRAINING MODULE**

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Attached please find documentation for the purchase of the video training modules for our CNG fueling stations. This purchase was approved by the City Council at mid-year budget, FY 05/06. If you have no questions, please forward to the Finance Department for their action.

TEC:dw

Attachments

cc: Michael L. Jenks, Assistant Director of Public Works

BroadLux, Inc.  
 Post Office Box 7303 - Laguna Hills, CA 92653  
 Phone: 949.707.6600 - Fax: 949.707.5600 - Email: mcdell@broadlux.com



**QUOTE**

Date	Quote #
05/31/05	BR5Q1165_5

**Sold To:**  
 City of Victorville  
 Tony Colver  
 Post Office Box 5001  
 14177 Meant Road/92392  
 Phone: 760.955.5215  
 Fax: 760.955.5199

**Ship To:**  
 City of Victorville  
 Mark Tote  
 Post Office Box 5001  
 14177 Meant Road/92392  
 Phone: 760.955.5215  
 Fax: 760.955.5199

**CITY OF VICTORVILLE - FUELFORCE UPGRADES & SUPPORT**

REVISED 03/16 (BR5Q1165\_5) - General revision.

REVISED 5/12/05 (BR5Q1165\_4):

- 1) Updated item prices.
- 2) Added second year support (first year has nearly transpired, unpaid).

REVISED 0/5/05 (BR5Q1165\_3):

- 1) Removed card encoder items.
- 2) Added video training module items.

REVISED 3/10/05 (BR5Q1165\_2): Removed installation and O-box line items. Removed parts replacement policy in consideration of factory policy adjustment (12-mos. std policy on this line item). Adjusted proposal notes (terms) accordingly.

This proposal constitutes an offer to provide supplemental enhancements and/or upgrades for the FuelForce fuel management system for The City of Victorville. The following stipulations apply:

- 1) This quote will serve to offer enhancements to an existing FF827-2L system, which has been provided by BroadLux to date.
- 2) Installation services are omitted from the quote. It is assumed the City will self-perform physical installation of the FF827's. This work generally involves mounting the pedestal assemblies and supplying 115-v power.
- 3) 9-month factory support policy extensions are offered on this proposal. These include software upgrades and telephone support. Acts of God (such as lightning) and vandalism are generally excluded from coverage under the parts replacement policy. Current factory policies provides for one-year of parts replacement coverage. Thus, no 9-month additional policy is needed for parts replacement (FF827M item).
- 4) Host software upgrade (from single-PC version to workgroup administration version) is offered. This will enable multiple users to log into the software (w/ unique ID's and passwords) to monitor usage, configure management rules, and run reports (10MB/sec network bandwidth required for reporting over Ethernet).

Ln #	Qty	Description	Terms Net30	Rep Ray Reddell	P.O. Number	Ship Via Bestway	Unit Price	Ext. Price
1		Host Software - Upgrades/Support						
2	1	FF804-S - Upgrade for 5 Site (PC to work group server)					\$1,050.00	\$1,050.00
3		Extended Factory Support Policies (balance of first year)						

Ln #	Qty	Description	Unit Price	Ext. Price
4	0.75	CS003-S - Annual Software Support - VFP Host Control Software (5 Site - PC License)	\$1,000.00	\$750.00
5	1.5	FF827-K02 - Telephone Help Desk Assistance (per Site Controller unit) - Site Control Processor for Gibraltar Advantage Series Dispenser with Criml Remainder of first year plan	\$189.00	\$283.50
6		Extended Factory Support Policies (second year, 1/1/06-1/28/07)		
7	1	CS003-S - Annual Software Support - VFP Host Control Software (5 Site - PC License)	\$1,000.00	\$1,000.00
8	2	FF827-K02 - Telephone Help Desk Assistance (per Site Controller unit) - Site Control Processor for Gibraltar Advantage Series Dispenser with Criml Remainder of first year plan	\$189.00	\$378.00
9	2	FF829-K02/VT100HD - Telephone Help Desk Assistance (per trainer unit) - Site Control Processor for Video Training Modules Remainder of first year plan	\$118.00	\$236.00
10	2	FF827M - Annual Hardware Maintenance, parts only (after warranty period) - FF827 Controller	\$880.00	\$1,760.00
11		Video Training Modules		
12	2	FF829 - CRT Driver Training Video Module	\$5,805.00	\$11,760.00
13	1	BR-PS01 - BroadLux Technical Services (hourly) <Reconfigure Host and Sites to support video training TTN confirmation>	\$240.97	\$240.97
14	2	FF900-10 - Project Management (remote telephone consultation during install/teardown)	\$250.00	\$500.00
15	2	CA-400001 - California eWaste Fee (4"-15" displays)	\$6.00	\$12.00
			SubTotal	\$18,000.47
			Sales Tax	\$1,267.13
			Shipping	\$300.00
			<b>Total</b>	<b>\$19,567.60</b>

7.75% San Bernardino County sales tax applied.

Site preparation, permitting and construction costs are excluded from the scope of this proposal.

All existing dispensers, product delivery hose systems, back level sensing, and other ancillary equipment has been assumed to be functional and compatible for the purposes of this proposal. Likewise a functional telephone or Ethernet connection will be required to maintain the operation of the FuelForce system (at all locations, host, and site). Accordingly, any upgrading, repairing, or other retrofit work required will be beyond the scope of this proposal.

Any unexpected circumstances or additional work requirements may bring additional costs to this project, which are not estimated for the purposes of this proposal.

Shipping, travel, and other expenses will be billed at cost only. These expenses are estimated within this proposal for planning purposes. Actual costs are expected to accrue below estimated amounts.

PRICES SUBJECT TO CHANGE - PRICES BASED UPON TOTAL PURCHASE - ALL DELIVERY, TRAINING OR CONSULTING SERVICES TO BE BILLED AT PUBLISHED RATES FOR EACH ACTIVITY INVOLVED - GENERALLY ALL HARDWARE COMPUTER COMPONENTS PROPOSED ABOVE ARE COVERED BY A LIMITED NINETY DAY WARRANTY, COVERING PARTS AND LABOR ON A DEFECTIVE BASIS SPECIFICALLY DISCLAIM ANY AND ALL WARRANTIES, EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO ANY IMPLIED WARRANTIES OR WITH REGARD TO ANY LICENSED PRODUCTS. WE SHALL NOT BE LIABLE FOR ANY LOSS OF PROFITS, BUSINESS, GOODWILL, DATA, INTERRUPTION OF BUSINESS, NOR FOR INCIDENTAL OR CONSEQUENTIAL DAMAGES RELATED TO THIS AGREEMENT. THIS QUOTATION WILL REMAIN VALID FOR THIRTY DAYS FROM DATE OF ISSUANCE INDICATED ABOVE. QUOTED PRODUCTS OR PRICING MAY VARY BE REVERSED UNEXPECTED. IF PRICE CONTACT WITH SALES REPRESENTATIVE FOR PRICING.

**BroadLux, Inc.**  
 Post Office Box 7303 - Laguna Niguel, CA 92607 -  
 Phone: 949.707.5600 - Fax: 949.707.5600 - Email: riddell@broadlux.com

13472



**QUOTE**

Date	Quote #
05/12/05	BR5Q1165_4

**Sold To:**  
 City of Victorville  
 Tony Colver  
 Post Office Box 5001  
 14177 Mcart Road/92392  
 Victorville CA 92393-5001  
 Phone: 760.955.5210  
 Fax: 760.955.5199

**Ship To:**  
 City of Victorville  
 Mark Tate  
 Post Office Box 5001  
 14177 Mcart Road/92392  
 Victorville CA 92393-5001  
 Phone: 760.955.5215  
 Fax: 760.955.5199

**CITY OF VICTORVILLE - FUELFORCE UPGRADES & SUPPORT**

REVISED 5/12/6 (BR5Q1165\_4):

- 1) Updated items/prices.
- 2) Added second year support (first year has nearly transpired, unpaid).

REVISED 8/5/5 (BR5Q1165\_3):

- 1) Removed card encoder items.
- 2) Added video training module items.

REVISED 3/10/5 (BR5Q1165\_2): Removed installation and D-box line items. Removed parts replacement policy in consideration of factory policy adjustment (12-mos. std policy on this line item). Adjusted proposal notes (terms) accordingly.

This proposal constitutes an offer to provide supplemental enhancements and/or upgrades for the FuelForce fuel management system for The City of Victorville. The following stipulations apply:

- 1) This quote will serve to offer enhancements to an existing FF827-2L system, which has been provided by BroadLux to-date.
- 2) Installation services are omitted from the quote. It is assumed the City will self-perform physical installation of the FF829's This work generally involves mounting the pedestal assemblies and supplying 115-v power.
- 3) 9-month factory support policy extensions are offered on this proposal. These include software upgrades and telephone support. Acts of God (such as lightning) and vandalism are generally excluded from coverage under the parts replacement policy. Current factory policies provides for one-year of parts replacement coverage. Thus, no 9-month additional policy is quoted for parts replacement (FF827M item).
- 4) Host software upgrade (from single-PC version) to workgroup administration version is offered. This will enable multiple users to log into the software (w/ unique ID's and passwords) to monitor usage, configure management rules, and run reports (10Mb/sec network bandwidth required for reporting over Ethernet).

Terms	Rep	P.O. Number	Ship Via
Net30	Ray Riddell		Bestway

Ln #	Qty	Description	Unit Price	Ext. Price
1		<b>Host Software - Upgrades/Support</b>		
2	1	FF034-5 - Upgrade for 5 Site (PC to work group server)	\$1,050.00	\$1,050.00
3		<b>Extended Factory Support Policies (balance of first year plan, 10/27/5-7/26/6)</b>		

Ln #	Qty	Description	Unit Price	Ext. Price
4	0.75	CS003-5 - Annual Software Support - VFP Host Control Software (5 Site - PC License)	\$1,000.00	\$750.00
5	1.5	FF827HD2 - Telephone Help Desk Assistance (per Site Controller unit) - Site Control Processor for Gilbarco Advantage Series Dispenser with Crind Remainder of first year plan	\$189.00	\$283.50
6		<b>Extended Factory Support Policies (second year, 7/27/06-7/26/07)</b>		
X 7	1	CS003-5 - Annual Software Support - VFP Host Control Software (5 Site - PC License)	\$1,000.00	\$1,000.00
8	2	FF827HD2 - Telephone Help Desk Assistance (per Site Controller unit) - Site Control Processor for Gilbarco Advantage Series Dispenser with Crind Remainder of first year plan	\$189.00	\$378.00
X 9	2	FF829HD2/VT100HD - Telephone Help Desk Assistance (per trainer unit) - Site Control Processor for Video Training Module Remainder of first year plan	\$118.00	\$236.00
X 10	2	FF827M - Annual Hardware Maintenance, parts only (after warranty period) - FF827 Controller	\$880.00	\$1,760.00
11		<b>Video Training Modules</b>		
X 12	2	FF829 - CNG Driver Training Video Module	\$5,895.00	\$11,790.00
13	6	BR-PS01 - BroadLux Technical Services (hourly) <Reconfigure Host and Sites to support video training TIN confirmation>	\$85.00	\$510.00
14	2	FF900-10 - Project Management (remote telephone consulting during installation/startup)	\$250.00	\$500.00
X 15	2	CA-eWast01 - California eWaste Fee (4"-15" displays)	\$6.00	\$12.00
			SubTotal	\$18,269.50
			Sales Tax	\$1,267.13
			Shipping	\$300.00
			<b>Total</b>	<b>\$19,836.63</b>

## **Please note the following:**

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7.75% San Bernardino County sales tax applied.

Site preparation, permitting and construction costs are excluded from the scope of this proposal.

All existing dispensers, product delivery hose systems, tank level sensing, and other ancillary equipment has been assumed to be functional and compatible for the purposes of this proposal. Likewise a functional telephone or Ethernet connection will be required to maintain the operation of the FuelForce system (at all locations, host and site). Accordingly, any upgrading, repairing, or other retrofit work required will be beyond the scope of this proposal.

Any unexpected circumstances or additional work requirements may bring additional costs to this project, which are not estimated for the purposes of this proposal.

Shipping, travel, and other expenses will be billed at cost only. These expenses are estimated within this proposal for planning purposes. Actual costs are expected to accure below estimated amounts.

PRICES SUBJECT TO CHANGE - PRICES BASED UPON TOTAL PURCHASE - ALL DELIVERY, TRAINING OR CONSULTING SERVICES TO BE BILLED AT PUBLISHED RATES FOR EACH ACTIVITY INVOLVED - GENERALLY ALL HARDWARE COMPUTER COMPONENTS PROPOSED ABOVE ARE COVERED BY A LIMITED NINETY DAY WARRANTY, COVERING PARTS AND LABOR ON A DEPOT BASIS - WE SPECIFICALLY DISCLAIM ANY AND ALL WARRANTIES, EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO ANY IMPLIED WARRANTIES OR WITH REGARD TO ANY LICENSED PRODUCTS. WE SHALL NOT BE LIABLE FOR ANY LOSS OF PROFITS, BUSINESS, GOODWILL, DATA, INTERRUPTION OF BUSINESS, NOR FOR INCIDENTAL OR CONSEQUENTIAL MERCHANTABILITY OR FITNESS OF PURPOSE, DAMAGES RELATED TO THIS AGREEMENT. THIS QUOTATION WILL REMAIN VALID FOR THIRTY DAYS FROM DATE OF ISSUANCE (NOTED ABOVE). QUOTED PRODUCTS OR PRICING MAY NOT BE HONORED THEREAFTER. PLEASE CONTACT YOUR SALES PROFESSIONAL FOR SPECIFIC ASSISTANCE.  
ALL PREVAILING APPLICABLE SALES TAX WILL BE ADDED TO ORDER REGARDLESS OF QUOTED AMOUNT.

## FuelForce Fuel Management System Hardware / Software Price Quote

Customer Name:	City of Victorville	Customer Profile	
Address:	P.O. Box 5001 / 14177 Mcart Rd. Victorville, CA 92392	Host	1
Customer Contact:	Mark Tate	Sites	2
Phone:	760-955-5210	SCPs	2
Email:		# Retail Sales SCPs	0
Fax:		Total Hoses	
Sales Representative:	Gary Peters	gate systems	0
Sales Phone:	206-623-0621 / 800-441-3483	TankWatch Hosts	0
Sales Email:	gpeters@gdiving.com	TLS Controllers	0

ITEM	PRODUCT #	DESCRIPTION	QTY	UNIT PRICE	TOTAL
<b>Site Hardware</b>					
	FF829VT100	CNG driver training video module	2 ea	\$5,245.00	\$ 10,490.00 T
	MF	estimated shipping NJ to CA <i>Shipping</i>	1 ls	\$300.00	\$ 300.00
	CA	CA eWaste fee	2 ea	\$6.00	\$ 12.00
<b>Hardware Total</b>					<b>\$ 10,490.00</b>
<b>Host Software</b>					
	FF034-5	5 site software upgrade PC to work group server	1 ea	\$ 1,050.00	\$ 1,050.00 T
<b>Software Total</b>					<b>\$ 1,050.00</b>
<b>Extended Support</b>					
balance of 1st yr	CS003-5	annual software support 5 site license	0.75 yr	\$ 1,000.00	\$ 750.00 T
2nd yr	CS003-5	annual software support 5 site license	1 yr	\$ 1,000.00	\$ 1,000.00 T
balance of 1st yr	FF827HD2	help desk assistance Gilbarco w/crind (per SCP)	1.5 ea	\$ 157.50	\$ 236.25
	FF829HD2	help desk assistance video training units	2 ea	\$ 78.75	\$ 157.50
2nd yr	FF827HD2	help desk assistance Gilbarco w/crind (per SCP)	2 ea	\$ 157.50	\$ 315.00
	FF827M	Annual hardware maintainance (parts only)	2 ea	\$ 790.00	\$ 1,580.00
<b>Support Total</b>					<b>\$ 4,038.75</b>

**Professional Services**

**Installation**

Global	installation/reconfiguration of system/training	1 day	\$ 600.00	\$ 600.00
Global	travel time	2 day	\$ 600.00	\$ 1,200.00
Global	travel expenses (estimate)	1 is	\$ 700.00	\$ <del>700.00</del>
Global	project management	1 day	\$ 600.00	\$ <u>600.00</u>

**Installation Total** \$ 1,300.00

**Complete project**

subtotal \$ 16,878.75  
estimated tax \$ 1,200.00  
**Project Total** \$ 18,078.75

20,190.75

18,990.75  
TAX 1200.00

Tom BATES

FuelForce Fuel Management System			Quote #	206051602	
			Date	May 17, 2006	
Customer Name: <u>City of Victorville</u>					
Address: <u>14177 Mcart Road</u>					
<u>Victorville, CA 92392</u>					
Customer Contact: <u>Mark Tate</u>					
Phone: <u>760 955-5215</u>					
Email: _____					
Fax: <u>760 955-5199</u>					
Multiforce Rep.: <u>Thomas Bates</u>					
Email: <u>tbates@fuelforce.com</u>					
ITEM	PRODUCT #	DESCRIPTION	QTY	UNIT PRICE	TOTAL
<b>Software per site</b>					
1	FF034-5	Upgrade for 5 Site (PC to work group server)	1	\$1,050.00	\$1,050.00
<b>Extended Factory Support Policies (balance of first year plan, 10/27/05-7/26/06)</b>					
2	CS003-5	VFP Host Control Software (5 Site - PC License)	0.75	\$1,000.00	\$750.00
3	HD001	Helpdesk Support for FF827 Cost per Fuel Island Terminal	1.5	\$175.00	\$262.50
<b>Extended Factory Support Policies (second year of plan, 7/27/06-7/26/07)</b>					
4	CS003-5	VFP Host Control Software (5 Site - PC License)	1	\$1,000.00	\$1,000.00
5	HD001FC	Helpdesk Support for FF827 Cost per Fuel Island Terminal	2	\$175.00	\$350.00
6	HD001VT	Helpdesk Support for FF829 Cost per Video Trainer	2	\$105.00	\$210.00
7	FF827M	Annual Hardware Maintenance, Parts only on FF827 controller	2	\$790.00	\$1,580.00
<b>Video Training Consoles</b>					
	FF829	Video Training Console	2	\$4,995.00	\$9,990.00
	FF829 P	Pedestal and Surge Suppressor for FF829	2	\$900.00	\$1,800.00
	PS900-8	Software Setup: Load Customer Database, Pre-configure Host Software and Card Encoder (1 per client)	1	\$940.00	\$940.00
	F900-10	Project Management (remote telephone consulting during startup)	2	\$250.00	\$500.00
		Travel and Expenses			\$1,500.00
		Total			\$19,932.50
		Sales Taxes		7.75%	\$1,544.77
		Shipping and Handling	2	\$150.00	\$300.00
<b>Total</b>					<b>\$21,777.27</b>

This quote is valid through

July 16, 2006



**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

SUBMITTED BY:

Douglas B. Robertson  
Deputy City Manager

Handwritten signature of Douglas B. Robertson in black ink.

DATE: August 8, 2006

SUBJECT: **Professional Services Agreement for DEO Enterprises**

RECOMMENDATION: That the Honorable City Council award a contract to DEO Enterprise's in the amount not to exceed \$250,000.00 for the above referenced agreement.

FISCAL IMPACT: \$250,000.00

Budget Amount: \$250,000.00

Budget Account No.:

540720 25115 70627 70709 54114 = 100%

--Finance Dept. Use Only--  
Additional Appropriation:

No

Yes/\$Amount:

Finance Director Review and  
Approval ap/asm

DISCUSSION: The Municipal Utility Services Department is requesting an approval of a professional services agreement for DEO Enterprises to provide construction management of VMUS projects and varied training for operations and maintenance staff.

# ***DEO ENTERPRISES***

## **CONSULTING AGREEMENT**

This Consulting Agreement (this "Agreement"), dated the \_\_\_\_ day of \_\_\_\_\_, 2006, is between DEO Enterprises, a California Sole Proprietorship, (the "Consultant") and the City of Victorville, California (the "City").

WHEREAS, the Consultant has the experience and is qualified to assist and advise the City with project assessment, project management, technical services and process review in connection with the City of Victorville's Municipal Utility Services (VMUS) electric power generation projects (collectively, the "Projects"), and to provide such services and additional information as may be necessary for the Project or as otherwise directed by the City;

THEREFORE, in consideration of the premises and of the mutual promises and benefits herein contained, the receipt and sufficiency of which are hereby acknowledged, the City and the Consultant agree as follows:

### **1. CONSULTING SERVICES**

The Consultant agrees to exert its best efforts as necessary to perform the following duties for the City under this Agreement (the "Services"):

- A. To provide the City with advice, counsel and services of a technical nature in review of the Project and related activities.
- B. To assist in the City's development and operation of its Projects and to provide such other related services as requested by the City.

