

# **OLD TOWN SPECIFIC PLAN**

April 1995

Prepared by the  
City of Victorville Planning Department

# OLD TOWN SPECIFIC PLAN

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## TABLE OF CONTENTS

### INTRODUCTION

Initiation of the Specific Plan . . . . .	1
Authority for the Specific Plan . . . . .	1
Project Location . . . . .	1
Community Setting . . . . .	1
Intent and Purpose . . . . .	3
Goals . . . . .	3
Vision Statement . . . . .	3
Relationship to General Plan . . . . .	4
Relationship to Zoning Ordinance . . . . .	8
Relationship to Other Plans . . . . .	9
Development Project Consistency with Specific Plan . . . . .	9

### ENVIRONMENTAL CONTEXT

Purpose . . . . .	10
Topography . . . . .	10
Hydrology . . . . .	11
Wildlife/Vegetation . . . . .	12
Air Quality . . . . .	13
Paleontology and Archaeology . . . . .	13
History . . . . .	14
Noise . . . . .	15
Land Use . . . . .	17
General Plan/Zoning . . . . .	18
Circulation . . . . .	18
Public Services . . . . .	19
Public Utilities . . . . .	20
Recreation and Parks . . . . .	20
Waste Disposal . . . . .	21

### LAND USE PLAN

Purpose . . . . .	23
<b>Store Front Commercial District (SFC)</b> . . . . .	25
Intent . . . . .	25
Objectives . . . . .	25
Permitted Uses . . . . .	26
Conditional Uses . . . . .	27
Accessory Uses . . . . .	28
Special Regulations . . . . .	29
Building Site Area . . . . .	30
Floor Area Ratio . . . . .	30
Outdoor Use Areas . . . . .	30
Building Height . . . . .	31
Height Limit Exemptions . . . . .	32

Height Limit Exemptions.....	32
Building Concept.....	32
Parking.....	34
Signs.....	36
Projections, Fences, Walls and Hedges.....	38
Site Plan Requirement.....	39
<b>Service Commercial District (S-C).....</b>	<b>40</b>
Intent .....	40
Objectives .....	40
Permitted Uses .....	40
Conditional Uses .....	41
Accessory Uses.....	42
Special Regulations .....	42
Building Site Area .....	42
Floor Area Ratio .....	43
Yards .....	43
Building Height.....	43
Height Limit Exemptions.....	44
Building Concept.....	44
Parking.....	46
Signs.....	47
Projections, Fences, Walls and Hedges.....	50
Site Plan Requirement.....	51
<b>Residential Single Family District (R-S).....</b>	<b>52</b>
Intent .....	52
Objectives .....	52
Minimum Dwelling Unit Area .....	52
Permitted Uses .....	52
Conditional Uses .....	53
Accessory Uses.....	53
Building Site Area .....	53
Floor Area Ratio .....	53
Outdoor Use Areas .....	54
Building Height.....	54
Height Limit Exemptions.....	55
Building Concept.....	55
Parking.....	56
Signs.....	56
Projections, Fences, Walls and Hedges.....	57
Recreational Living Space.....	58
<b>Residential Apartment District (R-A).....</b>	<b>59</b>
Intent .....	59
Objectives .....	59
Minimum Dwelling Units Area .....	59
Density Bonuses.....	60

Permitted Uses .....	60
Conditional Uses .....	60
Accessory Uses .....	60
Building Site Area .....	61
Floor Area Ratio .....	61
Outdoor Use Areas .....	61
Building Height.....	61
Height Limit Exemptions.....	62
Building Concept.....	62
Parking.....	63
Signs.....	63
Projections, Fences, Walls and Hedges.....	64
Recreational Living Space.....	65
Site Plan Requirement.....	67

**GENERAL SIGN REGULATIONS**

Definitions .....	68
Permanent Signs .....	70
Temporary Signs .....	71
Prohibited Signs .....	71
Signs on Municipal Properties and Public Rights-of-way .....	71
Public Signage .....	71
Freeway Signs .....	71

**GENERAL PARKING REGULATIONS**

Purpose.....	74
Parking - Existing Conditions.....	74
Future Parking Improvements .....	75