### **2. COMPENSATION**

For Services rendered by the Consultant under this Agreement, the City agrees to pay the Consultant as set forth in Exhibit "A" for the term of this Agreement. Payment shall be made in U.S. dollars in person or by mail to the Consultant's address. The City shall review the invoices submitted by the Consultant to determine whether the nature and extent of the services performed are consistent with the Agreement. Payment shall be made as set forth in Exhibit "A" following receipt of an invoice by the City or City shall provide to the Consultant immediate verbal notice, and if unresolved written notice, for the City's objections to the charges including a statement of the reasons for such objections.

### **3. REIMBURSEMENT OF EXPENSES**

The City shall reimburse the Consultant for properly documented expenses such as project related out of area travel and long distance telephone calls, which have been approved by Wayne Campbell or other designated person as the City may designate in writing. Such reimbursement shall be by invoice submitted to the City by the Consultant with all such supporting documents as shall reasonably be required by the City. The Consultant shall comply with the City's policy for reimbursement of travel expenses by its management level employees. The City shall provide a copy of the travel expense reimbursement policy at the Consultant's request. All other living and office expenses, including but not limited to, local travel to the City offices and project site, insurance and medical expenses will be for the exclusive account of the

Consultant. The City shall provide office space and equipment as provided for in Exhibit "A" Compensation.

4. RELATIONSHIP AND LIMITED AUTHORITY;  
NON-LIABILITY OF CITY OFFICERS AND EMPLOYEES

A. Consultant shall perform the Services hereunder as an independent contractor and not as an employee, agent, partner or joint venturer of the City or its affiliates. Consultant acknowledges the following:

1. The City is not required to provide any legal training or legal counsel to the Consultant in order for the Consultant to perform the services described in this Agreement.
2. Performance of the services described in the Agreement does not have to be integrated into the daily business operations of the City.
3. While the City agrees to provide the Consultant with office space, equipment, supplies, and safety equipment, this is solely for the convenience of the parties and does not in any way indicate that the services described in this Agreement must be performed with the use of City equipment, materials, tools, or facilities.
4. Nothing in this Agreement shall be interpreted to imply that the City must maintain any contractual relationship with the Consultant on a continuing basis after the termination of this Agreement.
5. The City will not be requested or demanded to assume any liability for the direct payment of any salary, wage, or other such compensation to any person employed by the Consultant to perform the services of this Agreement.
6. Unless specifically authorized, the Consultant shall not have, nor shall it represent that it or any of its officers, agents, or employees are "employees" of the City, or that any of its officers, agents, or employees have any authority to commit the City or its affiliates by negotiation or otherwise to any contract, agreement or other legal commitment in the name of or binding on the City or its affiliates or to pledge or extend credit in the name of the City or its affiliates.

B. The City represents and acknowledges the following:

1. The Consultant is solely responsible for determining who, under the supervision or direction of the Consultant, will perform the services set forth in this Agreement.
2. The City will not hire, supervise or pay any assistants working for the Consultant pursuant to this Agreement.
3. Nothing in this Agreement shall be interpreted to imply that the Consultant must maintain any contractual relationship with the City on a continuing basis after the termination of this Agreement.
4. The Consultant is not required to devote full time to the business operations of the City in order to perform the services described in the Agreement.

C. No officer or employee of the City shall be personally liable to the Consultant, or any successor in interest, in the event of any default or breach by the City or for any amount which may become due to the Consultant or to its successor, or for any breach of any obligation of the terms of this Agreement.

## 5. EXCLUSIVITY AND CONFLICT OF INTEREST

The Consultant agrees to use its best efforts, skill and abilities so long as its Services are retained hereunder to promote the best interests of the City and its business. As part of the consideration for the compensation to be paid to the Consultant hereunder and as an additional incentive for the City to enter into this Agreement, the City and the Consultant agree to the non-competition provisions of this Section 5. During the term of this Agreement and a period of one year following its termination, the Consultant agrees that, unless prior written approval of the City is obtained, it has not, nor will not directly for itself or for others:

- (a) direct, advise, counsel or otherwise assist any customer or supplier of the City or any affiliate which, in any manner, would have, or is likely to have, an adverse effect upon the City;
- (b) consult, advise, counsel or otherwise assist any government agency on any matter or in a proceeding which, in any manner, would have, or is likely to have, an adverse effect upon the City;
- (c) consult, advise, counsel or otherwise assist any non-project third party relating to the Project;

The Consultant understands that the foregoing restrictions may limit its ability to engage in a business similar to the City's business during the period provided for above, but the Consultant acknowledges that it will receive sufficiently high remuneration and other benefits from the City hereunder to justify such restriction.

## 6. CONTRACTS FOR BENEFIT OF CITY AND AFFILIATES

Any contract entered into by the City or its affiliates related to the Project or for any other purpose as a result of the Consultant's efforts, shall be for the sole benefit of the City or its affiliates and the Consultant shall have no interest therein.

## 7. CONFIDENTIALITY

Except as expressly permitted by written agreement between the parties, the Consultant shall receive and maintain in confidence and not use except as necessary for the purposes of the City, any financial, technical, operating, procedural or market information, or any other information received directly or indirectly from the City or its affiliates, so long as and to the extent that such information shall remain confidential in nature. The parties understand and agree that some specific information relating to the Project obtained during the period that the Consultant's Services are retained hereunder shall be confidential in nature and under no circumstance may any such information be disclosed by the Consultant. The City shall be responsible to advise the Consultant of specific information that shall be held confidential.

## 8. BUSINESS CONDUCT

In the conduct of the Services contemplated under this Agreement, the Consultant agrees to comply fully with the letter and spirit of all applicable laws of any jurisdiction in which the Services are performed, and to conduct itself in keeping with the highest ethical standards. In addition, the parties represent, acknowledge and agree as follows:

- A. The Consultant represents that no part of its compensation will be used by the Consultant for any purpose, nor has the Consultant taken, nor will the Consultant take any

action, which would constitute a violation of any law of any jurisdiction in which it performs the Services hereunder or of the United States. For its part, the City represents that it does not desire and will not request or direct any service or action by the Consultant that would or might constitute any such violation.

B. Either the City or the Consultant will be entitled to terminate this Agreement at any time, without further liability or obligation on the party so terminating, if either believes, in good faith, that the other party has (i) engaged in any action which would or might constitute a breach of this Section or (ii) requested any such action from a representative of either party or from any third party. In addition, should the Consultant ever receive, directly or indirectly, from any City or affiliate representative, a request which the Consultant believes will or might constitute a breach of this Section, the Consultant shall immediately notify the designated City representative(s) and the Consultant's general counsel of the request.

C. The Consultant has agreed that full disclosure of the existence and terms of this Agreement, including the compensation provisions, may be made to whomever the City's general counsel determines has a legitimate need to know such terms, including without limitation, the government of any country where the Services are being performed and the U. S. Government.

D. The Consultant shall prepare and submit to the City's VMUS such reports concerning the Consultant's performance of the services required by this Agreement, and upon reasonable request, make said books and records available to the City's VMUS for evaluations of the cost and performance of such services. Books and records pertaining to costs shall be kept in accordance with generally accepted accounting principles. The Consultant understands that all Services and expenditures will be described in detail as agreed to by the City's VMUS and the Consultant; and, upon reasonable request, the Consultant will make available to the City's VMUS all additional invoices, supportive receipts and detailed substantiation for all charges invoiced to the City.

## 9. DISCLOSURE

The Consultant agrees that the City or its affiliates shall have the right to fully disclose this Agreement and the identity of the Consultant's shareholders, directors, officers and/or owners if such disclosure is required by legal authority or necessary to satisfy lenders' information requests.

## 10. INDEMNITY

The Consultant shall defend, protect, indemnify and save the City, VMUS and each of their respective officers, directors, employees, contractors and agents harmless from and against all liability, claims, costs, expenses, demands, suits and causes of action of every kind and character ("Claims") arising in favor of any person, corporation or other entity including the parties hereto and their employees, contractors or agents, in any way incident to or in connection with or arising out of: (i) the Services performed hereunder; (ii) the presence of the Consultant or its employees, contractors or agents on the City's premises or the premises of the Project; or (iii) the act or omission of the Consultant or the Consultant's employees, contractors or agents. It is the intention of the Consultant that such indemnity shall apply whether or not the Claims arise from the joint or concurrent negligence of the City or its affiliate.

## 11. INSURANCE

Prior to commencing Services for the City, the Consultant shall procure and shall maintain while completing the Services, at the Consultant's sole expense, insurance coverage with limits of not less than \$1,000,000 general liability insurance. The Consultant shall procure and maintain such other insurance coverage as the City or its affiliates reasonably require from time to time. Simultaneously with the execution of this Agreement, the Consultant shall furnish to the City evidence that all of the foregoing policies exist or have been obtained in accordance with the terms hereof. The Consultant shall furthermore require its insurance carrier(s) to give the City 30 days' written notice prior to the cancellation of any policies required hereunder. Finally, all policies shall contain provisions whereby underwriters agree to name the City as an additional insured and waive their rights of subrogation against the City, VMUS, and their officers, servants, volunteers and agents and independent contractors.

## 12. ARBITRATION

Any claim or controversy in connection with this Agreement shall be settled by arbitration in accordance with the American Arbitration Association rules, before a panel of three arbitrators, one appointed by each party and one by the two so chosen. If an arbitrator is not appointed within 20 days of request by either party, any California court of competent jurisdiction shall appoint an arbitrator. Judgment may include costs and attorneys fees and may be entered in any court of competent jurisdiction. The arbitration shall be conducted in such place as the City and the Consultant may agree, in the English language and all monetary awards shall be in U.S. dollars. Arbitration shall be the sole method of resolving disputes not settled by mutual agreement. The determination of the arbitrators shall be final and binding on all parties and may be enforced by appropriate judicial order.

## 13. ASSIGNMENT

Neither this Agreement nor any interest of the Consultant herein (including any interest in moneys belonging to or which may accrue to the Consultant) may be assigned, subcontracted, pledged, transferred or hypothecated without the prior written consent of the City or its affiliate. Any attempted assignment in violation hereof shall be null and void. The City may assign this Agreement to any affiliate without the consent of the Consultant. This Agreement shall bind, and shall inure to the benefit of, the parties and their respective permitted successors and assigns.

#### 14. NOTICES

All formal notices or communications required or permitted to be given hereunder shall be (as elected by the party giving such notice) (i) personally delivered with written confirmation of receipt, (ii) transmitted by postage prepaid registered mail with written confirmation of receipt or (iii) transmitted by facsimile with written confirmation of receipt to the parties as follows:

"City"

City of Victorville, California  
P. O. Box 5001  
Victorville, CA 92393-5001  
14343 Civic Drive  
Victorville, CA 92392-2399

Attn: Doug Robertson  
Tel.: (760) 955-5000

"Consultant"

DEO Enterprises  
P. O. Box 2110  
26443 Corona Drive  
Helendale, CA 92342-2110

Attn: David E. Ochenreider  
Tel.: (760) 952-3114 - (760) 954-9523 Cell

Except as otherwise specified herein, all notices and other communications shall be deemed to have been given on the date of the receipt if delivered personally or by mail or on the date of transmission with confirmed answer back or confirmation of receipt if transmitted by facsimile, whichever shall first occur. Any party hereto may change its address for purposes hereof by written notice to the other party in accordance with this Section.

#### 15. TERM AND TERMINATION

A. This Agreement shall remain in effect for one year from the date of this Agreement and shall automatically renew, except upon express written notification of the City.

B. This Agreement may be terminated or suspended without cause by City at any such time provided that City provides the Consultant at least fifteen (15) business days' written notice of such termination or suspension.

C. This Agreement may be terminated or suspended by the City with cause provided that the City provides at least three (3) business days' written notice of such termination or suspension at any time and for any reason, terminate this Agreement with 30 days' written notice to the Consultant.

D. This Agreement may be terminated or suspended without cause by Consultant at any such time provided that Consultant provides the City at least fifteen (15) business days' written notice of such termination or suspension.

E. This Agreement may be terminated or suspended by the Consultant with cause provided that the Consultant provides at least five (5) business days' written notice of such termination or suspension at any time and for any reason, terminate this Agreement with 30 days' written notice to the City.

F. The Consultant shall cease performance hereunder upon receipt of the City's notice of termination or upon City's receipt of the Consultant's notice of termination, and be paid in full for all services rendered to date.

## 16. TAXES

The Consultant shall be responsible to pay all appropriate Federal and State taxes on any and all moneys paid to the Consultant by the City. The City shall have no liability whatsoever with respect to any taxes which may be due on any and all amounts paid to the Consultant.

## 19. CONSEQUENTIAL DAMAGES

Under no circumstances, whether based on contract, warranty, negligence, strict liability or otherwise, shall either party be liable to the other for any special, consequential, indirect, incidental or punitive damages of any kind or character, including but not limited to, loss of profits or revenues, loss of product, loss of use, cost of capital and the like, arising out of or related to any performance under or breach of this Agreement. The parties specifically acknowledge that the pricing provisions of this Agreement reflect such allocation of risk and limitation of liabilities.

## 20. CITY'S DRUG POLICY

The Consultant agrees to advise its employees, subcontractors and agents that it is the policy of the City that:

A. The use, possession and/or distribution of illegal or unauthorized drugs, drug related paraphernalia on the City's or the Projects' premises is prohibited and the use or possession of alcoholic beverages, except where authorized by the City's or its affiliates' management, on the City's, its affiliates' or the Projects' premises is also prohibited;

B. Entry onto or presence on the City's or the Projects' premises by any person, including the Consultant's employees, subcontractors, subcontractor's employees, contract personnel, temporary employees and visitors, constitutes consent to the City to conduct searches, whether announced or unannounced, on the City's or the Projects' premises of the person and his or her personal effects for such prohibited items; and

C. Any person who is found in violation of the policy or who refuses to permit a search may be removed and barred from the City's or the Projects' premises at the sole discretion of the City.

## 21. MISCELLANEOUS

A. This Agreement contains the entire Agreement between the parties with respect to the subject matter hereof and there are no further or other promises, representations, warranties, agreements or understandings, whether written or oral, except as contained herein. This Agreement cannot be modified in any way except in writing signed by the parties.

B. The failure of the City at any time to require performance by the Consultant of any provision hereof shall in no way affect the right of the City hereafter to enforce the same, nor shall any waiver by the City of any breach of any provision hereof be taken or held to be a waiver of any succeeding breach of such provision or as a waiver of this provision itself.

C. It is the desire and intent of the parties that the terms, provisions and covenants contained in this Agreement shall be enforceable to the fullest extent permitted by law. If any such term, provision or covenant or the application thereof to any person or circumstances shall, to any extent, be construed to be invalid or unenforceable in whole or in part, then such term, provision or covenant shall be construed in a manner as to permit its enforceability under the applicable law to the fullest extent permitted by law. In any case, the remaining provisions of this Agreement or the application thereof to any person or circumstances, other than those to which they have been held invalid or unenforceable, shall remain in full force and effect.

D. This Agreement may be executed in any number of counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same Agreement, and may be executed and delivered by facsimile.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the day and year first above written.

City

Consultant

CITY OF VICTORVILLE CALIFORNIA

DEO ENTERPRISES

By: \_\_\_\_\_

By: \_\_\_\_\_

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

EXHIBIT "A"

COMPENSATION

1. The Consultant's rate during the term of this contract shall be \$100.00 per hour for all hours worked. A 20 hour per week minimum billing shall be in effect during the term of this contract.
2. By agreement with City/VMUS, the Consultant shall invoice and be paid on a bi-weekly schedule. The Consultant shall submit invoices for review and approval on the first scheduled City workday (typically a Monday) for the work completed and expenses incurred during the previous billing period. If necessary the City shall provide immediate verbal notification to the Consultant of any objections so this matter may be quickly resolved. Uncontested Consultant invoices shall be paid within 30 days of receipt. Payment shall be considered past due after 30 days. Past due invoices are subject to a 1.5% per month carrying charges.
3. The City shall provide a vehicle, to include insurance, gasoline and maintenance, for the Consultant's exclusive use during the term of this agreement. A mutually agreed upon vehicle allowance of approximate equal value may be substituted in lieu of a City vehicle, insurance, gasoline and maintenance.
4. The City shall reimburse the Consultant for all project related expenses incurred during the term of this agreement.
5. The City shall pay incidental expenses incurred by the Consultant in out of area Project related travel, to include meals, lodging, telephone calls, reasonable tips, etc. At the City's discretion such expenses will be submitted on either the Consultant's or City's travel expense form.
6. Holidays recognized by the Consultant shall be consistent with the Company's holiday policy at that location.
7. The Company agrees to provide adequate office space, equipment, supplies and all safety equipment for the Consultant as necessary.

City

Consultant

CITY OF VICTORVILLE CALIFORNIA

DEO ENTERPRISES

By: \_\_\_\_\_

By: \_\_\_\_\_

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_



**AGENDA ITEM**

CITY COUNCIL MEETING OF: August 15, 2006

**SUBMITTED BY:** Douglas B. Robertson  **DATE:** August 7, 2006  
Deputy City Manager

**SUBJECT:** **Presentation of Plan for Services for the Dissolution of Sanitary,  
Fire Protection, and Recreation and Park Subsidiary Districts**

**RECOMMENDATION:** Direct staff to complete and file the Plan for Services

**FISCAL IMPACT:** none at this time

Budget Amount: \_\_\_\_\_

Budget Account No. \_\_\_\_\_

---Finance Dept. Use Only---

Additional Appropriation:

+---+

+---+ No

+---+

+---+ Yes/\$Amount: \_\_\_\_\_ Finance

Director Review &

Approval \_\_\_\_\_

**DISCUSSION:**

The Victorville Fire Protection District was established as a subsidiary district of the City in 1977. The Victorville Recreation and Park District was established as a subsidiary district of the City in 1978. The Victorville Sanitary District was established as a subsidiary district of the City in 1982. As subsidiary districts, they have been governed by the Victorville City Council sitting as their respective boards. Over time, these districts have become increasingly intertwined with the City from an operational standpoint, although they have remained separate from a financial standpoint.

On April 19, 2005, Council adopted resolution No. 05-70 which initiated the dissolution of the three districts. Staff and consultants from Economic and Planning Systems and Burr Consulting have completed the draft Plan for service as attached. Staff is requesting direction to file the Plan for Service and authorization to make minor, non-substantive changes to the documents as necessary.



**Economic &  
Planning Systems**

*Real Estate Economics*

*Regional Economics*

*Public Finance*

*Land Use Policy*

**LAFCO REVIEW DRAFT REPORT**

**CITY OF VICTORVILLE**

**PLAN FOR SERVICES**

**DISSOLUTION OF SANITARY, FIRE PROTECTION AND  
PARK AND RECREATION SUBSIDIARY DISTRICTS**

Prepared for:

The City of Victorville

Prepared by:

Economic & Planning Systems, Inc.  
In association with Burr Consulting

July 2006

EPS #13106

BERKELEY  
2501 Ninth St., Suite 200  
Berkeley, CA 94710-2515  
[www.epsys.com](http://www.epsys.com)

Phone: 510-841-9190  
Fax: 510-841-9208



SACRAMENTO  
Phone: 916-649-8010  
Fax: 916-649-2070

DENVER  
Phone: 303-623-3557  
Fax: 303-623-9049

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## EXECUTIVE SUMMARY

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This report is a plan for services for the transfer of sanitary, fire protection, and parks and recreation services from the Victorville Sanitary District, the Victorville Fire Protection District, and the Victorville Recreation and Park District to the City of Victorville, upon dissolution of the districts. These three districts are subsidiary districts of the City of Victorville, and are governed by its Council and managed and staffed by City employees. The City has recommended dissolution of these districts to simplify accounting, to streamline service provision, and to make local government more transparent to the City's current and future constituents.

The City provides a full range of services to its residents, while other providers serve adjacent areas. The City of Victorville *Sphere of Influence Update and Municipal Service Review* discusses and analyzes the full range of municipal services not only in the City limits but also in annexable areas within the sphere of influence (SOI). The City of Victorville SOI totals 98.5 square miles, consisting of 74 square miles located within the City limits and the remainder in the unincorporated area. The City has recommended expansion of its northern SOI to include an additional 37,000 acres, of which approximately 20,000 are developable and the rest is open space. Sphere expansion is recommended to promote logical and orderly development, to allow a single multipurpose agency—the City—to establish community service priorities, and to promote cohesive master planning of infrastructure extension not only in the SOI expansion area but also in the City and its existing SOI.

### GROWTH

The City has grown considerably over the last 15 years, with particularly rapid growth in the early 1990s and in the last three years. Development is anticipated to increase the City's population from the current level of approximately 95,000 to a level of 134,000 by 2020, and to a total of as much as 340,000 by buildout within the General Plan area. Annexation and development of the SOI expansion area could increase the City's population by an additional 153,000 by buildout, as shown in **Table 1**.

### VICTORVILLE SANITARY DISTRICT

The Victorville Sanitary District (VSD) provides wastewater collection services—maintenance, repair and cleaning of sewer collection lines and infrastructure planning—to most areas within the city limits. VSD services are extended to newly annexed areas.

The City, as a member of the Victor Valley Wastewater Reclamation Authority (VWRA), is undertaking several measures to expand capacity to serve projected growth through buildout, including current and planned expansions of treatment

capacity at the regional treatment plant, construction of subregional facilities, and relatively frequent monitoring and planning efforts.

Connection fees finance infrastructure extension. Developers are expected to fund the construction of required sewer infrastructure improvements on their properties. Sewer service charges and property taxes finance wastewater operations.

Some City residents have not yet connected to the sewer system, and rely on private septic systems. When such areas wish to connect, they form assessment districts to finance conversion costs, allowing them to repay the costs over time. Similarly, unincorporated areas reliant on septic systems may choose to annex to the City and finance conversion to the public sewer system by approving assessments.

## **FIRE PROTECTION**

The Victorville Fire Protection District (VFPD) provides fire and emergency medical services. The VFPD boundary area includes the entire City, a segment of I-15 northeast of the City, and most of the Coad Road unincorporated island. VFPD serves all areas within its bounds, although it serves a segment of I-15 through a mutual aid agreement with Apple Valley Fire Protection District. San Bernardino County relies on mutual aid service by VFPD for response to unincorporated islands, Oro Grande and other areas within the City's SOI and SOI expansion area.

Victorville offers the highest service levels, as measured by ISO ratings, in the Victor Valley area. Areas annexing to the City will be served directly by the City rather than the County or mutual aid. The City is actively planning four additional fire stations to accommodate projected growth over the next 10 years, and will develop additional fire stations as needed to serve buildout growth in the existing SOI and SOI expansion area. Development impact fees finance the costs of constructing and equipping new stations. Property taxes finance only 40 percent of VFPD operating costs; the City's general fund makes up the difference. Property tax originating outside City boundaries is inconsequential.

Special conditions apply to dissolution of this district. VFPD territory extends east of I-15 beyond the City of Victorville SOI and into the Town of Apple Valley bounds and SOI. Apple Valley Fire Protection District responds to a portion of the affected area through mutual aid. Victorville is open to serving the I-15 segment, but wishes to do so through mutual or automatic aid arrangements to ensure that fire service areas remain logical as the area continues to develop and grow.

## **RECREATION AND PARKS**

The Victorville Recreation and Park District (VRPD) manages parks, open space, community centers, pools, sports centers and other recreational resources within the

City and serves the unincorporated SOI areas of Mountain View Acres and Spring Valley Lake. The Spring Valley Lake community has private facilities, including the Spring Valley Lake Country Club, a 200-acre lake, 164-acre golf course, and parks, although residents do rely on City parks and, especially, recreation programming.

The City currently has 2.1 acres of park land per 1,000 residents. The City's goal is a minimum of three acres per 1,000 residents, and availability of parkland or open space within one mile of every Victorville residence. The City is developing 121 acres of additional park and recreation facilities, including several in the currently underserved western portion of the City. With expected growth, the City may need 629 additional park acres through buildout to serve currently unincorporated areas in the existing SOI and SOI expansion area. The City has identified 620 additional acres for future purchase and development, including joint use agreements with local school districts, about half of which is already in the planning stage. The City will continue to seek out appropriate sites for future parks.

City development impact fees fund acquisition and development of park land within city limits. New development outside the city limits does not contribute park capital funding. Hence, timely annexation is key to such areas benefiting from City park proximity standards. Property taxes and user fees fund 61 percent of park maintenance and recreation service costs; the City's general fund makes up the difference. VRPD property taxpayers outside City boundaries do not contribute as much general fund support of VRPD as City residents. Residents of the northern and western SOI areas do not contribute property taxes until they annex to the City. The City may need to consider offering discounted recreation fees to residents of the existing City and/or VRPD property taxpayers. Dissolution conditions should take into consideration these service financing realities.

## I. INTRODUCTION

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This report includes a plan for services to meet all LAFCO requirements describing services, service level, and service financing for each affected subsidiary district. The LAFCO requirements for service plans include:

- A description of the level and range of each service to be provided to the affected territory.
- An indication of when the service can be feasibly extended to the affected territory.
- An identification of any improvement or upgrading of structures, roads, water or sewer facilities, other infrastructure, or other conditions the affected agency would impose upon the affected territory.
- The estimated cost of extending the service and a description of how the service or required improvements will be financed. A discussion of the sufficiency of revenues for anticipated service extensions and operations is also required.
- An indication of whether the annexing territory is, or will be, proposed for inclusion within an existing or proposed improvement zone/district, redevelopment area, assessment district, or community facilities district.
- If retail water service is to be provided through this change, provide a description of the timely availability of water for projected needs within the area based upon factors identified in Government Code Section 65352.5 (as required by Government Code section 56668(k)).

Upon dissolution of the subsidiary districts, the City of Victorville would be designated as successor agency. All territory in the Victorville Sanitary District and most territory in the Victorville Fire Protection District and the Victorville Recreation and Park District lie within the City's current boundaries. As the successor agency, each district's assets, revenue streams and responsibilities would transfer to the City.<sup>1</sup>

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<sup>1</sup> Government Code §57453.

## II. POPULATION AND BOUNDARY GROWTH

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### POPULATION GROWTH

Anticipated growth will increase the needs for facilities and services within the City's SOI both inside and outside the City. Between 1990 and 2004, the population within City boundaries doubled. For facilities planning purposes, the City expects a 3.0 percent annual growth rate between 2005 and 2020.<sup>2</sup> In the short term, the growth rate is expected to be higher. In the past five years, the City population has grown 7.3 percent annually.<sup>3</sup> This trend is expected to continue in the short term because of economic factors and the relatively large number of planned housing units with adopted tract maps.<sup>4</sup> Over the long term, the growth rate is expected to slow. Within its current boundaries, the population is expected to grow to over 300,000 by buildout.

Outside the City and within the SOIs of the districts, there are developed communities with a present need for public services and facilities and developing communities with a probable need. There are presently nearly 12,000 residents in the unincorporated areas within the City's existing SOI. By buildout, the population in these future annexation areas is projected by the County to grow to 30,000 or more.<sup>5</sup>

The City has recommended expansion of its northern SOI to include an additional 37,000 acres, of which about 20,000 acres are developable and the remainder is open space.<sup>6</sup> Annexation and development of the SOI expansion area could increase the City's population by an additional 153,000 by buildout. The City has recommended zero SOIs for each of the three subsidiary districts.

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<sup>2</sup> Both the *Victorville Development Impact Fee Update Study* (May 5, 2005) and the *VVWRA Sewer Facilities Plan Update* (August 2005) project a 3.0 percent annual growth rate between 2005 and 2020. By comparison, *SCAG's Regional Transportation Plan* (2004) anticipates a 2.1 percent annual growth rate in Victorville over the same period.

<sup>3</sup> According to the California Department of Finance, the City population grew from 66,939 in January 2001 to 95,145 in January 2006, which is equivalent to a 7.3 percent annual population growth rate.

<sup>4</sup> The City Planning Department reported that there were 24,048 planned housing units with approved tract maps as of September 30, 2005. There were 28,300 occupied housing units in the City limits in January 2006, according to the California Department of Finance. A portion of properties with approved tract maps are likely to be developed in the short term, with the portion developed greater if housing demand growth continues to be strong and long-term interest rates remain at current levels.

<sup>5</sup> San Bernardino County. *General Plan Land Use Background Report: Introduction and General Plan Land Use Background Report*, October 31, 2005.

<sup>6</sup> Economic & Planning Systems, Inc., *City Of Victorville Sphere Of Influence Update And Municipal Service Review*. LAFCO Review Draft prepared for the City of Victorville, July 2006.

**Table 1: Population, Housing and Employment within Sphere of Influence**

	Existing	2020 Projection	Buildout
<b>Incorporated Area 1</b>			
Residents	95145	133814	310147.0907
Housing Units	28300	44964.19094	119747.3974
Employees	38108	68611	90415
Land Area (acres)			47462.4
<b>Unincorporated - Existing SOI 2</b>			
Residents	11896.48516	16354.46433	29936.9093
Housing Units	4218.64145	5734.987626	10616
Employees	1529	2050	2312
Land Area (acres)			15564.8
<b>TOTAL-EXISTING SOI 3</b>			
Residents	107041.4852	150168.4643	340084
Housing Units	32518.64145	50699.17857	130363.3974
Employees	39637	70661	92727
Land Area (acres)			63027.2
<b>Unincorporated - SOI Expansion Area 4</b>			
Residents	774	NA	153406.9203
Housing Units	200.1060384	NA	54400
Employees	50	NA	100786.6047
Land Area (acres)			36703
Residential			13600
Commercial/Industrial			6080
Open Space			17023

Sources: City of Victorville, California Dept. of Finance, Census, SCAG, VVWRA, San Bernardino County

(1) Existing population and housing figures for the incorporated area are based on 2006 figures from California Dept. of Finance. Population growth projections through 2020 are based on the City's May 2005 Development Impact Fee Study. Employees are from SCAG's RTP 2004 projections. Buildout population and housing units are from the City's General Plan. Buildout employment is the SCAG projection for 2030.

(2) Existing residents and housing units in unincorporated areas within the existing SOI is from 2000 Census data. Population and housing growth for Spring Valley Lake is based on growth rates from Victor Valley Wastewater Reclamation Authority (VVWRA, 2005). Population and housing growth for other unincorporated areas is based on RTP 2004 SCAG growth projections for the particular census tract. Buildout population is from the County's 2005 General Plan Land Use Background Report. Employment estimates and projections represent SCAG estimates for the unincorporated part of the relevant census tracts.

(3) Existing SOI is the sum of the incorporated area and the unincorporated area in the existing SOI.

(4) Existing population and housing for Oro Grande is based on Victor Valley Wastewater Reclamation Authority Sewerage Facilities Plan Update, 2005. Buildout population estimate is the product of 13,600 residential acres and a projected average density of 4 dwelling units per acre. Employment estimate for Oro Grande was made based on site visit. Buildout employment is the product of 6,080 acres (less a 10% deduction for streets and easements), 40% maximum footprint, 43,560 square feet per buildable acre, and average employment densities in San Bernardino County for low-rise office, regional retail and other retail and service uses (SCAG, 2001, Table II-A).

## **FUTURE BOUNDARY AND SOI GROWTH**

There are several potential annexation areas within the City's existing SOI and other potential annexation areas beyond it. Potential annexation areas within the existing SOI are described below.

- **Mountain View Acres**—The 1,006-acre unincorporated island is surrounded by the City.<sup>7</sup> The 2000 Census counted 2,521 residents in the area, although the area has grown subsequently. There is remaining growth potential on vacant lots. This area is likely to be relatively expensive for the County to service because of its distance from other unincorporated areas. The area lacks public sewer and sidewalk infrastructure.
- **Cobalt Island**—The 308-acre unincorporated island is surrounded by the City. The 2000 Census enumerated 669 residents in the area; subsequent growth is likely lower than in western Victorville as a whole. The area lacks public sewer, paved streets and sidewalk infrastructure.
- **Coad Road Island**—The 96-acre unincorporated island is surrounded by the City. The 2000 Census enumerated 28 residents in the area and found that eight of 21 housing units in the area were unoccupied. The area is likely to be a service challenge for law enforcement and potentially other municipal services. The area lacks public sewer, paved streets and sidewalk infrastructure.
- **Spring Valley Lake**—This 1,461-acre unincorporated area is located in the southeastern SOI area between the City of Victorville and Apple Valley. The southern portion of the area was annexed into the City in 1991 and is the site of Victor Valley College and a small amount of commercial development. The unincorporated area consists of the Spring Valley Lake residential subdivision (with 6,566 residents as of the 2000 Census) as well as the Spring Valley Lake Country Club and other recreation facilities, including a 200-acre lake, 164-acre golf course and private parks.
- **Baldy Mesa**—This area in the City's western SOI area is occupied by low-density residential uses. The area is approximately 4,215 acres, according to Census data. The 2000 Census enumerated 655 residents in the area. The area relies on the Baldy Mesa Water District (BMWD) for water service. In the past, annexation interest has originated adjacent to this area outside the SOI. Currently, there is annexation interest in the area. Additional residents of this area may wish to annex to the City once water services are reorganized.
- **SCLA Vicinity**—This SOI area includes the territory between SCLA and Route 66 southwest of Oro Grande. The City has received annexation inquiries from scattered property owners in this area. In the past, difficulties parceling land

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<sup>7</sup> Mountain View Acres CDP land area and population source is the 2000 Census.

together has proved an impediment to cost-effective extension of infrastructure to the area. This area is expected to attract developer interest in achieving the land parceling needed to extend infrastructure within the next five years for a variety of reasons. Growth and development in adjacent areas has increased value in the area. In order to further the City's policy objective of strengthening the economic base, it is important to the City that future growth and annexations include this and other areas with job creation potential.<sup>8</sup>

- I-15—This SOI area includes territory west of I-15. The area is mostly undeveloped and is primarily planned for open space uses. A landfill and a hardware store are located in the area. The City has received annexation inquiries in the past from the area. In the past, difficulties parceling land together has proved an impediment to cost-effective extension of infrastructure to the area. Annexation of this area is unlikely in the next five years. The area has long-term annexation potential.

In considering annexation policy, the City evaluates service needs, infrastructure extension costs and available financing, and the expected contributions of potential annexation areas toward the economic base and high quality development. Given the rapid pace of recent and anticipated growth in Victorville and adjacent areas, the City faces a dynamic market with strong demand particularly in the northern and western portions of the City. The City anticipates future demand for municipal services in the SCLA vicinity and north along Route 66 will bring additional interest in not only annexation of existing SOI areas but expansion of the SOI to accommodate annexation interest and logical growth further north.

In addition to annexable areas within the City's existing SOI, there are 37,000 acres in the northern area recommended SOI expansion area, of which approximately 20,000 acres are developable and the remainder is open space in the West Mojave Plan conservation area. Annexation and development of the SOI expansion area could increase the City's population by an additional 153,000 by buildout. In the SOI expansion area, present land uses are primarily open space and vacant. In the Oro Grande community, there is a small strip of residential and commercial development, including a cement plant. Planned land uses include open space, residential, and commercial. The present need for municipal services is limited to the Oro Grande community and vicinity, a portion of which receives water, sewer, park and street lighting through CSA 42. The probable need could be significant, particularly in the developable portions of the SOI expansion area where there is potential for significant residential and commercial growth.

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<sup>8</sup> City of Victorville General Plan, Land Use Element, 1997, pages 51-54.

### III. VICTORVILLE SANITARY DISTRICT

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#### OVERVIEW

The Victorville Sanitary District (VSD) provides wastewater collection services. As a subsidiary district of the City of Victorville, VSD is governed by the Victorville City Council, and directly staffed and managed by the City's Public Works Department.

Wastewater services provided by VSD include maintenance, repair and cleaning of sewer collection lines in order to accommodate their designed capacity and to prevent stoppages and backups. As a member of the Victor Valley Wastewater Reclamation Authority (a joint powers authority), Victorville offers wastewater treatment and disposal services.

VSD was originally formed as an independent special district under the Sanitary District Act of 1923, and was reorganized in 1971<sup>9</sup>. It was reorganized again and established as a subsidiary district of the City of Victorville in June 1982.<sup>10</sup>

The District has undergone numerous boundary and SOI changes over the years. The District now covers approximately 71.65 square miles. Most recently, 4,143 acres were annexed to VSD in 1998 and 2002, primarily north of the Southern California Logistics Airport (SCLA), with small sections annexed just south of SCLA and along Palmdale Road. The VSD SOI has been updated over the years, and remains identical to the City's SOI.<sup>11</sup>

VSD is governed by the Victorville City Council. The Council adopted a resolution to initiate dissolution of the district in 2005.

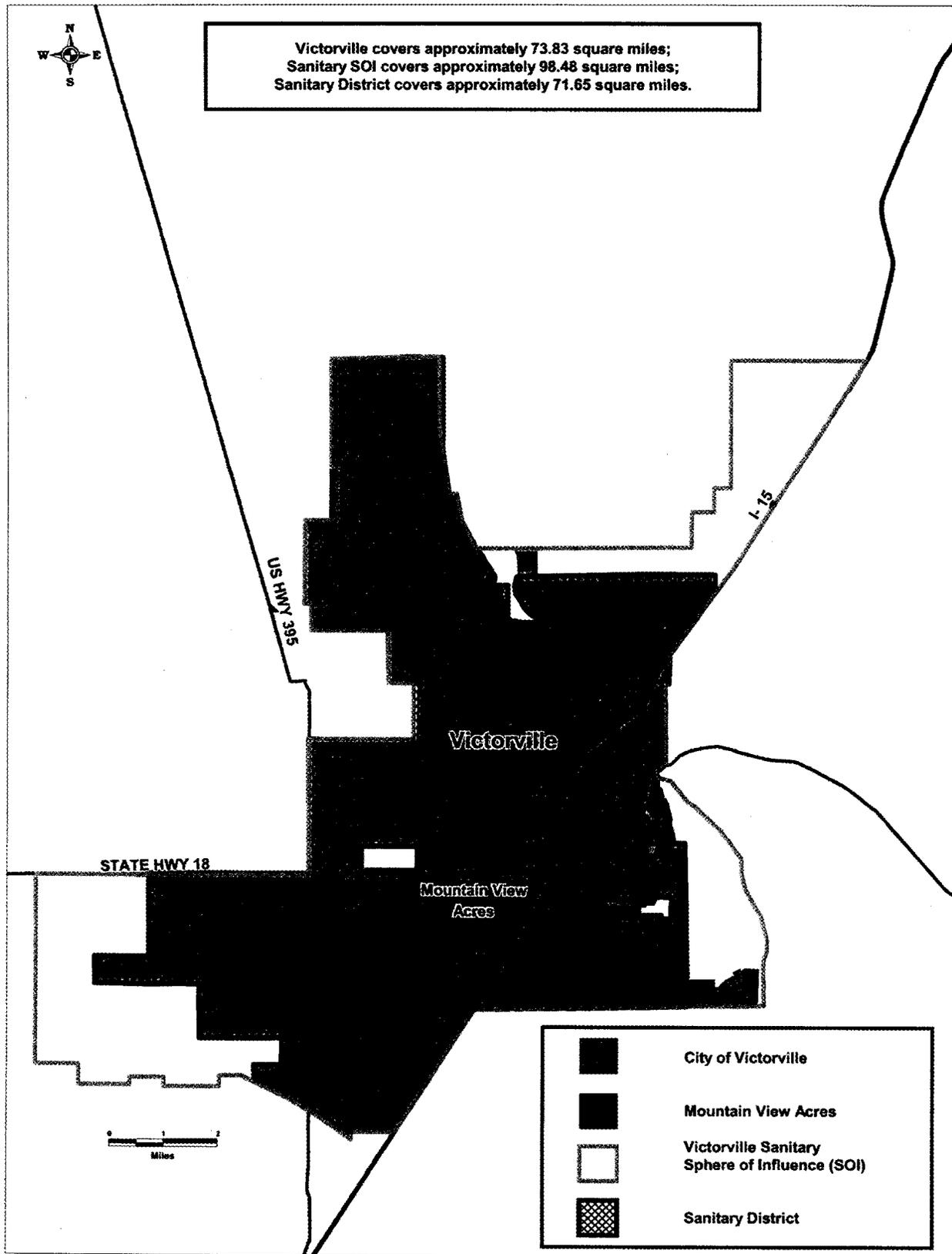
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<sup>9</sup> LAFCO File No. 1307

<sup>10</sup> LAFCO File No. 2081A

<sup>11</sup> The SOI was adopted as LAFCO 1307/Resolution 944 (Victorville Sanitary District) on May 9, 1973.