**GENERAL REGULATIONS**

Temporary Uses .....	78
Single Room Occupancy Developments .....	78
Nonconforming Uses and Buildings .....	78
Recycling .....	79
Trash/Recycling Enclosures.....	79
Recycling Facilities .....	79

**CIRCULATION PLAN**

Introduction.....	80
Existing Traffic Patterns .....	80
Street Classification System .....	82
Public Transportation - Existing Conditions .....	84
Improvement Plan.....	84
Facilities Development Standards .....	84

Transit Center .....	86
Sidewalks .....	86
Public Right-of-way Landscaping Program .....	88
Street Lighting System .....	88

**INFRASTRUCTURE PLAN**

Water Systems .....	92
Sewer System .....	94
Storm Drainage System .....	95

**UTILITY PLAN**

Electric .....	96
Natural Gas .....	96
Telephone .....	97
Cable Television.....	97

**FINANCING PLAN**

Introduction.....	98
Assessment Districts .....	98
Measure I Local Pass-Through Funds.....	100
Sanitary District .....	100
Community Development Block Grants .....	100
Community Re-investment Act .....	101
Redevelopment Agency .....	101
Gas Tax Street Improvement Fund.....	101
Small Business Administration Loans .....	101
Traffic Safety Fund .....	102
Storm Drainage Fee.....	102
Development Impact Fee.....	102
Public Improvements .....	102

**SPECIFIC PLAN ADMINISTRATION**

Enforcement Procedures .....	104
Changes in the Specific Plan .....	104
Specific Plan Amendments .....	105
Specific Plan Provisions.....	105

**APPENDIX A**

Unreinforced Masonry Buildings.....	107
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**APPENDIX B**

Existing Land Uses .....	111
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# **INTRODUCTION**

# 1. INTRODUCTION

## 1.1 Initiation of the Specific Plan Process

The Old Town Specific Plan was initiated to implement The Old Town Community Plan Element.

## 1.2 Authority for the Specific Plan

The adoption of this specific plan by the City of Victorville is authorized by Section 65450 et seq. of the California Government Code. The Government Code authorizes cities or counties to prepare, adopt and administer specific plans for portions of their jurisdictions as a means of implementing the General Plan.

## 1.3 Project Location

The Old Town Specific Plan encompasses an area of 173 acres and is located within the City of Victorville West of and abutting Highway 18 and South East of Interstate 15 (see Exhibit 1). This specific plan applies only to that property within the City of Victorville known as "The Old Town," the boundaries of which are shown in Exhibit 2, Page 2.

## 1.4 Community Setting

The Victor Valley lies in the southwestern portion of the Mojave Desert in San Bernardino County, approximately 97 miles northeast of Los Angeles and approximately 40 miles northwest of the City of San Bernardino.

Victorville is in the center of the Victor Valley, which also contains the cities of Adelanto, Hesperia, Victorville, the Town of Apple Valley and the unincorporated communities of Lucerne Valley, Oro Grande and Phelan. The 1994 population of the Victor Valley is approximately 230,000 (San Bernardino County Planning Department). The City of Victorville's population is estimated to be 57,000 (Planning Department). The City has grown at an average rate of 10.8% over the past five years (1989-1994). The highest growth rates were experienced in the late 1980's with a dramatic reduction in 1991. The growth rate has continued to decline, as noted by the 1993-1994 growth rate of 6%. Non-manufacturing industries provide a large portion of the employment opportunities in the Victorville area. Among the non-manufacturing employers are the School Districts, Contel Company, Victor Valley Hospital, Roadway Express, and Southern California Edison. Major manufacturing industry employers in the Victor Valley include Southwestern Portland Cement Company, Riverside Cement and Gypsum, AFG Industries, Pfizer, Inc., Hi-Grade Materials, and Mitsubishi Cement.