**Figure 1:  
Victorville Sanitary District and Sphere of Influence**



## **SERVICE AREA**

The Victorville Sanitary District, a subsidiary district of the City, includes most of the territory within the City of Victorville, and serves a population of approximately 93,628 residents in addition to the Victorville business community. The boundaries of the district differ from the City boundaries, as shown in **Figure 1**. The VSD boundary does not extend beyond the City boundary.

There are three fringe areas within the City boundaries that are excluded from the District boundaries.

- 1) On the northern end of the City, a peninsula that extends north towards the Oro Grande community.
- 2) An area on the eastern boundary of the City that follows the Santa Fe railroad within the northern tip of Mojave Narrows Regional Park.
- 3) Southeastern peninsula that extends east of Ridgecrest Road.

In addition, there are several pockets within the interior of the City boundaries that are excluded from the District boundaries.

- 1) An area south of Green Tree Blvd. and east of 3rd Avenue (just west of the easternmost unincorporated island area in the City)
- 2) Two islands south of Seneca Road:
  - a) Located between Lariat Road and Batson Place, east of Rodeo Drive.
  - b) Located at the end of Crestview Drive, east of Lorene Place and west of the Santa Fe railroad.
- 3) A small sliver along 7th Street just north of Lorene Drive.
- 4) Three small islands around 7th Street, just east of the County Fairgrounds:
  - a) Located north of the Loves Lane and Tatum Drive intersection.
  - b) Located along 7th Street at the intersections of Union Street, Tracy Street and Mojave Drive.
  - c) Located along Mojave Drive at Joshua Street.
- 5) An area located southeast of the 11th Street and Verde Street intersection, north of Seneca Road.
- 6) An area northeast of E Street and Highway 66, within the Eva Dell Park.
- 7) An area west of the I-15, bounded by Mojave Drive to the north and Seneca Road to the South (includes Civic Drive north of Seneca Road).
- 8) A small sliver west of the I-15 that follows National Trails Highway south of Rancho Road.

## **SERVICE DEMAND**

The demand for wastewater services within the District is expected to grow as the City expands and develops. Existing average daily flows during the first six months of 2006 from the City of Victorville were 8.3 million gallons per day (mgd), including SCLA. Peak flows are estimated to be 15.52 mgd. VVWRA treats an average of 12.04 mgd systemwide.

VVWRA projects that Victorville's wastewater flow will reach 15.04 mgd by 2020, and 18.25 mgd by 2025.<sup>12</sup>

## **SERVICE LEVEL**

Services provided by the District include operation, maintenance, repair and cleaning of sewer collection lines in order to accommodate their designed capacity and to prevent stoppages and backups. Specifically, the District responds to service requests from residents, cleans and maintains the system, repairs sewer mains and manholes, maintains and repairs the City's pump station, and tracks sewer mains for the Underground Service Alert.

The City's wastewater system includes 365 miles of sewers, which are spot-inspected in high-maintenance areas regularly using Closed Circuit Television (CCTV), 7,500 manholes, and two lift stations, one of which is located at SCLA. The District currently inspects problem sewer lines—two to five percent of the system—each year using CCTV. Seventy-one sites have been identified as Sewer High Maintenance locations, which are areas of specific concern that require regular maintenance, at intervals from four to eight months, to maintain service levels. The development of the Sewer High Maintenance location list and maintenance schedule has reduced the number of overflows, stoppages, and liabilities, and has increased maintenance efficiency.

The District schedules sewer route maintenance on a six to seven year cycle to accommodate the rapid development of the service area. Maintenance involves flushing, vactoring, and root and grease eradication.<sup>13</sup>

Per City policy, VSD responds to sanitary sewer overflows within one hour. The City experienced five sanitary sewer overflows in the past year; response in all cases met the City's one-hour response time policy.

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<sup>12</sup> Victor Valley Wastewater Reclamation Authority, Sewerage Facilities Plan Update, Year 2005 Amendment

<sup>13</sup> City of Victorville, Public Works Department, Utility Division

New regulatory requirements—the State Water Resources Control Board’s Statewide General Waste Discharge Requirements (WDRs)—require all service providers, including the City, to eliminate all Sanitary Sewer Overflow (SSO) conditions, know the type of material, age, condition, and capacity of the sewer system, maintain a CIP, and maintain quality staff and equipment for operating the City’s sewer system. The District is in compliance with these new regulations through the following plans and policies:

- Train personnel to perform their assigned duties safely, maintain and repair tools and equipment to extend their working life;
- Perform inspections of all sewer mainlines and manholes, check for vandalism, and check the general condition of the infrastructure;
- Perform maintenance and repairs on sewer manholes, frames, and covers, and mainlines that require repair;
- Regularly assign vactor trucks to clean both regular maintenance routes and high maintenance routes as needed;
- Respond to SSOs within one hour during non-duty hours and faster than one hour during duty hours;
- Respond to customer service requests in a timely manner;
- Establish a job description to gain council approval to provide funding to staff the CCTV equipment on a full time basis and implement a CCTV schedule to inspect all regular and high-maintenance locations; and
- Encourage team member participation with the California Water Environment Association, and establish CWEA certification requirements for specific job descriptions, allowing every opportunity for team members to earn and maintain their required certificates.<sup>14</sup>

In addition, VSD best management practices include its emphasis on credentials and training. The Public Works Department is initiating an American Public Works Association (APWA) accreditation to ensure service quality. In addition, the City requires certification of credentials:

- The Utility Division Manager is required to maintain a California Water Environment Association (CWEA) Grade 3 Collection System Maintenance Technician Certificate.
- Maintenance Worker IV positions must attain a DWEA Grade 2 Collection System Maintenance Technician Certificate.

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<sup>14</sup> City of Victorville, Public Works Department, Utility Division

## ADMINISTRATION & STAFFING

VSD does not directly employ its own staff, but is instead managed and staffed by City employees. As an accounting fund, VSD reimburses the City for the pro-rated portion of City employee time spent on managing and operating the wastewater system.

VSD is staffed primarily by the Department of Public Works, with engineering expertise provided by the City Engineer, and financial management by the Department of Finance, as shown in **Table 2**.

**Table 2: Victorville Sanitary District Staffing**

The Department is headed by the Director and Assistant Director of Public Works, who oversee the Public Works Manager. The Public Works Manager oversee the leadworker, maintenance workers, maintenance aids, and other employees who are responsible for the maintenance, repair, and cleaning of the City's wastewater system.<sup>15</sup>

As the District is a subsidiary district of the City of Victorville, and is already being managed and staffed by City employees, there will be no transfer of administration or staff upon dissolution.

Full Time Positions	FTE
City Engineer	0.10
Director of Finance	0.10
Director of Public Works	0.25
Asst. Director of Public Works	0.50
Public Works Manager	0.68
Management Analyst	0.20
Public Works Supervisor	1.00
Management Specialist	0.10
Management Technician	0.10
Administrative Secretary	0.21
Leadworker	1.00
Equipment Operator	0.70
Maintenance Worker IV	3.00
Adm Operations Assistant	0.55
Secretary I	0.50
Maintenance Worker II	4.00
Maintenance Worker I	2.75
Clerk Typist	0.80
<b>Total</b>	<b>16.54</b>

Source: City of Victorville, Proposed Budget FY 2006-2007

<sup>15</sup> City of Victorville, Public Works Department, Utility Division

## FACILITIES

The District's wastewater collection system includes 365 miles of collector lines, 7,500 manholes, a pump station located near Stoddard Wells Road that serves the area east of the Mojave River, and two lift stations, one of which is located at SCLA.<sup>16</sup> Collector lines are connected to the VVWRA regional interceptor system at six points throughout the City of Victorville and two points within the Southern California Logistics Airport. VVWRA consultants meter and sample at these six points quarterly to determine the wastewater flow.<sup>17</sup>

## TREATMENT SYSTEM

The District, as a member of the Victor Valley Wastewater Reclamation Authority (VVWRA), is indirectly responsible for wastewater treatment. VVWRA operates one wastewater treatment plant located five miles north of the City of Victorville and one mile east of SCLA. The facility treats and disposes of water collected through a regional interceptor system. The current capacity of the facility is 12.5 million gallons per day (mgd) and construction has begun to expand the capacity to 14.5 mgd. Further expansion of the facility's capacity began in 2006, during which the facility's capacity is being expanded to 18 mgd.

NPDES<sup>18</sup> regulates discharge into the Mojave River. Land discharge is regulated by a separate Waste Discharge Requirement permit. The VVWRA Regional Treatment Plant is currently authorized to discharge 12.3 mgd, with a permitted capacity increase to 14.5 mgd in 2007 upon completion of capacity expansion work.

VVWRA is undertaking several measures to expand capacity to serve projected growth through buildout, including current and planned expansions of treatment capacity at the regional treatment plant, construction of subregional facilities, and relatively frequent monitoring and planning efforts.

To handle anticipated demand, the VVWRA is planning to build four new sub-regional treatment facilities with two located within the City of Victorville. Construction of the facilities should begin in 2008 and be completed by 2010. These facilities will have a wastewater treatment capacity of 7.0 to 8.5 mgd and produce recycled water for Victorville and surrounding communities. Apple Valley and Hesperia flows will be

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<sup>16</sup> Ibid.

<sup>17</sup> Interview with City of Victorville Engineer Sean McGlade, July 12, 2006.

<sup>18</sup> The Lahontan Regional Water Quality Control Board (LRWQCB) regulates water quality in Victorville and all of California east of the Sierra Nevada crest under the authority of the Federal Clean Water Act and California's Porter-Cologne Water Quality Control Act. The LRWQCB issues wastewater discharge permits through the NPDES.

treated at two 4-mgd subregional facilities by 2009. Eventually, only flows from Victorville and its SOI area will be treated at the Regional Treatment Plant.

The VVWRA currently delivers recycled water to the Westwinds Golf Course located at the Southern California Logistics Airport. The recycled water is delivered through three miles of pipeline from the wastewater treatment plant on Shay Road. In addition, the VVWRA accepts septage for the disposal of septic tank and chemical toilet waste. The plant accepts and treats approximately 6.6 million gallons of this waste annually.<sup>19</sup>

## **COLLECTION SYSTEM**

The District provides ongoing maintenance of the City's sewer system to identify potential problems and accurately locate sewer laterals. Each year the District inspects approximately two miles of sewer mainlines using Closed Circuit Television (CCTV), and high-maintenance locations are monitored to improve maintenance efficiency.

The City's Master Plan of Sewers requires that sewer pipes where the loading exceeds 75 percent of the capacity need to be replaced or augmented with parallel sewers and new sewer pipes are to be placed where natural drainage patterns are followed to provide gravity service wherever possible.<sup>20</sup>

Many of the City's sewer mainlines are now over twenty years old, and require additional inspection, maintenance, and repairs to maintain service levels. Older pipes are subject to increased root intrusion at the joints, and some older pipes are concrete, which are no longer suitable for use.<sup>21</sup> Additionally, some older pipes were installed on a flat grade, which leads to increased grease buildup and the need for more frequent cleaning. The District regularly updates its maintenance schedule and improves the system through pipe rehabilitation to extend life, diversions to manage capacity, and system evaluation to determine condition and plan for capital upgrades.

The City's lift station, which was built in 1999, is in very good condition. It was designed with future growth in mind, and its capacity far exceeds current flows. It receives regular maintenance to maintain current service levels.<sup>22</sup>

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<sup>19</sup> Mojave River Watershed, SWMP, July 2003, p. 1-7.

<sup>20</sup> City of Victorville, Master Plan of Sewers, J.F. Davidson Associates, Inc. October 1990, p. 4-1.

<sup>21</sup> City of Victorville, Public Works Department, Utility Division

<sup>22</sup> City of Victorville, City Engineer

### New Facilities

The City addresses problem areas through its capital improvement planning and master planning processes, as well as the VVWRA facilities planning process. The City conducts capital improvement planning on a five-year planning horizon with annual updates.

The City's 5-year capital improvement program identifies \$13.2 million in sewer facility improvements through 2010. Planned sewer collection system improvements include pipes, services laterals, trunk lines, manholes and pump stations. Projects for FY 2006-07 include the following:

- Sewer line installation along Nisqualli Road from 1<sup>st</sup> Avenue to Balsam Road, to service future development south of Nisqualli Road in an area that is currently on septic systems.
- Upgrade and repair of the reclaimed water storage pond that services the Westwinds Gold Course at SCLA with reclaimed water for irrigation.
- Construction of a Reclaimed Water Backbone System to the deluge tank at SCLA. SCLA's Fire Suppression Facility serves the deluge systems in the large hangars at the airport, with a current holding capacity of one million gallons and the ability to pump 15,000 gallons per minute to the deluge system. This project will install an additional pipeline, allowing for the use of reclaimed water instead of potable water. A future project will involve the construction of a second tank and pump house for irrigation purposes that is linked to the Fire Suppression Tank to prevent stagnation.
- Construction of a Wastewater Treatment Plant at Yates Road. The new sub-regional treatment plant, located next to a major sewer trunk line and close to the Green Tree Golf Course, will treat wastewater to secondary levels, separating out water for reuse and allowing concentrated effluent to continue on to the VVWRA Treatment Plant. The reclaimed water will be used for irrigation purposes at parks and golf courses, and can be delivered to percolation ponds when irrigation demand is reduced in the winter months. Reducing the amount of effluent that continues on to the VVWRA Treatment Plant has the added benefit of reducing the need to expand downstream trunk and interceptor lines.<sup>23</sup>

As growth occurs in the proposed SOI expansion area to the north of the City, areas that are now on septic or completely undeveloped will be sewerred upon development, and a new lift station will need to be constructed to move wastewater uphill to the treatment plant.<sup>24</sup>

Sewer master planning is conducted on a long-term planning horizon. However, given the explosive growth in Victorville, the City is already updating its 1991 master plan to address expansion needs and condition of the District sewer system. The City's

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<sup>23</sup> City of Victorville, City Engineer

<sup>24</sup> Interview with City Engineer, Sean McGlade, July 12, 2006.

Engineering Department is currently compiling updated information on the sewer system's components,<sup>25</sup> which will assist in future plans for upgrades and new capital projects.

Sewer planning in Victorville is coordinated closely with land use planning. The City is preparing specific plans that include infrastructure additions, primarily in the western part of the City where the existing trunk sewer lines have additional capacity. The specific plans address the addition of sub-regional water treatment for use in schools, park facilities, and landscaped areas.<sup>26</sup>

### Septic Conversion

There are pockets within the City limits that are not yet connected to the District's sewer system where residents rely on private septic systems. When such areas wish to connect, they form assessment districts to finance conversion costs, allowing them to repay the costs over time.

1. An area south of the Southern California Logistics Airport, bordered by Rancho and Hopland roads to the north and south, and by El Evado to the west and Gasoline Road to the east;
2. A section in the southwestern portion of the City, west of Amargosa Road and I-15 and east of La Brisa and Borego Roads, and bordered on the north by Palmdale Road and on the south by La Mesa Road;
3. A section in the southwestern portion of the City, south of Bear Valley Road, north of Sycamore, west of Amethyst, and east of Cobalt Roads;
4. A section in the southwestern portion of the City, south of Sycamore Street, West of Cobalt Road, north of Eucalyptus Street, and east of Mesa Linda Street;
5. A section in the southern part of the City, south of Nisqualli Road, west of 7<sup>th</sup> Avenue, north of Bear Valley Road, and east of Balsam Road; and
6. A section just south of the Green Tree Golf Course, south of Green Tree Boulevard, west of 1<sup>st</sup> Avenue, north of Comanche, and east of 6<sup>th</sup> Avenue.

## **FINANCING**

### Capital Financing

Developers are required to fund the construction of sewer infrastructure improvements on their properties, which are then connected to the District's sewer system. New development must also pay connection fees to finance downstream sewer infrastructure improvements. Connection fees include a City fee for the collection system of \$350 per household and a VVWRA fee of approximately \$1,500 per household.

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<sup>25</sup> City of Victorville, Public Works Department, Utilities Division

<sup>26</sup> City of Victorville, City Engineer

The City anticipates \$1.2 million in connection fee revenues in FY 2006-07.<sup>27</sup> The District invests the connection fee revenue in infrastructure improvements to support new development through pipe capacity enhancements or extensions, treatment capacity, or other system improvements. Connection fees finance infrastructure capacity extensions to support new users.

Approximately 14 percent of City residents have not yet connected to the sewer system, and rely on private septic systems. When such areas wish to connect, they form assessment districts to finance conversion costs, allowing them to repay the costs over time. For example, the La Brisa neighborhood recently formed such an assessment district. Similarly, unincorporated areas reliant on septic systems may choose to annex to the City and finance conversion to the public sewer system by approving assessments.

**Table 3: Victorville Sanitary District Financial Profile**

	Actuals			Budgeted	Proposed
	FY 02-03	FY 03-04	FY 04-05	FY 05-06	FY 06-07
Revenues	\$9,031,017	\$6,355,325	\$6,556,385	\$11,503,404	\$8,378,431
Property Taxes	\$959,931	\$1,062,167	\$1,030,715	\$675,000	\$1,500,000
User Fees	\$4,740,268	\$5,225,274	\$5,307,170	\$5,575,742	\$6,385,000
Service Fees				\$4,700,000	\$5,150,000
Connection Fees				\$875,742	\$1,235,000
Reduction in Fund Balance	\$0	\$0	\$0	\$5,065,962	\$308,431
Expenditures	\$8,579,157	\$5,938,239	\$9,232,598	\$11,503,404	\$8,378,431
Operations & Maintenance	\$4,222,795	\$4,235,990	\$4,436,124	\$4,165,404	\$4,333,931
Operations: CIP				\$5,488,000	\$1,974,500
Capital Expenses	\$4,356,362	\$1,702,249	\$4,796,474	\$1,850,000	\$2,070,000

Source: City of Victorville Department of Finance

### Operations Financing

Sewer service charges are the primary revenue source used to finance 82 percent of wastewater operating and maintenance costs, including rehabilitation and re-sizing existing sewer infrastructure—costs not covered by connection fees. Currently, each household pays \$12.74 per month for ongoing service. Sewer service charges will generate \$5.15 million in FY 2006-07 for financing sewer operations.<sup>28</sup>

Property taxes are a secondary revenue stream for financing operations. A portion of the property taxes paid by property owners located within VSD boundaries is distributed to VSD. Total assessed value within VSD bounds was \$3.5 billion in FY 2005-06. Approximately four percent of the property taxes generated in the VSD bounds are distributed to VSD. In FY 2006-07, VSD property tax revenue is expected to generate \$1.5 million for financing sewer operations.

<sup>27</sup> City of Victorville, Proposed Budget, FY 2006-07

<sup>28</sup> City of Victorville, Proposed Budget, FY 2006-07

## **TRANSFER OF SERVICES AND FACILITIES**

Upon dissolution of the subsidiary district, the City of Victorville would be designated as successor agency. As the successor agency, the District's assets would transfer to the City, and the Victorville City Council will remain as the governing authority for the District. In addition to assets, all rights, responsibilities, properties, equipment, contracts, obligations, liabilities, and functions of VSD would transfer to the City.

All previously authorized charges, fees, assessments and taxes would continue. Sewer service charges, connection fees and property tax revenues would transfer to the City of Victorville. The City would separately maintain such funds in accordance with the provisions of Government Code §57462.

## IV. VICTORVILLE FIRE PROTECTION DISTRICT

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### OVERVIEW

The Victorville Fire Protection District (VFPD) provides fire prevention and emergency medical services. As a subsidiary district of the City of Victorville, the City's Fire Department directly manages and staffs the district operations. The VFPD has mutual aid agreements with neighboring fire departments and is a member of the Regional Fire Protection Authority.

The VFPD was originally formed as an independent fire protection district in 1926, and was reorganized in 1960, 1965 and 1971. It remained an all-volunteer fire protection agency until July 1972, when a career fire chief was appointed. The District and the City entered into a Joint Powers Agreement in January 1976, under which the City administered the operations, services, maintenance, and daily functions of the District, and transformed the District from an all-volunteer to a part-paid, part-volunteer District.<sup>29</sup> The Victorville Fire Department officially formed in June 1977 when the District was reorganized and established as a subsidiary district of the City of Victorville.<sup>30</sup>

The District SOI and boundaries have grown over the years through reorganization and annexation, the most recent of which happened in 1998 and 2002, adding approximately 4,143 acres to the District, mostly to the north of SCLA.<sup>31</sup> The District SOI remains identical to the City's SOI, except for a small area located along I-15 to the northeast of the City.<sup>32</sup> Today the boundaries of the District differ slightly from the City boundaries as shown in **Figure 2** and include approximately 73.95 square miles.

VFPD is governed by the Victorville City Council. The Council adopted a resolution to initiate dissolution of the district in 2005.

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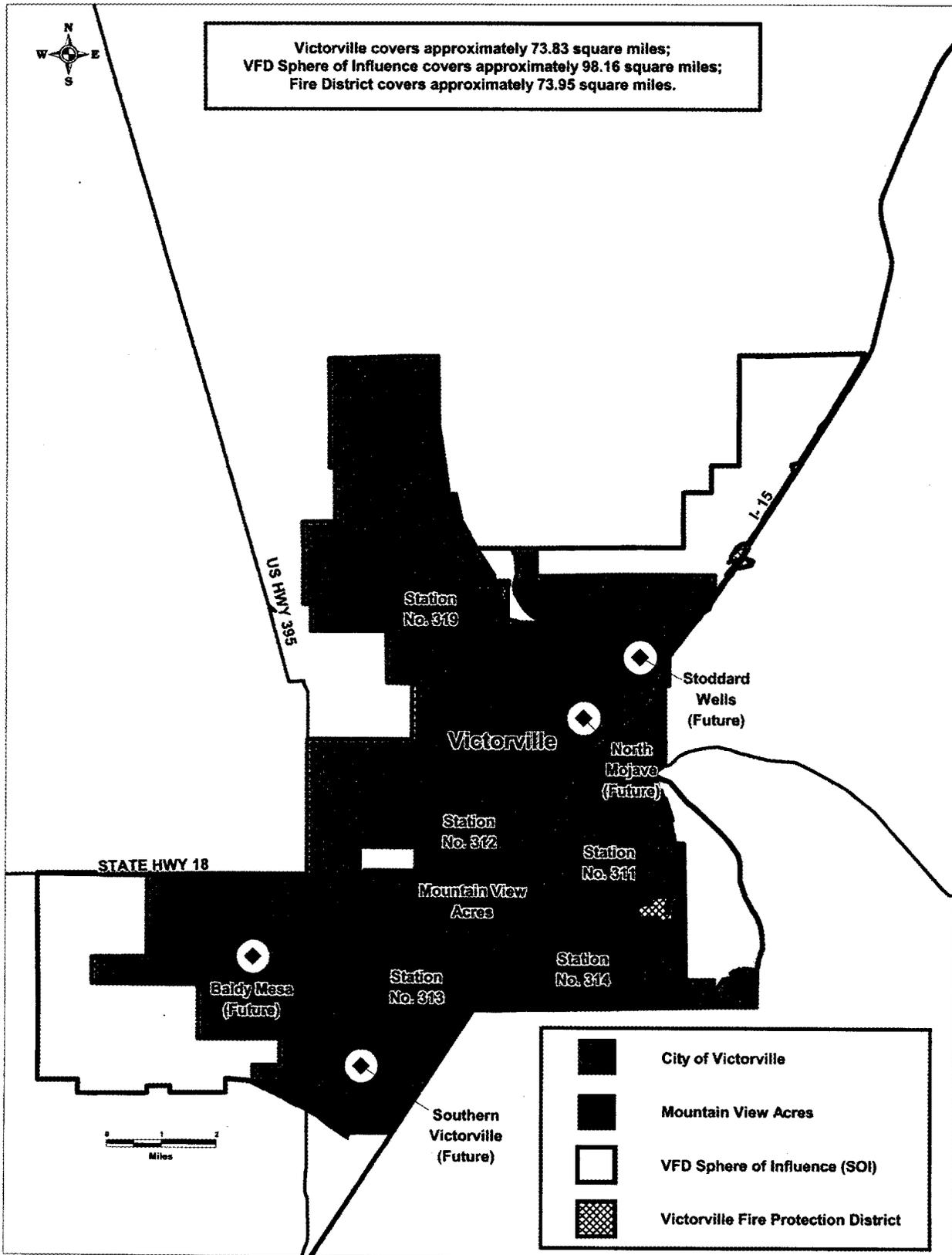
<sup>29</sup> LAFCO File No. 1664, Addendum 1 to Staff Report dated March 2, 1977.

<sup>30</sup> LAFCO File No. 1664

<sup>31</sup> LAFCO File Nos. 2833 and 2884.

<sup>32</sup> The SOIs were adopted as LAFCO 1305/Resolution 942 (Victorville Fire Protection District) on May 9, 1973.

**Figure 2:  
Victorville Fire Protection District and Sphere of Influence  
and Existing and Proposed Future Fire Stations**



## SERVICE AREA

The Victorville Fire Protection District, a subsidiary district of the City, includes all of the territory within the City of Victorville, and some territory outside the City, and serves a population of approximately 95,173 residents in addition to the Victorville business community. The boundaries of the district differ from the City boundaries, as shown in **Figure 2**. The boundary does not include the City's two unincorporated islands, the westernmost island and Mountain View Acres.

The VSD boundary extends beyond the City boundary in two areas.

1. A segment of I-15 extending northeast of the City boundary from the Dante Road area past North Stoddard Wells Road and east into a pocket within the city limits of Apple Valley.
2. The Coad Road unincorporated island is mostly within VFPD bounds, except that the easternmost portion is not included.<sup>33</sup>

VFPD serves the unincorporated islands within the City, due to their proximity and related public safety threats to the City. VFPD directly serves nearly all of its boundary area. Through mutual aid, the Apple Valley Fire Protection District serves a small area within the VFPD boundary in the northeast corner along I-15, from North Stoddard Wells to Dale Evans Parkway.<sup>34</sup> VFPD serves the segment of I-15 south of the North Stoddard Wells interchange. The planned VFPD fire station at Stoddard Wells/Dante Road would be able to serve I-15 segments beyond the City limits through mutual or automatic aid arrangements. When such areas are annexed to the City, the City would provide service directly.

## SERVICE DEMAND

In 2005, the fire department responded to 10,966 calls. Most (8,009) of the calls were for rescue, traffic accidents, and medical aid. 1,893 service calls were for false alarms or investigation, and 1,064 were for fires, explosions, and hazardous materials.<sup>35</sup> Over the past five years, the number of calls the department responded to have increased from 8,062 in 2001 to 10,966 in 2005, an increase of just over 36 percent.<sup>36</sup>

As Victorville continues to develop, additional demand is expected. Such service demand will be met with new facilities, equipment and apparatus, and personnel, as are

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<sup>33</sup> The Victorville Fire Department provides mutual aid response to the easternmost portion of the Coad Road island, where railroad accidents may occur once every few years.

<sup>34</sup> Per Apple Valley Fire Protection District Division Chief, Art Bishop, July 20, 2006

<sup>35</sup> Victorville Fire Department

<sup>36</sup> Ibid.

already being planned. As development occurs in the proposed SOI expansion area to the north, service demand along the Route 66 corridor would be met by the planned North Village Drive or SCLA (No. 319) stations, and service along I-15 would be met by the new Stoddard Wells/Dante Road station.<sup>37</sup>

## SERVICE LEVEL

The District maintains an ISO rating of 3, the most favorable rating among providers in the Victor Valley area.<sup>38</sup> The current average response time is 6.97 minutes, with rescue, traffic accidents and medical responses taking an average of 6.18 minutes; fires, explosions, and hazardous conditions taking an average of 7.06 minutes; and false alarms and investigations taking an average of 7.31 minutes to respond.<sup>39</sup> The City Council goal for response times is to have first response on scene arrival within five minutes.

All 911 calls placed in the District are received by the San Bernardino County Sheriff Desert Control Center within the Victor Valley station complex. All fire-related calls are then routed to the Regional Fire Protection Authority (RFPA) communications center, which responds to all fire service-related calls and dispatches the appropriate personnel for VFPD and Apple Valley Fire Protection District. The operational management of the RFPA communications center is handled jointly by the Victorville and Apple Valley fire chiefs. The District pays for its share of costs based on the number of calls it receives.

Service standards are set by the National Fire Protection Association. The District has mutual aid agreements with neighboring fire departments including the Apple Valley Fire Protection District and San Bernardino County Fire Department. The Victorville Fire Department and RFPA member agencies participate in a cooperative regional automatic aid program for initial response to immediate need incidents. This program provides all participating member agencies with continuous coverage during significant emergencies.<sup>40</sup>

The District also ensures adequate flow of water for fire suppression needs. Minimum fire flow for commercial/industrial land uses is based on many factors including type of building and systems installed and occupancy, but must never be less than 1,500 gallons per minute at 20 PSI; most are much higher at 3,500 gallons per minute at 20 PSI.<sup>41</sup>

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<sup>37</sup> Ibid.

<sup>38</sup> Fire protection classifications are designated by the State Insurance Services Office (ISO). Ratings are based on a scale of 1 to 10, with 1 being the best possible protection.

<sup>39</sup> Victorville Fire Department.

<sup>40</sup> California State Fire Fighters Association, *The Magazine*, 2002.

<sup>41</sup> From City of Victorville Fire Department.

The fire department will continue to maintain its current service levels and meet its goals, including:<sup>42</sup>

- Delivering safety services of the highest quality.
- Supporting and maintaining a safe, healthy, well-trained and high performing workforce.
- Providing high-quality first responder service as part of an integrated emergency medical care system.
- Ensuring that Victorville firefighters will be community resources for life, safety, knowledge, and information about Victorville Fire Department services.
- Attracting and retaining a qualified and diverse workforce.
- Being accountable to its community for demonstrable results.

The City's General Plan includes the following goals and policies for fire and emergency services:

- The Fire Department will continue to review development proposals to determine impacts on emergency services and ensure developments meet appropriate safety standards. Examples of these standards include fire hydrant spacing, sprinkler requirements in certain types of construction, safe vehicular access for evacuation or response, and ensuring service levels are maintained.<sup>43</sup>
- The City will continue to implement the weed abatement program to reduce brush fire hazards.
- The City will continue to maintain mutual aid agreements with other jurisdictions in the region.
- The City will continue to participate in organizations such as the Regional Fire Protection Authority.<sup>44</sup>

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<sup>42</sup> Victorville Fire Department.

<sup>43</sup> City of Victorville, General Plan, Safety Element, July 1997, p. 26.

<sup>44</sup> City of Victorville, General Plan, Safety Element, July 1997, p. 28.

## ADMINISTRATION & STAFFING

VFPD does not directly employ its own staff, but is instead managed and staffed by City employees. As an accounting fund, VFPD reimburses the City for the pro-rated portion of City employee time spent on fire and emergency services. VFPD is staffed by the Victorville Fire Department. VFPD does not include management and staffing of Station No. 319 at SCLA which is paid directly by the SCLAA.

VFPD currently has the equivalent of 59.5 full time employees, as shown in **Table 4**, staffed in shifts at its four fire stations throughout the City. In the last year, VFPD has added nine personnel and three battalion chiefs, providing fire chief coverage 24 hours a day, seven days a week. VFPD staff is organized into two divisions, the Support Services Division, and the Life Safety Services Division. Support Services includes Emergency Services, Training, Administrative Support, and Communications. Emergency Services includes a Coordinator and a Community Emergency Response Team Trainer, and Training includes a Division Chief, Safety services, the Paid Call Program, Haz-Mat Team training, and the TRAP Team.

**Table 4: Victorville Fire Protection District Staff**

Full Time Positions	FTE
Fire Chief	0.90
Division Chief	1.85
Battalion Chief	2.40
Sr. Fire Safety Specialist	1.00
Fire Safety Specialist	2.00
Fire Captain	15.00
Fire Engineer	15.00
Firefighter	15.00
Fire Inspector	2.60
Administrative Secretary	0.90
Call Taker	1.00
Clerk Typist	1.80
<b>Total</b>	<b>59.45</b>

Source: City of Victorville, Proposed Budget 2006-2007

The Communications Division includes a manager and both full-time and part-time dispatchers. The Life Safety Services Division includes a Division Chief, Battalion Chiefs, and fire fighting staff for Shifts A, B, and C, and the prevention and haz-mat staff. Prevention is overseen by a Deputy Fire Marshall, and includes three fire safety specialists, two inspectors, and part-time weed abatement personnel. Haz-Mat includes a haz-mat specialist, a part-time haz-mat inspector, and the household hazardous waste program.<sup>45</sup>

<sup>45</sup> Victorville Fire Department.

As the Victorville Fire Protection District is a subsidiary district, and the City has been running the District as a department since 1976, the administrative and staff structure will remain the same after dissolution.

## FACILITIES

The District operates and maintains four fully staffed fire stations strategically located throughout the City (see **Figure 2**), all in good or excellent condition, as shown in **Table 5**. Each station is equipped with at least one fire engine and three firefighters. Station No. 311 has two fully staffed companies, one engine and one truck. Station Nos. 311, 313 and 314 also have a brush engine and other emergency equipment. All engine companies are staffed with three fire personnel and all of the stations each have ten staff on call if needed. A fifth fire station, Station No. 319, serves SCLA and is staffed with three dedicated personnel with Aircraft Rescue Fire Fighting apparatus who maintain constant readiness to handle any aircraft-related emergencies.

**Table 5: Fire Stations, Condition, and Locations**

Stations	Condition	Location
Station No. 311	Good	16200 Desert Knoll Drive
Station No. 312	Excellent	15182 El Evado Road
Station No. 313	Good	13086 Amethyst Road
Station No. 314	Good	17008 Silica Drive
Station No. 319 (SCLA)	Good	18550 Readiness Street

Source: Victorville Fire Department

The District's stations are supported by the following apparatus:<sup>46</sup>

- (7) Type 1 Structure Engines
- (3) Type 2/3 Brush Engines
- (2) Truck Companies
- (1) Water Tender
- (1) Haz Mat Unit (Level "A")
- (1) Command/Communications Trailer
- (1) Technical Rescue Trailer

<sup>46</sup> Victorville Fire Department, Administration/Operations

The Aircraft Rescue Fire Fighting (ARFF) program at the Southern California Logistics Airport is supported by the following apparatus:<sup>47</sup>

- (1) Osk Kosh 4000 gallon truck
- (2) Osh Kosh 1500 gallon trucks
- (1) Osh Kosh 1000 gallon truck
- (1) Foam Engine 1400 gallons AFFF
- (1) Foam Engine 1000 gallons AFFF
- (1) Twin Agent/Rescue Vehicle
- (1) Mass Casualty/Medical Trailer
- (1) Type 1 Structure Engine

The District's newest fire station opened at El Evado Road in April 2005, and is in excellent condition. All other stations are in good condition. The City's 2006-07 Capital Improvement Program identifies planned capital improvements to the District's facilities, including upgrades to fire apparatus and equipment, a new concrete ramp at Station 313 on Amethyst Road, and fire hydrant upgrades throughout the City.<sup>48</sup> Additionally, the FY 2006-07 proposed budget allocates funding for building and non-building improvements and building maintenance for Station Nos. 311, 312, 313, and 314.

#### New Facilities

The District is planning the development of four new fire stations within the next 6-10 years.<sup>49</sup> The first (Station No. 315) in southern Victorville at Eucalyptus and Topaz is in the design phase and is projected to open in 2007. The second (Station No. 316) in the Baldy Mesa area (La Mesa Road and Bellflower Street) is in the preliminary design phase with construction projected to begin in 2008. The third station is expected to be located in the North Mojave area, at North Village Drive; and the fourth is under negotiation, and would be located at Stoddard Wells and Dante Roads, along I-15 to the Northeast.<sup>50</sup>

In September 2006, the District will be adding new fire fighting apparatus to supplement its current equipment and apparatus. The District also plans to add additional apparatus, including a new aerial ladder, and nine personnel, when Station No. 315 opens at Eucalyptus and Topaz in 2007.<sup>51</sup>

As development occurs in the proposed SOI expansion area to the north, service would be provided by VFPD's planned North Village Drive station or expansion at the SCLA

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<sup>47</sup> Ibid.

<sup>48</sup> Capital Improvement Program, 2006-07.

<sup>49</sup> The timeline for completion of the four new stations will depend on the pace of growth.

<sup>50</sup> City of Victorville General Plan, Safety Element, July 1997, p. 22.

<sup>51</sup> Victorville Fire Department.

station (No. 319) along the Route 66 corridor, and by the planned North Stoddard Wells/Dante Road station along I-15.<sup>52</sup>

## FINANCING

### Capital Financing

Development impact fees finance the costs of constructing and equipping new stations. These fees are expected to finance 94 percent of the costs of VFPD's four new fire stations. These costs include land acquisition, station construction, equipment, and expansion of the communication system. The 2005 Development Impact Fee Update Study identifies \$18,934,000 in capital facility costs to serve growth through 2020 and \$20,250,000 to serve growth through 2030. Development impact fees for fire construction and equipment are currently \$271.54 per single-family dwelling and \$185.05 per multi-family dwelling.<sup>53</sup>

### Operations Financing

The City's general fund and VFPD property taxes and are the primary revenue sources for financing fire and emergency operations costs. The general fund finances 58 percent of VFPD expenditures. A portion of the property taxes paid by property owners located within VFPD boundaries is distributed to VFPD. Total assessed value within VFPD bounds was \$3.6 billion in FY 2005-06.<sup>54</sup> Property taxes provide approximately 40 percent of VFPD's operations budget. Approximately eight percent of the property taxes generated in the VFPD bounds are distributed to VFPD. In FY 2006-07, VFPD property tax revenue is expected to generate approximately \$3.0 million for financing fire and emergency services operations.<sup>55</sup>

**Table 6: Victorville Fire Protection District Financial Profile**

	Actuals			Budgeted	Proposed
	FY 02-03	FY 03-04	FY 04-05	FY 05-06	FY 06-07
Revenues	\$4,312,381	\$4,850,577	\$6,093,164	\$6,325,220	\$7,600,617
Property Taxes	\$1,731,009	\$1,882,780	\$2,079,132	\$1,793,000	\$3,017,000
User Fees	\$123,256	\$58,487	\$144,769	\$147,320	\$183,600
General Fund	\$2,453,033	\$2,897,986	\$3,860,754	\$4,377,750	\$4,391,867
Expenditures	\$4,309,653	\$4,841,795	\$6,093,499	\$6,325,220	\$7,600,617

Source: City of Victorville Department of Finance

<sup>52</sup> Ibid.

<sup>53</sup> City of Victorville, Department of Finance

<sup>54</sup> Property tax revenue generated outside City bounds was inconsequential (less than \$5,000 in VFPD revenue) in FY 2005-06.

## **TRANSFER OF SERVICES AND FACILITIES**

Upon dissolution of the subsidiary district, the City of Victorville would be designated as successor agency. As the successor agency, the District's assets would transfer to the City, and the Victorville City Council will remain as the governing authority for the District. In addition to assets, all rights, responsibilities, properties, equipment, contracts, obligations, liabilities, and functions of VFPD would transfer to the City.

All previously authorized charges, fees, assessments and taxes would continue. Property taxes would transfer to the City of Victorville. The City would separately maintain such funds if required by the provisions of Government Code §57462.

The City does not wish to accept responsibility for serving areas outside City limits through dissolution terms; however, the City would offer automatic or mutual aid, as appropriate, to areas outside City limits for which Victorville is the optimal service provider. To optimize response to outlying areas as they grow and develop in the coming years, automatic and mutual aid arrangements are the most flexible approach to service configuration. Depending on the extent and reciprocity of automatic aid needs of other jurisdictions, Victorville reserves the right to recoup its costs for such service provision.

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<sup>55</sup> City of Victorville, Proposed Budget FY 2006-07

## V. VICTORVILLE RECREATION AND PARK DISTRICT

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### OVERVIEW

The Victorville Recreation and Park District (VRPD) provides park services, recreation programs and sports, and educational classes. As a subsidiary district of the City of Victorville, VRPD is governed by the Victorville City Council, and directly staffed and managed by the City's Community Services Department.

VRPD provides 198 acres of parkland with various amenities including activity rooms, sports fields and equipment, community centers, and swimming pools.

The Victorville Recreation and Park District was originally formed as an independent special district in 1945 under the name Victorville Recreation, Park, and Parkway District. The District was reorganized in 1961 and renamed the Victorville Recreation and Park District.<sup>56</sup> After detaching approximately 34 square miles in land from the District, LAFCO reorganized and established it as a subsidiary district of the City of Victorville in July 1978.<sup>57</sup>

The District has undergone numerous boundary and SOI changes over the years. The District now encompasses approximately 79.72 square miles, including Spring Valley Lake and the unincorporated islands. Most recently, 4,101 acres were annexed to the District in 1998 and 2002, primarily to the north of SCLA.<sup>58</sup> While VRPD's SOI is identical to the City's SOI, the boundaries of the district differ from the City boundaries, as shown in **Figure 3**.

VRPD is governed by the Victorville City Council. The City has established a Community Services Advisory Committee to oversee the District, with each City Council member appointing a volunteer member. The Council adopted a resolution to initiate dissolution of the district in 2005.