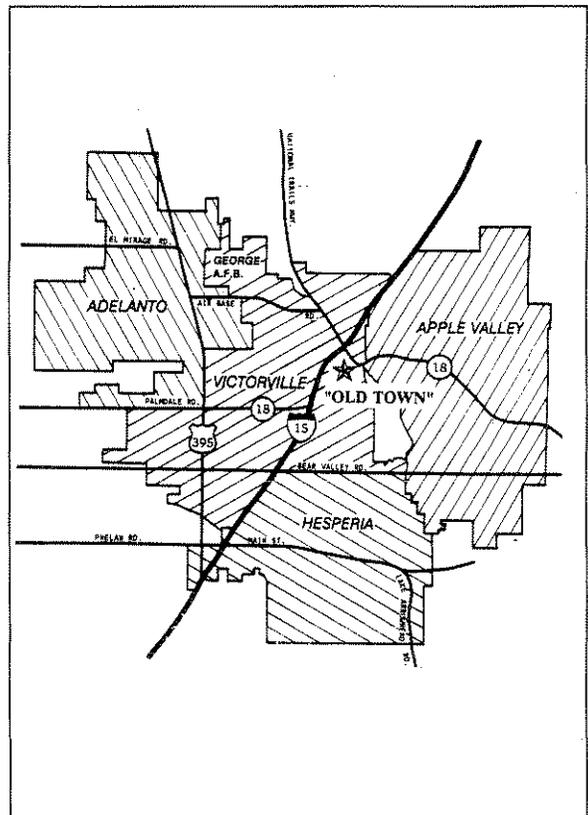


EXHIBIT 1



The Old Town area functioned as the City's downtown until the mid-1960's. The construction of the Interstate 15/Palmdale Road/Seventh Street intersection created an easily accessible, highly visible intersection. This encouraged the relocation of downtown businesses to this intersection as well as new development. In addition, the continued growth of surrounding communities further dispersed commercial uses to other regional transportation routes such as Bear Valley Road and its intersection with Interstate 15. The development of The Mall of Victor Valley further reduced the number of persons patronizing businesses in the downtown area. The downtown areas inability to compete with newer commercial centers is due to its uncentralized location and existing pattern of development which has resulted in vacant deteriorating commercial structures.

### **1.5 Intent and Purpose**

The purpose of The Old Town Specific Plan is to serve as a tool for the implementation of The Old Town Community Plan Element and all related policies of the Victorville General Plan. The specific plan also serves to create standards which enable the City to assess and ensure that new uses and developments, both public and private, further the goals, objectives and policies of The Old Town Community Plan Element. The Old Town Specific Plan is both a regulatory and policy document. The specific plan will serve as the zoning ordinance for the properties within its boundary. The plan will include policies which provide the rationale for development standards found within the document.

### **1.6 Goals**

The following goals provide public and private policy direction for revitalization efforts within the Old Town community.

- A. Recognize that the traditional downtown Victorville no longer functions as such and should be recognized as a unique, historic old town area.
- B. Any revitalization effort should recognize the need to integrate physical development with economic and social programs.
- C. Revitalization of the Old Town should be centered upon existing infrastructure and parcel configuration which emphasize a unique pedestrian-oriented environment.
- D. Consideration should be given to a market study which could more accurately assess and define business opportunities in order to ensure the success of private business revitalization in the Old Town.

### **1.7 Vision Statement**

The key to revitalization of The Old Town is to create an atmosphere which attracts people, activities and commerce back to the area. The Old Town cannot compete with regional shopping centers, nor will it function as a downtown. The Old Town must rely upon and emphasize existing infrastructure and lot configuration to create a pedestrian-oriented environment unique to the Victor

## **INTRODUCTION**

Valley. The area is divided into four different land use designations consisting of two commercial districts and two residential districts (see Exhibit 3, Page 5).

The focal point of this plan is the commercial area along Seventh Street (SFC District). This area will encourage mixed use developments consisting of ground floor retail commercial uses with upper floor residences, emphasizing pedestrian access. This area will function to attract shoppers and business activity. The ground floor shops would provide specialty services and retail products. The mix of upper floor living quarters will maintain activity into the evening hours while providing a type of alternative housing not currently available anywhere else in the City. These units may also provide housing for shop owners enabling them to be close to home and family. The establishment of government offices, a post office, or other public service uses would also attract persons to The Old Town area, as well as enhance activity as employees seek services during lunch and after working hours.