### SERVICE AREA

The VRPD boundary includes the City, the unincorporated community of Spring Valley Lake to the east of the City, and all three of the City's unincorporated islands. VRPD serves approximately 106,257 residents.<sup>59</sup>

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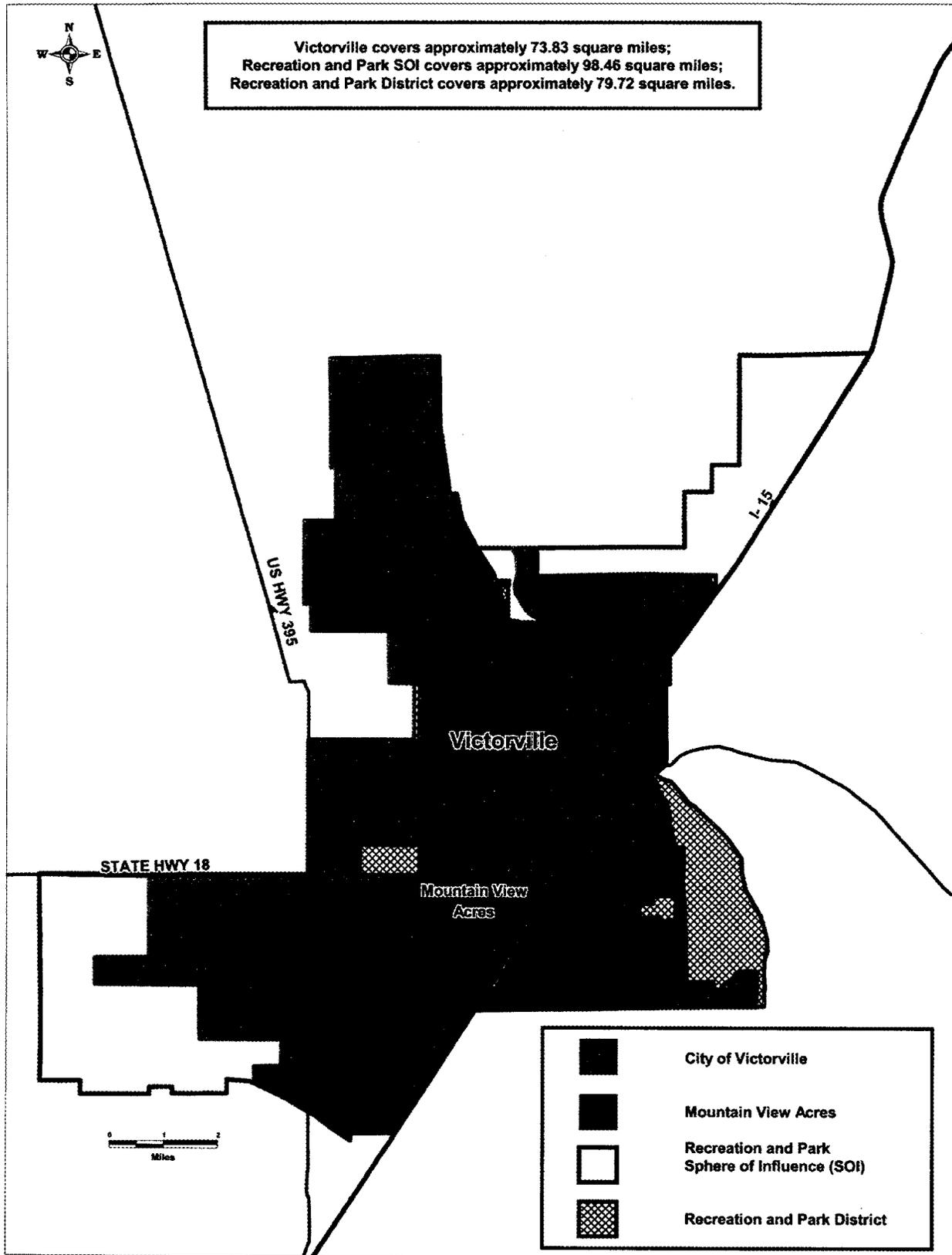
<sup>56</sup> City of Victorville, Community Services Department Master Plan for Parks and Facilities, July 2006.

<sup>57</sup> LAFCO File No. 1677

<sup>58</sup> LAFCO File No. 2833

<sup>59</sup> Population outside city limits was estimated by adjusting 2000 Census for growth through 2006, as projected by the SCAG RTP 2004.

**Figure 3:  
Victorville Recreation and Park District and Sphere of Influence**



## SERVICE DEMAND

Demand for parks and recreation services has grown tremendously due to the tremendous population growth in and around Victorville. Recreation program attendance has grown nearly fifty percent in the five years between FY 1999-00 and FY 2004-05, from 40,000 attendees to 59,000 attendees, and is likely to continue to grow rapidly. VRPD does not track park attendance.

The District gauges service needs based upon citizen participation in parks and recreation programming and the City's growing population and changing demographics. The District regularly reviews its staffing and programming needs, and adds new classes and programs annually to meet the City's recreation needs.<sup>60</sup> The District reviews to determine that it is providing optimal service levels, and will maintain current levels of service through the transfer, with plans to accommodate future service demand as described in the Master Plan for Parks and Facilities, most recently updated in July 2006.

## SERVICE LEVEL

The City currently has 2.1 park acres per 1,000 residents within City limits. The park service level in the Spring Valley Lake community is ample; residents there have access to private facilities including a 200-acre lake, 164-acre golf course and private parks. In addition, there are 840 acres of regional parkland in the adjacent Mojave Narrows Regional Park.

The service level will increase over time due to growth and City policies. Specifically, new development must finance three park acres per 1,000 new City residents, and the City Master Plan states the goal of having every residence in Victorville within a one-mile radius of a park or open space.<sup>61</sup>

The City's Park Master Plan has established policies and administrative guidelines for developing recreation programs, acquiring parkland and developing parks and facilities, and park maintenance. The Master Plan includes the following goals and guidelines:

- The Department shall continually seek to acquire property conducive to development of park and recreation facilities and programs using methodology that reflects the best use of public resources.
- The Department shall continually examine the park facilities to ensure optimum effectiveness in condition and usability. The Department will further ensure that

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<sup>60</sup> City of Victorville, Community Services Department.

<sup>61</sup> City of Victorville, Community Services Department Master Plan, July 2006.

all parks are developed to their full potential in accordance with the City's Master Plan and this Departmental Master Plan.

- The Department shall provide well-maintained parks and open space areas, including a water program, utilizing current technologies in water management, in conjunction with local water agencies, to include up-to-date low water usage irrigations systems and the use of drought tolerant plants requiring less water.
- The Department shall identify the recreational needs of the community based upon citizen participation. Continual monitoring of the needs shall be performed to adapt to significant population and demographic changes.
- The Department shall endeavor to provide programs for the youth, teens, adults, seniors, the disabled and families.
- The Department shall work with local agencies, youth groups, volunteer and non-profit organizations, and school districts on joint use projects and mutually beneficial opportunities.
- The Department shall operate all of its programs and activities at optimal levels of efficiency and effectiveness.
- The Department shall continually inform the public of its programs, activities, and facilities through print media, electronic communication and face-to-face opportunities.
- All of the communication between the Department and the public shall be handled in a positive, enthusiastic customer service oriented manner.
- The Department shall work with school districts and other local agencies to develop sites that are of mutual benefit through joint use agreements.
- The Department shall continue to seek funding for park and recreation facilities and programs from all available sources, including but not limited to public and private grants, donations and gifts, fund raising, equitable user charges, and Developer Impact Fees.
- The Department shall continue to use alternative work forces to supplement City work personnel, such as the California Conservation Corps, volunteer groups, and court workers.
- The Department shall continue to work with utility companies to ensure effective use of energy today and the most efficient conservation of energy in the future.

## ADMINISTRATION & STAFFING

VRPD does not directly employ its own staff, but is instead managed and staffed by City employees. As an accounting fund, VRPD reimburses the City for the pro-rated portion of City employee time spent on managing and operating the park and recreation system.

VRPD is staffed by the City's Community Services Department, as shown in **Table 7**, which is overseen by the City Council, City Manager, and the Community Services Advisory Committee.

**Table 7: Victorville Recreation and Park District Staff**

The Department is managed by the Director and Assistant Director of Community Services, and has five divisions: Recreation, Parks and Open Space, Facilities, Development, and Support Services.

The Recreation division provides classes, programs, adult and youth sports, aquatics, health and fitness programming, performing arts, and special events. The Parks and Open Space division provides operations and maintenance for parks, projects, and auxiliary labor. The Facilities division provides construction, projects, repairs, property management, and operations and maintenance. The Development division handles land acquisition, project design, grants, projects, and historic preservation. Finally, the Support Services division handles research, contracts, and administration for the Department.<sup>62</sup>

Full Time Positions	FTE
Director of Community Services	0.63
Asst. Director of Community Services	0.20
Facilities Manager	0.50
Park & Facility Development Manager	1.00
Recreation Services Mgr.	1.00
Recreation Supervisor	3.00
Golf & Grounds Manager	0.31
Maintenance Supervisor	1.08
Management Technician	1.44
Administrative Secretary	0.82
Recreation Coordinator	2.00
Leadworker	3.19
Maintenance Worker III	1.10
Maintenance Worker II	6.15
Maintenance Worker I	14.25
Secretary I	2.14
Clerk Typist	1.22
Account Clerk	1.00
Junior Account Clerk	1.00
Drafting Technician	1.00
<b>Total</b>	<b>43.03</b>

Source: City of Victorville, Proposed Budget 2006-2007

As the District is a subsidiary district of the City of Victorville, there will be no transfer of administration or staff.

## FACILITIES

The Community Services Department develops and maintains facilities covering approximately 198 acres of parkland with numerous amenities including activity rooms, sports fields, play equipment, community centers, swimming pools and other recreational resources such as picnic areas and amphitheaters, as shown in **Table 8**. The Department oversees three types of parks, including small neighborhood parks, larger community parks and citywide parks, and has partnered with schools, through the use

<sup>62</sup> City of Victorville, Community Services Department.

of joint use agreements, to allow use of their open space areas by the public during non-school hours.

The City currently shares several park facilities with other agencies through joint use agreements, such as local school districts, and is working with additional school districts and Victor Valley College to find additional sites and facilities to co-develop. The Department will soon have two traveling "Recreation Centers" that will visit park sites that do not have in-house recreation centers to improve citizen access to recreation facilities.<sup>63</sup>

VRPD's park and recreation facilities are reviewed regularly for needed upgrades. VRPD currently has plans for various upgrades to the following sites and facilities, as part of its efforts to meet the growing needs of the City of Victorville. These upgrades are detailed in **Table 9** below.

#### New Facilities

With planned growth, the City has identified 121.1 acres for additional park and recreation facilities that are currently in development, including joint use agreements with local school districts<sup>64</sup>. The City has also identified 620 additional acres for future purchase and development, which are detailed in **Table 10** below. The Community Services Department estimates that \$82.7 million in park facilities is needed for planned growth through 2020, and that development of all 620 acres it has identified for potential development will cost approximately \$450,000,000 through the year 2025.<sup>65</sup>

VRPD is now focusing on larger parks (ten to sixty acres) rather than smaller neighborhood parks (one to five acres), with the intent to maintain and develop parks that serve larger communities and the entire City's needs, with better amenities, more open and green spaces, and larger sports facilities. Operation and maintenance of larger parks uses the City's available resources more effectively.<sup>66</sup> As development occurs within the SOI expansion area, park and open space may be developed along the Mojave River and the I-66 corridor to serve growing demand.<sup>67</sup>

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<sup>63</sup> City of Victorville, Community Services Department.

<sup>64</sup> Ibid.

<sup>65</sup> City of Victorville, Community Services Department Master Plan for Parks and Facilities, July 2006

<sup>66</sup> City of Victorville, Community Services Department Master Plan, July 2006.

<sup>67</sup> Interview with Jon Gargan, Director of Community Services, City of Victorville.

**Table 8: Victorville Recreation and Park District Facilities**

Name	Location	Amenities	Acres
<b>Parks</b>			
Avalon Park	16338 Avalon Drive	Basketball Courts, Barbeques, Covered Picnic Tables, Open Grass, Play Equipment, Restrooms, Volleyball	4.1
Brentwood Park	14026 Hook Blvd.	Baseball Fields, Basketball Courts, Barbeques, Open Grass, Picnic Tables, Restrooms*, Play Equipment	7.9
Center Street Park	15413 Center St.	Baseball Fields, Basketball Courts, Barbeques, Covered Picnic Tables, Open Grass, Play Equipment, Restrooms, Volleyball	5.45
Doris Davies Park	16300 Pebble Beach Dr.	Baseball Fields, Basketball Courts, Barbeques, Covered Picnic Tables, Open Grass, Horseshoe, Picnic Tables, Play Equipment, Tennis Courts, Restrooms, Volleyball	24
Eagle Ranch Park	12587 Eagle Ranch Pkwy.	Baseball Fields, Basketball Courts, Barbeques, Open Grass, Picnic Tables, Play Equipment, Restrooms*, Volleyball	6.5
Eva Dell Park	15714 First St.	Baseball Fields, Basketball Courts, Barbeques, Open Grass, Picnic Tables, Play Equipment, Restrooms	13
Forrest Park	16858 D St.	Picnic Tables, Play Equipment, Restrooms	1.25
Grady Trammel Park	17184 Stoddard Wells Rd.	Baseball Fields, Basketball Courts, Covered Picnic Tables, Play Equipment, Restrooms, Volleyball	2.66
Hollyvale Park	12773 Sycamore St.	Basketball Courts, Barbeques, Open Grass, Picnic Tables, Play Equipment	2.5
Hook Park	14973 Joshua St.	Baseball Fields, Basketball Courts, Open Grass, Restrooms, Barbeques, Picnic Tables, Play Equipment	28.35
Liberty Park	13016 Amethyst Rd.	Baseball Fields, Barbeques, Open Grass, Picnic Tables, Play Equipment, Restrooms, Volleyball	10

Mesa Linda Park	13151 Mesa Linda Rd.	Basketball Courts, Barbeques, Amphitheater, Open Grass, Picnic Tables, Play Equipment, Restrooms, Volleyball	10
Mojave Vista Park**		Baseball Fields, Barbeques, Covered Picnic Tables, Open Grass, Play Equipment, Restrooms	10
Old Victor Park	15476 Sixth St.	Basketball Courts, Open Grass, Picnic Tables, Play Equipment	2
Parkview Park	13427 Cahuenga Rd.	Basketball Courts, Open Grass, Play Equipment	4.88
Rockview Nature Park	17800 National Trails Hwy.	Activity Rooms, Gazebo, Open Grass, Kitchen, Amphitheater, Picnic Tables, Play Equipment, Restrooms	52
Schmidt Park	SCLA - George Blvd.	Basketball Courts, Barbeques, Covered Picnic Tables, Open Grass, Horseshoes, Restrooms, Tennis Courts	9
Village Park/Pool	15720 Eto Camino Rd.	Activity Rooms, Covered Picnic Tables, Swimming Pool, Play Equipment, Basketball Courts*	2.8
<b>Community Centers</b>			
Activities Center	15075 Hesperia Rd.	Activity Rooms, Restrooms, Stage	NA
Hook Community Center	14973 Joshua St.	Activity Rooms, Gym, Restrooms, Stage	NA
Westwinds Activity Ctr.	18040 George Blvd.	Activity Rooms, Gym, Basketball Courts*, Volleyball*, Restrooms, Picnic Tables*, Barbeques*	NA
Westwinds Sports Center	18241 George Blvd.	Activity Rooms, Baseball Fields, Gym, Racquetball, Restrooms, Exercise Equipment	2.34

Sources: City of Victorville, Community Services Department, Master Plan for Parks and Facilities, July 2006.

\*Planned for 2006/2007

\*\*Completed. Will open in Sept./Oct. 2006.

**Table 9: Planned Upgrades to Existing Park and Recreation Facilities**

<b>Parks</b>	<b>Planned Upgrades</b>
Eagle Ranch Park	Restrooms
Eva Dell Park	Property, development, equipment
Hook Park	Upgrade parking lot, landscape
Pebble Beach Park	Expand, renovate Rec Center
Rockview Park	Property acquisition, development
Mesa Linda Park	Develop, improve, equip site
Village Park/Pool	Basketball courts
Westwinds Activity Center	Develop site and expand buildings, including adding basketball and volleyball courts, picnics tables, and barbecues. Will be incorporated into future George Community Park.
Westwinds Sports Center	Develop site and expand buildings. Will be incorporated into future George Community Park.
<b>Non-Programmed Sites &amp; Facilities Under Consideration</b>	
West of 395 Sites	Land acquisition, develop, equip, construct community center and pool
Seneca Site	Develop, improve, equip site
Northwest Site(s)	Property, development, equipment
Southwest Site(s)	Property, development, equipment
Source: Victorville Development Impact Fee Update Study, May 2005 and City of Victorville, Community Services Department, Master Plan for Parks and Facilities, July 2006.	

**Table 10: Future Park and Recreation Facilities**

Name	Planned Amenities	Acres
<b>Sites</b>		
Sunset Ridge Park	Will include a community center, lighted tennis courts, play area, basketball and volleyball courts, restrooms, and a concession and maintenance building. Anticipated completion in 2006.	17.5
Traveling "Recreation Centers"	Traveling "recreation centers" will travel to park sites that do not have on-site recreation facilities.	N/A
"New" Goodwill Education Center Site	Joint use agreement with Victor Valley Union High School District.	10
"New" Junior High School Site	Joint use agreement with Victor Valley Union High School District.	7.6
Green Tree Clubhouse Facility & Driving Range	Will include banquet rooms, full-service dining facilities, a bar & grill, a pro shop, and a netted driving range. Anticipated completion in 2007.	N/A
Crossings Site	Adjacent to Snowline School District location.	10
Dos Palmas Site		10
George Community Park	Will incorporate Schmidt Park, Westwinds Activity Center, and Westwinds Sports Center. Joint use agreement with Adelanto School District.	56
Lewis Development Site	Adjacent to Snowline School District location.	10
Sources: City of Victorville, Community Services Department, Master Plan for Parks and Facilities, July 2006 and Victorville Development Impact Fee Update Study, May 2005		

## FINANCING

### Capital Financing

Development impact fees finance the costs of constructing new park and recreation facilities within city limits. Development impact fees are expected to finance 98 percent of the costs of VRPD's planned park and recreation development.<sup>68</sup> These costs include land acquisition, facility construction, and equipment. New development outside the city limits does not contribute capital funding to parks projects. Development impact fees for parks and recreation are currently \$4,387.79 per single-family dwelling and \$2,990.28 per multi-family dwelling.<sup>69</sup>

### Operations Financing

Property taxes, general fund transfers and user fees and are the primary revenue sources for financing park and recreation operational costs.

**Table 11: Victorville Recreation and Park District Financial Profile**

	Actuals			Budgeted	Proposed
	FY 02-03	FY 03-04	FY 04-05	FY 05-06	FY 06-07
Revenues	\$3,220,265	\$3,542,314	\$3,963,092	\$5,011,762	\$6,398,554
Property Taxes	\$1,871,727	\$2,014,254	\$2,080,468	\$2,250,250	\$3,250,000
User Fees	\$488,944	\$532,529	\$586,882	\$622,624	\$674,749
General Fund	\$687,646	\$819,946	\$1,119,938	\$2,047,136	\$2,385,283
Expenditures	\$3,215,996	\$3,520,910	\$3,955,075	\$5,011,762	\$6,398,554

Source: City of Victorville Department of Finance

A portion of the property taxes paid by property owners located within VRPD boundaries is distributed to VRPD. Total assessed value within VFPD bounds was \$4.4 billion in FY 2005-06, 19 percent of which originates outside City limits. Property taxes provide approximately 51 percent of VRPD's operations budget. Approximately seven percent of all property taxes generated in the VRPD bounds are distributed to VRPD. In FY 2006-07, VRPD property tax revenue is expected to generate approximately \$3.3 million for financing park and recreation operations.<sup>70</sup> VRPD property taxpayers outside City boundaries may not contribute as much general fund support of park and recreation services as do City residents. Residents in the northern and western SOI areas do not contribute property taxes until they annex to the City.

<sup>68</sup> Victorville Development Impact Fee Update Study, May 2005, p 13.

<sup>69</sup> City of Victorville, Department of Finance

<sup>70</sup> City of Victorville, Proposed Budget FY 2006-07

User fees support park and recreation operations costs. In FY 2006-07, user fees are expected to account for 11 percent of VRPD's operations budget. The City may wish to consider offering discounted recreation fees to residents of the existing City and/or VRPD property taxpayers.