The commercial area along Highway 18 (S-C District) will accommodate transportation systems and travelers. Highway 18 already functions as a well-established route for access to Hesperia Road, Seventh Street and Interstate 15. Therefore, as The Old Town develops into a point of destination, Highway 18 would continue to function as a means of access to the area. Development of the Transit Center will accommodate train and various bus services as well as private vehicles in the form of a park-n-ride facility.

The residential districts (R-S and R-A) will provide a balanced mix of housing types to accommodate traditional households and non-traditional households such as single parents and occupants. Residential districts will de-emphasize the automobile and encourage outdoor activity and pedestrian mobility.

The Old Town has the potential to achieve human scale and accommodate pedestrian mobility through the application of development standards favoring low scale, low rise structures, porches and balconies as well as streets featuring wide sidewalks and clearly marked pedestrian crossings. The addition of street trees, street furniture, lights, signage and building facade designs unified under a coordinated design guideline will create a sense of place for The Old Town.

### **1.8 Relationship to General Plan**

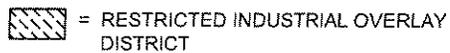
This specific plan was prepared to serve as an implementation device for The Old Town Community Plan Element as well as all other applicable goals and policies of the City of Victorville General Plan. The following is a summary discussion of the relationship of this specific plan to the various elements of the City's General Plan organized as follows:

- Community Development Element
- Housing Element
- Circulation Element
- Safety Element
- Environmental Resource Element
- Noise Element
- Old Town Community Plan Element

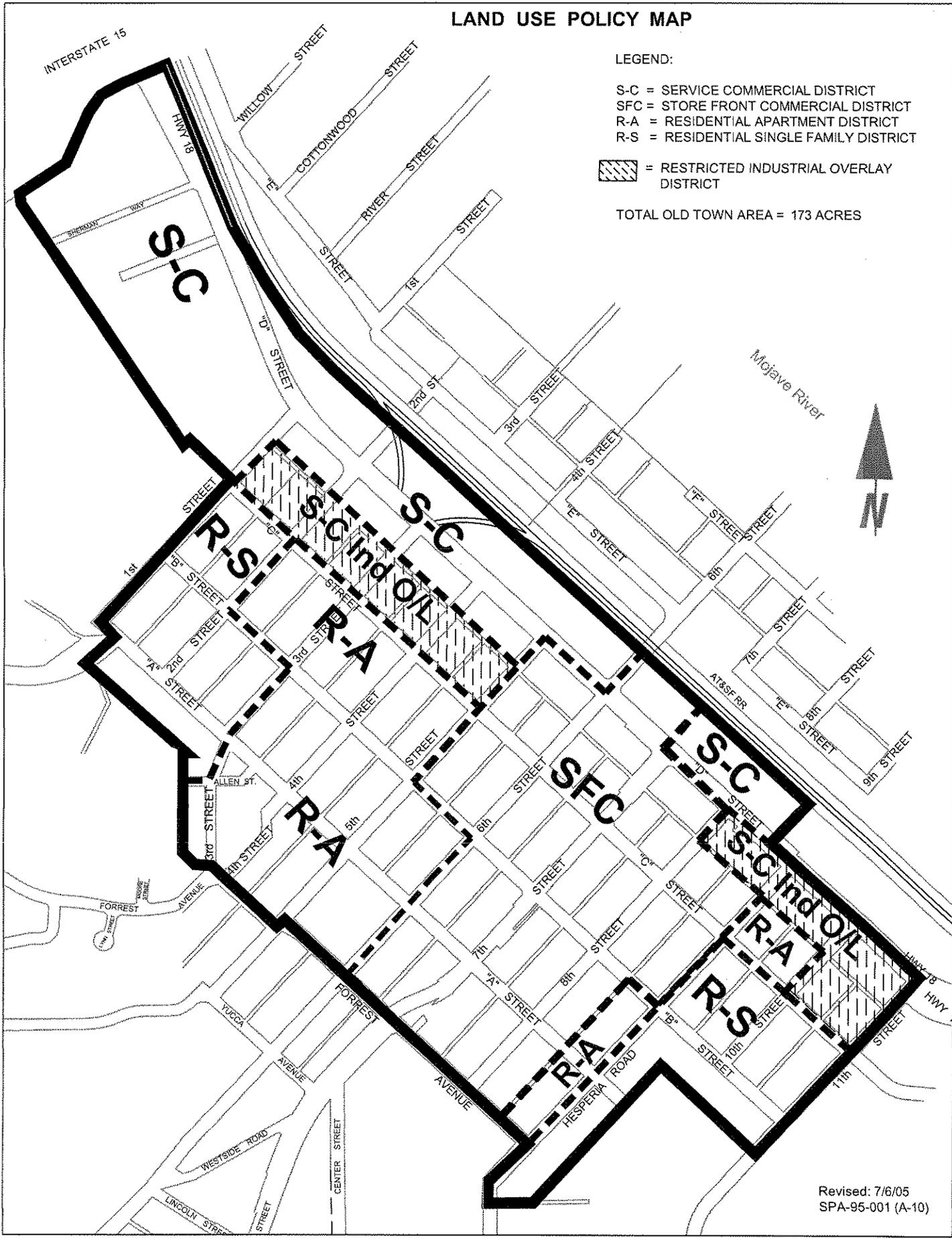
# LAND USE POLICY MAP

## LEGEND:

- S-C = SERVICE COMMERCIAL DISTRICT
- SFC = STORE FRONT COMMERCIAL DISTRICT
- R-A = RESIDENTIAL APARTMENT DISTRICT
- R-S = RESIDENTIAL SINGLE FAMILY DISTRICT



TOTAL OLD TOWN AREA = 173 ACRES



Revised: 7/6/05  
SPA-95-001 (A-10)

A. Community Development Element

The Community Development Element is the most comprehensive element in the City's General Plan. This element establishes the future development patterns desired by the community through provision of land use designations and development standards. This specific plan is consistent with the Community Development Element of the General Plan since it establishes land use districts and development standards which include the intensity and density of commercial and residential uses which further the goals of providing a balanced and functional mix of land uses within the City of Victorville. Furthermore, this plan promotes policies of the Community Development Element relating to long term orderly growth and establishment of a design theme for the "Old Town" Specific Plan area. Finally, this plan addresses the issue of implementing measures to maintain the economic viability of commercial districts along the Seventh Street corridor.

This specific plan contains four land use districts specifying permitted and conditional uses as well as accessory uses designed to ensure compatibility. The residential districts provide additional housing options, while the provision of mixed uses further promotes the option to live and work within The Old Town area. The intent of this plan furthers the policy to revitalize the existing commercial areas within the project area.

This plan addresses policies directing growth toward areas with existing infrastructure in order to avoid exceeding the ability of the City or utility companies to provide facilities and services. The Old Town area contains existing utilities which already serve existing structures or are capable of serving new development upon existing lots. The concentration of development through utilization of in-fill lots allows for more efficient service since new components of the infrastructure system are not required. Facilities such as parks and schools are not required either, though some expansion of existing facilities may become necessary.

The specific plan directly addresses those policies concerned with creation of a design theme for The Old Town, which creates an identity for this area without eliminating individual design flexibility. Each of the land use districts addresses building concepts that give guidance as to the style of architecture preferred, yet flexibility is given to allow variation between building facades. The Old Town will contain an identity separate from other commercial areas within the City, while each use within The Old Town maintains its own sub-identity.

B. Housing Element

The Housing Element is concerned with the provision of housing which is safe, structurally sound and affordable regardless of income. This specific plan addresses development of housing within the residential districts and as mixed use projects within the store front commercial district that will provide a broad range of housing types. The intent of this plan is to accommodate traditional and non-traditional households through development of housing types ranging from detached single family homes to town homes, apartments and living quarters located over commercial businesses at varying price levels.

The revitalization effort includes the development of new housing units in place of condemned and demolished homes as well as utilization of vacant in-fill lots. Rehabilitation of existing units in

## *INTRODUCTION*

addition to new housing units furthers the policies to upgrade sub-standard housing and provide units which are structurally sound and safe for occupancy. The specific plan also provides a process for review and approval of shelter for the homeless as well as single room occupancy units. In addition, the residential apartment land use district provides density bonuses for housing projects providing low and/or very low income housing units.