## **TRANSFER OF SERVICES AND FACILITIES**

Upon dissolution of the subsidiary district, the City of Victorville would be designated as successor agency. As the successor agency, the District's assets would transfer to the City, and the Victorville City Council will remain as the governing authority for the District. In addition to assets, all rights, responsibilities, properties, equipment, contracts, obligations, liabilities, and functions of VRPD would transfer to the City.

All previously authorized charges, fees, assessments and taxes would continue. Development impact fees and property taxes would transfer to the City of Victorville. The City would separately maintain such funds in accordance with the provisions of Government Code §57462.

The City of Victorville will continue to provide the current of level of service provided by VRPD to those areas outside the corporate boundaries of the City but within the boundaries of the VRPD at the time of its dissolution, in accordance with the provisions of Government Code §56886.

## VI. REFERENCES

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Mojave Water Agency. *2004 Regional Water Management Plan*. September 2004, adopted February 24, 2005.

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Victor Valley Wastewater Reclamation Authority. *Sewerage Facilities Plan Update, Year 2005 Amendment*. August 2005.

## INTERVIEWS

John Becker, Chief, Victorville Fire Protection District  
Art Bishop, Division Chief, Apple Valley Fire Protection District  
Chris Borchert, Assistant Director of Planning, City of Victorville  
Joe Flores, Public Works Manager, City of Victorville  
Jon Gargan, Director, Victorville Recreation and Park District  
Sean McGlade, City Engineer, City of Victorville  
Adele Mosher, Assistant Director of Finance, City of Victorville  
Doug Robertson, Deputy City Manager, City of Victorville  
Kathleen Rollings-McDonald, Executive Officer, San Bernardino LAFCO

## VII. APPENDIX

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### **Victorville Sanitary District: Justification for Proposal and Preliminary Environmental Description Form**

**INTRODUCTION:** The questions on this form and its supplements are designed to obtain enough data about the proposed project site to allow the Commission, its staff and others to adequately assess the project. By taking the time to fully respond to the questions on the forms, you can reduce the processing time for your project. You may also include any additional information which you believe is pertinent. Use additional sheets where necessary, or attach any relevant documents.

#### **GENERAL INFORMATION**

1. Name of Proposal: *Dissolution of the Victorville Sanitary District*

2. Name of Applicant: *City of Victorville Sanitary District*

Mailing Address:

*14177 McArt Road  
Victorville, CA92392*

Phone: *760.955.5036*

Fax:

E-mail address: *drobotson@ci.victorville.ca.us*

3. General Location of Proposal:

*The location of sanitary services is within city bounds. The district does not include various pockets within City limits, unincorporated islands and unincorporated SOI areas. The sewer service area covers the majority of the City boundary area, with small areas on septic. The Victorville Municipal Code (10.04.020) requires building owners to connect the building with the public sewer at his expense within three years from the availability of the public sewer on his street. Approximately 86.3 percent of all residential dwellings within city limits are sewerred.*

4. Does the application possess 100% written consent of each landowner in the subject territory?

YES \_\_\_ NO X If YES, provide written authorization for change.

5. Indicate the reasons that the proposed action has been requested.  
*The City has recommended dissolution of these districts to simplify accounting, to streamline service provision, and to make local government more transparent to the City's current and future constituents.*
6. Would the proposal create a totally or substantially surrounded island of unincorporated territory? YES \_\_\_ NO X If YES, please provide a written justification for the proposed boundary configuration.

## LAND USE AND DEVELOPMENT POTENTIAL

1. Total land area (defined in acres): *71.65 Square Miles/ 45,856 Acres*
2. Current dwelling units in area: *27,849 (2006)*
3. Approximate current population in area: *93,628 (2006)*
4. Indicate the General Plan designation(s) of the affected city (if any) and uses permitted by this designation(s):

*Permitted uses within the Victorville Sanitary District bounds include residential, commercial, and industrial. For permitted land use in detailed areas within the District, see <http://ci.victorville.ca.us/about/general-plan.html>*

San Bernardino County General Plan designation(s) and uses permitted by this designation(s):

*There is no unincorporated territory within the Victorville Sanitary District bounds.*

5. Describe any special land use concerns expressed in the above plans. *None*
6. Indicate the existing land use.

*Existing land use within the VSD boundaries include residential, industrial, commercial, open space, public institutional, and vacant.*

What is the proposed land use?

*The City's General Plan designates land use for the City and unincorporated areas within the City's existing SOI. The plan has designated 54 percent of the territory as residential, 19 percent industrial, 12 percent commercial, and the remainder for open space, public institutional use and other uses including streets and easements.*

*In the northern SOI expansion area, planned land uses include open space, residential, commercial and industrial.*

7. For a city annexation, State law requires pre-zoning of the territory proposed for annexation. *Not applicable.*

Provide a response to the following:

a. Has pre-zoning been completed? YES X NO \_\_\_

b. If the response to "a" is NO, is the area in the process of pre-zoning?

Identify below the pre-zoning classification, title, and densities permitted. If the pre-zoning process is underway, identify the timing for completion of the process.

*Permitted uses within the Victorville Sanitary District bounds include residential, commercial, and industrial. For permitted land use in detailed areas within the District, see <http://ci.victorville.ca.us/about/general-plan.html>*

8. On the following list, indicate if any portion of the territory contains the following by placing a checkmark next to the item:

- Agricultural Land Uses                       Agricultural Preserve Designation  
 Williamson Act Contract                       Area where Special Permits are Required  
 Any other unusual features of the area or permits required:

9. If a Williamson Act Contract(s) exists within the area proposed for annexation to a City, please provide a copy of the original contract, the notice of non-renewal (if appropriate) and any protest to the contract filed with the County by the City. Please provide an outline of the City's anticipated actions with regard to this contract. *Not applicable. No annexation is proposed.*
10. Will the proposal require public services from any agency or district which is currently operating at or near capacity (including sewer, water, police, fire, or schools)? YES X NO \_\_\_ If YES, please explain.

*The current capacity of the Victor Valley Wastewater Reclamation Authority's regional treatment plant facility is 12.5 million gallons per day (mgd) with a permitted capacity increase to 14.5 mgd in 2007 upon completion of capacity expansion work underway. Further expansion of the facility's capacity began in 2006, during which the facility's*

*capacity is being expanded to 18 mgd. Planned subregional facilities will reduce the service area from which flows are treated at the main treatment plant. Apple Valley and Hesperia flows will be treated at two 4-mgd subregional facilities by 2009. VVWRA anticipates needing treatment capacity for 22 mgd in wastewater flows from the Victorville SOI area by buildout, and plans to expand capacity as needed.*

## ENVIRONMENTAL INFORMATION

1. Provide general description of topography.

*Victor Valley is classified as high desert, the topography is flat and arid with an average elevation of approximately 3,000 feet. The Victorville Planning Area is located on top of a gently sloping alluvial fan situated northeast of the San Bernardino Mountains. Local hydrology is dominated by the Mojave River which drains the mountainous areas located to the south.*

2. Describe any existing improvements on the site as % of total area.

Residential _____%	Agricultural _____%
Commercial _____%	Vacant _____%
Industrial _____%	Other _____%

*Existing land use citywide is diverse, including residential, commercial, industrial, institutional, agricultural, and vacant. As of the most recent occupancy analysis in 2004, 26 percent of planned residential areas were occupied, and 18 percent of planned commercial areas were occupied. Citywide residential occupancy grew 22 percent between 2004 and 2006, according to the California Department of Finance. Commercial activity, as measured by taxable sales, is projected to have grown 42 percent over the same period (24 percent over the most recent known 2-year interval for actual growth between FY 2002-03 and FY 2004-05). Estimated 2006 occupancy for both residential and commercial is 32 percent. Although much residential land is presently vacant, the lions share is in the development pipeline, as shown at <http://ci.victorville.ca.us/city-departments/engineering/pdfs/subactivity.pdf>. Although much of the SCLA area is presently vacant, a specific plan for the area has been adopted and there is substantial activity there in the development pipeline as well. For further details, please contact the Victorville Planning Department.*

3. Describe the surrounding land uses:

*NORTH: mostly vacant, residential and commercial in Oro Grande  
 EAST: residential subdivision with recreational improvements in Spring Valley Lake; 840 acres of regional parkland in the Mojave Narrows Regional Park  
 SOUTH: diverse urban land uses in Hesperia*

WEST: *mostly vacant land, scattered single-family housing and minimal agricultural use in the western SOI area*

4. Describe site alterations that will be produced by improvement projects associated with this proposed action (installation of water facilities, sewer facilities, grading, flow channelization, etc.) *Not applicable.*
5. Will service extensions accomplished by this proposal induce growth on this site?  
YES \_\_\_ NO X  
Adjacent sites? YES \_\_\_ NO X  
Unincorporated \_\_\_ Incorporated \_\_\_
6. Is this project a part of a larger project or series of projects? YES \_\_\_ NO X If YES, please explain.

### NOTICES

Please provide the names and addresses of persons who are to be furnished mailed notice of the hearing(s) and receive copies of the agenda and staff report.

NAME: *Doug Robertson*  
ADDRESS:  
*14343 Civic Drive*  
*Victorville, CA 92393-2399*

TELEPHONE NO.: *760-955-5036*

NAME: *Sean McGlade*  
ADDRESS:  
*14343 Civic Drive*  
*Victorville, CA 92393-2399*

TELEPHONE NO: *760-955-5157*

NAME: *Brian Schneider*  
ADDRESS:  
*14177 McArt Road*  
*Victorville, CA 92392*

TELEPHONE NO:

## CERTIFICATION

I hereby certify that the statements furnished above and in the attached supplements and exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented herein are true and correct to the best of my knowledge and belief.

I understand that if this proposal is approved, the Commission will impose a condition requiring the applicant to indemnify, hold harmless and reimburse the Commission for all legal actions that might be initiated as a result of that approval.

DATE \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE OF APPLICANT

\_\_\_\_\_  
PRINTED NAME OF APPLICANT

\_\_\_\_\_  
TITLE

PLEASE CHECK SUPPLEMENTAL FORMS ATTACHED:

- ANNEXATION, DETACHMENT, REORGANIZATION SUPPLEMENT
- SPHERE OF INFLUENCE CHANGE SUPPLEMENT
- CITY INCORPORATION SUPPLEMENT
- FORMATION OF A SPECIAL DISTRICT SUPPLEMENT
- ACTIVATION OF LATENT POWERS SUPPLEMENT

APPLICATION TO BE SUBMITTED TO:

LOCAL AGENCY FORMATION COMMISSION  
175 WEST FIFTH STREET, SECOND FLOOR  
SAN BERNARDINO, CA 92415-0490  
PHONE: (909)387-5866 ●●FAX: (909) 387-5871  
E-mail address: lafco@lafco.co.san-bernardino.ca.us

## Victorville Sanitary District: Supplement Form Annexation, Detachment, Reorganization Proposals

**INTRODUCTION:** The questions on this form are designed to obtain data about the specific annexation, detachment and/or reorganization proposal to allow the Commission, staff and others to adequately assess the project. You may also include any additional information which you believe is pertinent. Use additional sheets where necessary, and/or include any relevant documents.

1. Please identify the agencies involved in the proposal by proposed action:

*City of Victorville (Successor)  
Victorville Sanitary District (Dissolved)*

2. Will the territory proposed for change be subject to any new or additional special taxes, any new assessment districts, or fees?

*The territory will continue to be subject to sewer service charges and sewer connection fees; these fees are charged on a cost-recovery basis, and may be increased annually to keep pace with service costs. Any unsewered areas may approve assessments to finance conversion from septic systems to the public sewer system.*

3. Will the territory be relieved of any existing special taxes, assessments, district charges or fees required by the agencies to be detached? *No.*

4. Provide a description of how the proposed change will assist the annexing agency in achieving its fair share of regional housing needs as determined by SCAG.  
*Not applicable.*

### 5. PLAN FOR SERVICES

For each item identified for a change in service provider, a narrative "Plan for Service" (required by Government Code Section 56653) must be submitted. This plan shall, at a minimum, respond to each of the following questions and be signed and certified by an official of the annexing agency or agencies.

1. A description of the level and range of each service to be provided to the affected territory.
2. An indication of when the service can be feasibly extended to the affected territory.

3. An identification of any improvement or upgrading of structures, roads, water or sewer facilities, other infrastructure, or other conditions the affected agency would impose upon the affected territory.
4. The estimated cost of extending the service and a description of how the service or required improvements will be financed. A discussion of the sufficiency of revenues for anticipated service extensions and operations is also required.
5. An indication of whether the annexing territory is, or will be, proposed for inclusion within an existing or proposed improvement zone/district, redevelopment area, assessment district, or community facilities district.
6. If retail water service is to be provided through this change, provide a description of the timely availability of water for projected needs within the area based upon factors identified in Government Code Section 65352.5 (as required by Government Code Section 56668(k)).

*See attached plan for service.*

### CERTIFICATION

I hereby certify that the statements furnished above and the documents attached to this form present the data and information required to the best of my ability, and that the facts, statements, and information presented herein are true and correct to the best of my knowledge and belief.

DATE \_\_\_\_\_

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Title

## Victorville Fire Protection District: Justification for Proposal and Preliminary Environmental Description Form

**INTRODUCTION:** The questions on this form and its supplements are designed to obtain enough data about the proposed project site to allow the Commission, its staff and others to adequately assess the project. By taking the time to fully respond to the questions on the forms, you can reduce the processing time for your project. You may also include any additional information which you believe is pertinent. Use additional sheets where necessary, or attach any relevant documents.

1. Name of Proposal: *Dissolution of the Victorville Fire Protection District*
2. Name of Applicant: *City of Victorville Fire Protection District*

Mailing Address:

*PO Box 5001  
Victorville, CA 92392*

Phone: 760.955.5227

Fax:

E-mail address: *fire@ci.victorville.ca.us*

3. General Location of Proposal:

*Services are provided throughout the entire district. The district includes the entire City of Victorville, some territory along I-15 to the northeast of the City, and most of the Coad Road unincorporated island, except for a rail line on the eastern side of the island. The boundary does not include two of the City's islands: the westernmost unincorporated island and the Mountain View Acres unincorporated area. However, the District provides mutual aid assistance to the unincorporated islands and Oro Grande community.*

4. Does the application possess 100% written consent of each landowner in the subject territory?  
YES \_\_\_ NO X If YES, provide written authorization for change.
5. Indicate the reasons that the proposed action has been requested.

*The City has recommended dissolution of these districts to simplify accounting, to streamline service provision, and to make local government more transparent to the City's current and future constituents.*

6. Would the proposal create a totally or substantially surrounded island of unincorporated territory? YES \_\_\_ NO X If YES, please provide a written justification for the proposed boundary configuration.

## LAND USE AND DEVELOPMENT POTENTIAL

1. Total land area (defined in acres): 73.95 Square Miles/47,328 Acres
2. Current dwelling units in area: 28,308 (2006)
3. Approximate current population in area: 95,173 (2006)
4. Indicate the General Plan designation(s) of the affected city (if any) and uses permitted by this designation(s):

*Permitted uses within the Victorville Fire Protection District bounds include residential, commercial, and industrial. For permitted land use in detailed areas within the District, see <http://ci.victorville.ca.us/about/general-plan.html>*

San Bernardino County General Plan designation(s) and uses permitted by this designation(s):

*The unincorporated territory within the Victorville Fire Protection District bounds includes some territory along I-15 to the northeast of the City that is uninhabited, and most of the City's easternmost unincorporated island. San Bernardino County designates the area along I-15 as vacant land, and the unincorporated island as vacant land, Agricultural, Industrial, and Very Low Density Residential, as of December 31, 2004.*

5. Describe any special land use concerns expressed in the above plans. *None*
6. Indicate the existing land use.

*Existing land use within the VFPD boundaries include residential, industrial, commercial, open space, public institutional, and vacant. The Coad Road unincorporated area served by the VFPD is residential, and I-15 area is vacant.*

What is the proposed land use?

*The City's General Plan designates land use for the City and unincorporated areas within the City's existing SOI. The plan has designated 54 percent of the territory as residential, 19 percent industrial, 12 percent commercial, and the remainder for open space, public institutional use and other uses including streets and easements.*

*In the northern SOI expansion area, planned land uses include open space, residential, commercial and industrial.*

7. For a city annexation, State law requires pre-zoning of the territory proposed for annexation. *Not applicable*

Provide a response to the following:

a. Has pre-zoning been completed? YES X NO \_\_\_

b. If the response to "a" is NO, is the area in the process of pre-zoning?

YES \_\_\_ NO \_\_\_

Identify below the pre-zoning classification, title, and densities permitted. If the pre-zoning process is underway, identify the timing for completion of the process.

*Permitted uses within the Victorville Fire Protection District bounds include residential, commercial, and industrial. For permitted land use in detailed areas within the District, see <http://ci.victorville.ca.us/about/general-plan.html>*

8. On the following list, indicate if any portion of the territory contains the following by placing a checkmark next to the item:

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Agricultural Land Uses                           | <input type="checkbox"/> Agricultural Preserve Designation       |
| <input checked="" type="checkbox"/> Williamson Act Contract                          | <input type="checkbox"/> Area where Special Permits are Required |
| <input type="checkbox"/> Any other unusual features of the area or permits required: |  |

9. If a Williamson Act Contract(s) exists within the area proposed for annexation to a City, please provide a copy of the original contract, the notice of non-renewal (if appropriate) and any protest to the contract filed with the County by the City. Please provide an outline of the City's anticipated actions with regard to this contract. *Not applicable. No annexation is proposed.*

10. Will the proposal require public services from any agency or district which is currently operating at or near capacity (including sewer, water, police, fire, or schools)? YES X NO \_\_\_ If YES, please explain.

*Planned growth will generate the need for additional firefighters and fire stations, as well as related property, sales tax and development impact fee financing. The City is planning the*

construction of four new fire stations within the next 10 years, and is adding new fire fighting apparatus to supplement its current equipment and apparatus. The City also plans to add additional apparatus, including a new aerial ladder, and nine personnel, when Station 315 opens at Eucalyptus and Topaz in July 2007.

## ENVIRONMENTAL INFORMATION

1. Provide general description of topography.

*Victor Valley is classified as high desert, the topography is flat and arid with an average elevation of approximately 3,000 feet. The Victorville Planning Area is located on top of a gently sloping alluvial fan situated northeast of the San Bernardino Mountains. Local hydrology is dominated by the Mojave River, which drains the mountainous areas located to the south.*

2. Describe any existing improvements on the site as % of total area.

Residential _____%	Agricultural _____%
Commercial _____%	Vacant _____%
Industrial _____%	Other _____%

*Existing land use citywide is diverse, including residential, commercial, industrial, institutional, agricultural, and vacant. As of the most recent occupancy analysis in 2004, 26 percent of planned residential areas were occupied, and 18 percent of planned commercial areas were occupied. Citywide residential occupancy grew 22 percent between 2004 and 2006, according to the California Department of Finance. Commercial activity, as measured by taxable sales, is projected to have grown 42 percent over the same period (24 percent over the most recent known 2-year interval for actual growth between FY 2002-03 and FY 2004-05). Estimated 2006 occupancy for both residential and commercial is 32 percent. Although much residential land is presently vacant, the lions share is in the development pipeline, as shown at <http://ci.victorville.ca.us/city-departments/engineering/pdfs/subactivity.pdf>. Although much of the SCLA area is presently vacant, a specific plan for the area has been adopted and there is substantial activity there in the development pipeline as well. For further details, please contact the Victorville Planning Department.*

3. Describe the surrounding land uses:

*NORTH: mostly vacant, residential and commercial in Oro Grande  
 EAST: residential subdivision with recreational improvements in Spring Valley Lake; 840 acres of regional parkland in the Mojave Narrows Regional Park  
 SOUTH: diverse urban land uses in Hesperia  
 WEST: mostly vacant land, scattered single-family housing and minimal agricultural use in the western SOI area.*

4. Describe site alterations that will be produced by improvement projects associated with this proposed action (installation of water facilities, sewer facilities, grading, flow channelization, etc.). *Not applicable.*
5. Will service extensions accomplished by this proposal induce growth on this site?  
YES \_\_\_ NO X  
Adjacent sites? YES \_\_\_ NO X  
Unincorporated \_\_\_ Incorporated \_\_\_
6. Is this project a part of a larger project or series of projects? YES \_\_\_ NO X If YES, please explain.

## NOTICES

Please provide the names and addresses of persons who are to be furnished mailed notice of the hearing(s) and receive copies of the agenda and staff report.