### C. Circulation Element

The specific plan seeks to promote the goals and policies of the Circulation Element through preservation of the existing circulation system with emphasis upon improving pedestrian mobility and maintaining levels of convenience and safety. This plan provides for the installation and widening of sidewalks. The specific plan includes a transit center which would function as a hub for train and bus service, as well as a park-n-ride facility. The project area is principally accessed by the interchange at Interstate 15 and "D" Street (Highway 18), Seventh Street and Hesperia Road.

On-street parking will be removed from Seventh Street and added to A and C Streets. In addition, A and C Streets will be designated as one way with traffic directed out and away from Seventh Street.

The City will research the feasibility of a parking district for provision of off-street parking which is equitable to all uses within the Old Town area. The City will also research the potential for acquiring the use of existing private parking lots for public parking. Additional bus stops and shelters will be provided within the Old Town Community in conformance with a bus shelter plan in order to reduce the need for off-street parking.

### D. Safety Element

This specific plan supports the City's goals of emphasizing public health and safety in land use planning. This plan is concerned specifically with seismic safety as it relates to unreinforced masonry structures. This plan identifies buildings constructed of unreinforced masonry block and any improvements required to comply with the seismic safety standards as set forth in Chapter 15.38 of the Victorville Municipal Code. Changes have been incorporated into Chapter 15.38 which allow property owners to appeal the time period given for completion of required seismic retrofitting. In addition, Community Development Block Grant Funds are being made available to pay for seismic retrofitting and facade improvements (graphic - see Appendix A, Page 107).

### E. Environmental Resource Element

This specific plan promotes the goals of the Environmental Resources Element pertaining to open space, natural resources, water conservation, air quality and archaeological/paleontological resources. This plan discusses potential pedestrian access linkage to the proposed Mojave River Corridor Open Space Plan which includes all of the 100 year flood plain. This plan provides for the maintenance of existing open space areas such as schools, parks and public facilities, in particular, Forrest Park, Eighth Street Community Center, Old Victor School, and Victor Primary School. In addition, there are other facilities outside the boundaries of this plan which serve the open space and recreational needs of The Old Town community, such as Eva Dell Park, Avalon Park, Center Street Park, High Desert Continuation School and Victor Junior High.

## **INTRODUCTION**

open space and recreational needs of The Old Town community, such as Eva Dell Park, Avalon Park, Center Street Park, High Desert Continuation School and Victor Junior High.

New construction and improvements to existing structures shall comply with the State Appliance Efficiency Standards of Title 20 which requires the use of water conserving appliances.

This plan furthers the policies to improve air quality via: 1) provision of a public transportation facility, specifically the transit center; 2) the mixed use concept within the store front Commercial District which reduces dependence upon private vehicles by allowing people to live above commercial uses within walking distance of work, services and public transportation.

Properties which have not been previously graded shall require archaeological and/or paleontological surveys as well as biological surveys by qualified professionals consistent with requirements of the U.C. Riverside Archaeological Resource Unit, the San Bernardino County Museum Earth Sciences Division and/or the U.S. Fish and Wildlife Service.

### **F. Noise Element**

The specific plan furthers the goals and policies of the General Plan Noise Element through regulation of land uses to ensure protection of noise sensitive uses. The Atchison, Topeka and Santa Fe Railroad in conjunction with vehicle traffic along Highway 18 generate noise up to 65 decibels. Therefore, the specific plan provides for automotive related uses serving the traveler along Highway 18 ("D" Street) since automotive repair and service facilities generate a variety of noises related to their operation, making them less sensitive to noise sources. In addition, commercial uses, including hotels, tolerate higher levels of noise if operated with windows closed and a fresh air supply system without special construction or noise insulation. Residential uses which are considered sensitive are not permitted along Highway 18 ("D" Street) and may require noise attenuation along Seventh Street where upper floor residences are allowed.

### **G. Old Town Community Plan Element**

The specific plan serves to implement the intent and goals of the Old Town Community Plan Element. The intent of the element is to encourage revitalization of the community and provide new guidelines for future development. The goals of the element include recognizing the community as a unique, historic old town area with an emphasis upon utilization of existing infrastructure systems and parcel configurations to create a pedestrian oriented environment.