NAME: *Doug Robertson*  
ADDRESS:  
*14343 Civic Drive*  
*Victorville, CA 92393-2399*

TELEPHONE NO.: 760-955-5036

NAME: *Chief John Becker*  
ADDRESS:  
*14343 Civic Drive*  
*Victorville, CA 92393-2399*  
[jbecker@ci.victorville.ca.us](mailto:jbecker@ci.victorville.ca.us)

TELEPHONE NO: 760-955-5226

NAME:  
ADDRESS:

TELEPHONE NO:

## CERTIFICATION

I hereby certify that the statements furnished above and in the attached supplements and exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented herein are true and correct to the best of my knowledge and belief.

I understand that if this proposal is approved, the Commission will impose a condition requiring the applicant to indemnify, hold harmless and reimburse the Commission for all legal actions that might be initiated as a result of that approval.

DATE \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE OF APPLICANT

\_\_\_\_\_  
PRINTED NAME OF APPLICANT

\_\_\_\_\_  
TITLE

PLEASE CHECK SUPPLEMENTAL FORMS ATTACHED:

- ANNEXATION, DETACHMENT, REORGANIZATION SUPPLEMENT
- SPHERE OF INFLUENCE CHANGE SUPPLEMENT
- CITY INCORPORATION SUPPLEMENT
- FORMATION OF A SPECIAL DISTRICT SUPPLEMENT
- ACTIVATION OF LATENT POWERS SUPPLEMENT

APPLICATION TO BE SUBMITTED TO:

LOCAL AGENCY FORMATION COMMISSION  
175 WEST FIFTH STREET, SECOND FLOOR  
SAN BERNARDINO, CA 92415-0490  
PHONE: (909)387-5866 ●●FAX: (909) 387-5871  
E-mail address: lafco@lafco.co.san-bernardino.ca.us

## Victorville Fire Protection District: Supplement Form Annexation, Detachment, Reorganization Proposals

**INTRODUCTION:** The questions on this form are designed to obtain data about the specific annexation, detachment and/or reorganization proposal to allow the Commission, staff and others to adequately assess the project. You may also include any additional information which you believe is pertinent. Use additional sheets where necessary, and/or include any relevant documents.

1. Please identify the agencies involved in the proposal by proposed action:

*City of Victorville (Successor)  
Victorville Fire Protection District (Dissolved)*

2. Will the territory proposed for change be subject to any new or additional special taxes, any new assessment districts, or fees?

*The territory will continue to be subject to development impact fees, which finance the construction and equipping of new fire stations. Property taxes allocated to VFPD will be transferred to the successor agency responsible for fire protection — the City.*

3. Will the territory be relieved of any existing special taxes, assessments, district charges or fees required by the agencies to be detached? *No.*
4. Provide a description of how the proposed change will assist the annexing agency in achieving its fair share of regional housing needs as determined by SCAG. *Not applicable.*
5. PLAN FOR SERVICES

For each item identified for a change in service provider, a narrative "Plan for Service" (required by Government Code Section 56653) must be submitted. This plan shall, at a minimum, respond to each of the following questions and be signed and certified by an official of the annexing agency or agencies.

1. A description of the level and range of each service to be provided to the affected territory.

2. An indication of when the service can be feasibly extended to the affected territory.
3. An identification of any improvement or upgrading of structures, roads, water or sewer facilities, other infrastructure, or other conditions the affected agency would impose upon the affected territory.
4. The estimated cost of extending the service and a description of how the service or required improvements will be financed. A discussion of the sufficiency of revenues for anticipated service extensions and operations is also required.
5. An indication of whether the annexing territory is, or will be, proposed for inclusion within an existing or proposed improvement zone/district, redevelopment area, assessment district, or community facilities district.
6. If retail water service is to be provided through this change, provide a description of the timely availability of water for projected needs within the area based upon factors identified in Government Code Section 65352.5 (as required by Government Code Section 56668(k)).

*See attached plan for services.*

## CERTIFICATION

I hereby certify that the statements furnished above and the documents attached to this form present the data and information required to the best of my ability, and that the facts, statements, and information presented herein are true and correct to the best of my knowledge and belief.

DATE \_\_\_\_\_

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Title

## Victorville Recreation and Park District: Justification for Proposal and Preliminary Environmental Description Form

**INTRODUCTION:** The questions on this form and its supplements are designed to obtain enough data about the proposed project site to allow the Commission, its staff and others to adequately assess the project. By taking the time to fully respond to the questions on the forms, you can reduce the processing time for your project. You may also include any additional information which you believe is pertinent. Use additional sheets where necessary, or attach any relevant documents.

1. Name of Proposal: *Dissolution of the Victorville Recreation and Park District*
2. Name of Applicant: *City of Victorville Recreation and Park District*

Mailing Address:

*City Hall Community Services  
14343 Civic Drive  
Victorville, CA 92392*

Phone: 760.955.5256

Fax:

E-mail address: *communityservices@ci.victorville.ca.us*

3. General Location of Proposal:

*The district includes the City of Victorville and the unincorporated communities of Spring Valley Lake and Mountain View Acres. The district territory is approximately 80 square miles and serves an estimated 106,257 residents, as of 2006.*

4. Does the application possess 100% written consent of each landowner in the subject territory?  
YES \_\_\_ NO X If YES, provide written authorization for change.

5. Indicate the reasons that the proposed action has been requested.

*The City has recommended dissolution of these districts to simplify accounting, to streamline service provision, and to make local government more transparent to the City's current and future constituents.*

6. Would the proposal create a totally or substantially surrounded island of unincorporated territory? YES \_\_\_ NO X If YES, please provide a written justification for the proposed boundary configuration.

## LAND USE AND DEVELOPMENT POTENTIAL

1. Total land area (defined in acres): 79.72 Square Miles/ 51,021 Acres
2. Current dwelling units in area: 31,605 (2006)
3. Approximate current population in area: 106,257 (2006)
4. Indicate the General Plan designation(s) of the affected city (if any) and uses permitted by this designation(s):

*Permitted uses within the Victorville Recreation and Park District bounds include residential, commercial, and industrial. For permitted land use in detailed areas within the District, see <http://ci.victorville.ca.us/about/general-plan.html>*

San Bernardino County General Plan designation(s) and uses permitted by this designation(s):

*The unincorporated areas within the Victorville Recreation and Park District bounds include the community of Spring Valley Lake to the east of the City, and the City's three unincorporated islands. San Bernardino County's land use designations for these areas include vacant land, Agricultural, Institutional, Commercial, Residential, Very Low Density Residential, and Industrial uses, as of December 31, 2004.*

5. Describe any special land use concerns expressed in the above plans. *None.*

Indicate the existing land use.

*Permitted uses within the Victorville Recreation and Park District bounds include residential, commercial, and industrial. For permitted land use in detailed areas within the District, see <http://ci.victorville.ca.us/about/general-plan.html>. Land use in the unincorporated areas of Spring Valley Lake and Mountain View Acres is primarily residential.*

What is the proposed land use?

*The City's General Plan designates land use for the City and unincorporated areas within the City's existing SOI, including the unincorporated areas in the Recreation and Park District. The plan has designated 54 percent of the territory as residential, 19 percent industrial, 12 percent commercial, and the remainder for open space, public institutional use and other uses including streets and easements.*

*In the northern SOI expansion area, planned land uses include open space, residential, commercial and industrial.*

6. For a city annexation, State law requires pre-zoning of the territory proposed for annexation. *Not applicable.*

Provide a response to the following:

- a. Has pre-zoning been completed? YES X NO \_\_\_  
b. If the response to "a" is NO, is the area in the process of pre-zoning? YES \_\_\_  
NO \_\_\_

Identify below the pre-zoning classification, title, and densities permitted. If the pre-zoning process is underway, identify the timing for completion of the process.

*Permitted uses within the Victorville Recreation and Park District bounds include residential, commercial, and industrial. For permitted land use in detailed areas within the District, see <http://ci.victorville.ca.us/about/general-plan.html>.*

7. On the following list, indicate if any portion of the territory contains the following by placing a checkmark next to the item:

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Agricultural Land Uses                           | <input type="checkbox"/> Agricultural Preserve Designation       |
| <input checked="" type="checkbox"/> Williamson Act Contract                          | <input type="checkbox"/> Area where Special Permits are Required |
| <input type="checkbox"/> Any other unusual features of the area or permits required: |  |

8. If a Williamson Act Contract(s) exists within the area proposed for annexation to a City, please provide a copy of the original contract, the notice of non-renewal (if appropriate) and any protest to the contract filed with the County by the City. Please provide an outline of the City's anticipated actions with regard to this contract. *Not applicable.*
9. Will the proposal require public services from any agency or district which is currently operating at or near capacity (including sewer, water, police, fire, or schools)? YES X NO \_\_\_ If YES, please explain.

The City currently has 2.1 park acres per 1,000 residents. New growth finances three acres per 1,000 residents through development impact fees. Therefore, buildout capacity is expected to accommodate buildout population. The new Park Master Plan states the goal of having every residence in Victorville within a one mile radius of a park or open space to enhance the quality of life for all Victorville residents, and to be at the forefront of resource conservation in the Victor Valley. The City is developing 121 acres of additional park and recreation facilities, including several in the currently underserved western portion of the City. With expected growth, the City may need 629 additional park acres through buildout to serve currently unincorporated areas in the existing SOI and SOI expansion area. The Park Master Plan has identified 620 additional acres for future purchase and development, which includes joint use agreements with local school districts. The City currently shares several park facilities with other agencies through joint use agreements including 11 parks with local school districts. The City is also working with additional school districts and Victor Valley College to develop future joint use agreements to find additional sites and facilities to co-develop to make better use of taxpayer funds.

## ENVIRONMENTAL INFORMATION

1. Provide general description of topography.

*Victor Valley is classified as high desert, the topography is flat and arid with an average elevation of approximately 3,000 feet. The Victorville Planning Area is located on top of a gently sloping alluvial fan situated northeast of the San Bernardino Mountains. Local hydrology is dominated by the Mojave River, which drains the mountainous areas located to the south.*

2. Describe any existing improvements on the site as % of total area.

*Existing land use citywide is diverse, including residential, commercial, industrial, institutional, agricultural, and vacant. As of the most recent occupancy analysis in 2004, 26 percent of planned residential areas were occupied, and 18 percent of planned commercial areas were occupied. Citywide residential occupancy grew 22 percent between 2004 and 2006, according to the California Department of Finance. Commercial activity, as measured by taxable sales, is projected to have grown 42 percent over the same period (24 percent over the most recent known 2-year interval for actual growth between FY 2002-03 and FY 2004-05). Estimated 2006 occupancy for both residential and commercial is 32 percent. Although much residential land is presently vacant, the lions share is in the development pipeline, as shown at <http://ci.victorville.ca.us/city-departments/engineering/pdfs/subactivity.pdf>. Although much of the SCLA area is presently vacant, a specific plan for the area has been adopted and there is substantial activity there in the development pipeline as well. For further details, please contact the Victorville Planning Department.*

3. Describe the surrounding land uses:

NORTH: *mostly vacant, residential and commercial in Oro Grande*

EAST: *residential subdivision with recreational improvements in Spring Valley Lake; 840 acres of regional parkland in the Mojave Narrows Regional Park*

SOUTH: *diverse urban land uses in Hesperia*

WEST: *mostly vacant land, scattered single-family housing and minimal agricultural use in the western SOI area.*

4. Describe site alterations that will be produced by improvement projects associated with this proposed action (installation of water facilities, sewer facilities, grading, flow channelization, etc.). *None.*

5. Will service extensions accomplished by this proposal induce growth on this site?

YES \_\_\_ NO X

Adjacent sites? YES \_\_\_ NO X

Unincorporated \_\_\_ Incorporated \_\_\_

6. Is this project a part of a larger project or series of projects? YES \_\_\_ NO X If YES, please explain.

## NOTICES

Please provide the names and addresses of persons who are to be furnished mailed notice of the hearing(s) and receive copies of the agenda and staff report.

NAME: *Doug Robertson*  
ADDRESS:  
*14343 Civic Drive*  
*Victorville, CA 92393-2399*

TELEPHONE NO.: *760-955-5036*

NAME: *Jon Gargan*  
ADDRESS:  
*14343 Civic Drive*  
*Victorville, CA 92393-2399*  
[\*jgargan@ci.victorville.ca.us\*](mailto:jgargan@ci.victorville.ca.us)

TELEPHONE NO: *760-955-5256*

NAME:  
ADDRESS:

TELEPHONE NO:

## CERTIFICATION

I hereby certify that the statements furnished above and in the attached supplements and exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented herein are true and correct to the best of my knowledge and belief.

I understand that if this proposal is approved, the Commission will impose a condition requiring the applicant to indemnify, hold harmless and reimburse the Commission for all legal actions that might be initiated as a result of that approval.

DATE \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE OF APPLICANT

\_\_\_\_\_  
PRINTED NAME OF APPLICANT

\_\_\_\_\_  
TITLE

PLEASE CHECK SUPPLEMENTAL FORMS ATTACHED:

- ANNEXATION, DETACHMENT, REORGANIZATION SUPPLEMENT
- SPHERE OF INFLUENCE CHANGE SUPPLEMENT
- CITY INCORPORATION SUPPLEMENT
- FORMATION OF A SPECIAL DISTRICT SUPPLEMENT
- ACTIVATION OF LATENT POWERS SUPPLEMENT

APPLICATION TO BE SUBMITTED TO:

LOCAL AGENCY FORMATION COMMISSION  
175 WEST FIFTH STREET, SECOND FLOOR  
SAN BERNARDINO, CA 92415-0490  
PHONE: (909)387-5866 ●●FAX: (909) 387-5871  
E-mail address: lafco@lafco.co.san-bernardino.ca.us

## Victorville Recreation and Park District: Supplement Form Annexation, Detachment, Reorganization Proposals

**INTRODUCTION:** The questions on this form are designed to obtain data about the specific annexation, detachment and/or reorganization proposal to allow the Commission, staff and others to adequately assess the project. You may also include any additional information which you believe is pertinent. Use additional sheets where necessary, and/or include any relevant documents.

1. Please identify the agencies involved in the proposal by proposed action:

*City of Victorville (Successor)  
Victorville Recreation and Park District (Dissolved)*

2. Will the territory proposed for change be subject to any new or additional special taxes, any new assessment districts, or fees?

*No. The territory within city limits will continue to be subject to development impact fees, which finance the acquisition and development of parkland. Recreation program users, regardless of where they live, will continue to be subject to user fees. Development impact fees and user fees are charged on a cost recovery basis, and increase annually with inflation in service and facilities costs.*

3. Will the territory be relieved of any existing special taxes, assessments, district charges or fees required by the agencies to be detached? *No.*
4. Provide a description of how the proposed change will assist the annexing agency in achieving its fair share of regional housing needs as determined by SCAG. *Not applicable.*
5. PLAN FOR SERVICES

For each item identified for a change in service provider, a narrative "Plan for Service" (required by Government Code Section 56653) must be submitted. This plan shall, at a minimum, respond to each of the following questions and be signed and certified by an official of the annexing agency or agencies.

1. A description of the level and range of each service to be provided to the affected territory.
2. An indication of when the service can be feasibly extended to the affected territory.
3. An identification of any improvement or upgrading of structures, roads, water or sewer facilities, other infrastructure, or other conditions the affected agency would impose upon the affected territory.
4. The estimated cost of extending the service and a description of how the service or required improvements will be financed. A discussion of the sufficiency of revenues for anticipated service extensions and operations is also required.
5. An indication of whether the annexing territory is, or will be, proposed for inclusion within an existing or proposed improvement zone/district, redevelopment area, assessment district, or community facilities district.
6. If retail water service is to be provided through this change, provide a description of the timely availability of water for projected needs within the area based upon factors identified in Government Code Section 65352.5 (as required by Government Code Section 56668(k)).

*See attached plan for services.*

### CERTIFICATION

I hereby certify that the statements furnished above and the documents attached to this form present the data and information required to the best of my ability, and that the facts, statements, and information presented herein are true and correct to the best of my knowledge and belief.

DATE \_\_\_\_\_

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Title

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**AGENDA ITEM**

**CITY COUNCIL MEETING OF: August 15, 2006**

SUBMITTED BY: Jon B. Roberts  
City Manager  
By: Charles J. Buquet  
Risk Manager

DATE: August 8, 2006

SUBJECT: PRESENTATION OF REQUEST FOR DENIAL OF CLAIM AGAINST  
THE CITY NO. 06-07 (JASON PRICE)

RECOMMENDATION: That your Honorable City Council deny Claim No. 06-07  
(JASON PRICE) with referral to staff.

FISCAL IMPACT:

Budget Amount:  
Budget Acct. No.:

---Finance Dept. Use Only---

Additional Appropriation:

No \_\_\_\_\_

Yes \_\_\_\_\_/\$Amt.: \_\_\_\_\_

Finance Director Review &

Approval \_\_\_\_\_

DISCUSSION:

**Claim No. 06-07** was received by the City on July 27, 2006, from attorney Peter Schlueter on behalf of his client Jason Price. This claim is regarding an incident with the Victorville Police Department.

JBR/CJB/mw  
Attachments

7-27-06 4:15 pm  
Demo me

06-07

# City of Victorville

## CLAIM AGAINST COUNTY OF SAN BERNARDINO (CLAIM FORM MUST BE FILLED OUT PROPERLY OR CLAIM WILL BE RETURNED WITHOUT FILING)

DATE: 7-27-06

~~San Bernardino~~ **City of Victorville**

Claim is hereby made against the ~~County of the County of San Bernardino~~, State of California, as follows:

- Less than \$10,000 - State the total amount claimed \$ \_\_\_\_\_
- More than \$10,000 - Check one of the boxes:
  - Municipal Court Jurisdiction (\$10,000 - \$25,000)
  - Superior Court Jurisdiction (\$25,001 and up)

DOB: 7-26-81

Claimant makes the following statements in support of the claim:

1. Name of Claimant: Rason Price  
First Middle Last (Area Code and Phone No.) 909 381-4888

2. Address of Claimant: 13004 San Miguel ave CA  
Street City Zip Code

3. Notices concerning claim should be sent to:  
PETER SCHLUETER 320 W. E ST. #210 92401 (909) 381-4688  
Name Address Zip Code (Area Code and Phone No.)

4. Circumstances giving rise to claim are as follows: Unknown African American female Deputy shot Rason Price without legal cause, in violation of his civil rights (US, state) Price was shot in back of leg; Price was arrested with no legal cause or PC present; Detention unlawful Price not a suspect; See Attached Med reports, Police Reports, Forced Blood

5. Date, Time and Place (city, street, cross-street) damage occurred and nature thereof:  
1/27/06 at approx 18:45; Bear Valley & Stonegate Dr 13610 Bear Valley Rd, Vic. CA, 13665 Agate Cr, Vic. (initial all) (Shooting occurred around)

6. Public property and/or public officers or employees causing injury, damage or loss:  
unknown ofc

7. Name, address and telephone number of witnesses: See Report 170601360 Det S Fisk (? speed); off R Conley

8. Basis of computation of claimed amount is as follows: Claim over 10k

Medical expenses to date	<u>TBD</u>	Loss wages	<input checked="" type="checkbox"/> <u>? Future TBD</u>
Estimated future medical expenses	<u>TBD</u>	General damages	<u>TBD</u>
Other expenses	<u>TBD</u>	Property damage	<u>TBD</u>
Other damages	<u>TBD</u>		

P. Schluter  
Claimant or Representative (Signature)

By Attorney 155880

PSa

Attachments -  
**RETURN COMPLETED FORM TO:**  
Risk Management Division - County of San Bernardino, State of California  
222 W. Hospitality Lane, 3<sup>rd</sup> Floor  
San Bernardino, CA 92415-0016

Office: (909) 386-8631  
Fax: (909) 386-8670



**AGENDA ITEM**

CITY COUNCIL MEETING OF; AUGUST 15, 2006

SUBMITTED BY: Carolee Bates  
City Clerk

DATE: 8/7/06

SUBJECT: PRESENTATION OF REPORTS BY COUNCIL MEMBERS

RECOMMENDATIONS: N/A

FISCAL IMPACT: N/A

Budget Amount:  
Budget Account No.:

DISCUSSION: In the event Councilmembers have matters on which they wish to report, or desire direction from Council, those matters may be discussed at this time.

<p>--Finance Dept. Use Only-- Additional Appropriation:</p> <p>_____ No _____ Yes/\$Amount</p> <p>Finance Director Review and Approval _____</p>
--

CB/dl

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