The Old Town Specific Plan implements the intent and goals of the element by creating new development standards as outlined within the land use plan. Revitalization is addressed within several plans including circulation and financing which outline various public improvements as well as potential funding sources.

### **1.9 Relationship to Zoning Ordinance**

This specific plan supersedes, when established and effective in the City, any previous zoning for the subject property and creates a specific plan (S-P) zone.

**1.10 Relationship to Other Plans**

This specific plan will not have any effect upon the plans of neighboring jurisdictions, regional agencies or the state. When the specific plan area is within the boundaries of other regional agency, state and Federal plans, any and all activities implementing this specific plan would comply with regulations or provide the required mitigation measures of any such plans.

For example, all new development within the specific plan area will be required to utilize water conserving appliances, as required by the State. All proposed changes to state rights-of-way, such as Highway 18 ("D" Street), would require review and approval by the State Department of Transportation. Finally, development of any ungraded properties would require submittal of a tortoise habitat study to determine whether the site contains any desert tortoises or could be considered desert tortoise habitat, as required by the U.S. Fish and Wildlife Service and California Fish and Game Department.

**1.11 Development Project Consistency with Specific Plan**

Once the specific plan is adopted, the City must review projects, development plans and new uses to ensure that they are consistent with the specific plan and are, therefore, consistent with The Old Town Community Plan Element. The Government Code requires specific plan implementation measures such as Capital Improvement Plans (§65403), Public works Projects (§65455), Subdivisions (§65455) to be consistent with the specific plan.

## **ENVIRONMENTAL CONTEXT**

## 2. ENVIRONMENTAL CONTEXT

### 2.1 Purpose

The purpose of this section is to describe the project setting in terms of the natural and man-made environment, to summarize the potential environmental impacts which may result from the project and give examples of the manner in which the impacts will be mitigated. For a more detailed discussion, refer to the Environmental Assessment, as well as any specific measures to be implemented to mitigate impacts caused by the Specific Plan.

### 2.2 Topography

#### A. Existing Conditions

The site is located on properties sloping to the north toward the Mojave River with the eastern portions of the project area sloping to the north and west. The project area ranges in elevation from approximately 2700 to 2800 feet above sea level. The major area-wide physical feature is the Mojave River, which runs southeasterly to northwesterly just northeast of the project area.

#### 1. Geology/Soils

The geology of the area consists of a basement complex of Pre-Cambrian granites and gneisses (500-570 million years ago) with ages of over one billion years. The strata above the basement rock dates from the Paleozoic age (230-570 million years ago), and are made up of limestone, quartz, sandstone and mudstone. They are products of the sedimentation of eroded hills and mountains in shallow, quiet seas. This alluvial plain has also been altered by numerous fault zones located within the region.

#### 2. Seismicity

The site is located in a region of generally high seismicity as is all of Southern California. There are, however, no active faults on or immediately adjacent to the site. The site is expected to experience ground motions from earthquakes on regional and/or local causative faults. Generally, the on-site materials consist of fine-loamed, mixed and thermic Haplargids which are a very deep, well drained soil, formed from decomposed granite. The settlement potential under seismic loading conditions for these on-site materials is unknown. Further geotechnical investigation is required to determine the settlement potential.

#### 3. Liquefaction

Soil liquefaction is the loss of soil strength during a significant seismic event. It occurs primarily in loose, fine to medium-grained, granular materials occurring below the water table. There is no known analysis of the potential for soil liquefaction on the site. However, given the relatively high water table near "D" Street (see Hydrology), portions of the project area would appear to have the potential for liquefaction. The relatively low scale of structures in The Old Town area reduces the risk of damage from liquefaction due to low weight and depth of footings.

B. Impacts

Very few properties will require extensive grading prior to development of new buildings since the majority of properties have been previously graded. Therefore, no significant changes to the landscape or project area geologic features will occur. Soils found on-site may be subject to erosion when they are on sloping ground.

C. Mitigations

All grading, excavation and fill will be performed in adherence with all applicable Codes and the recommendations of the City Engineer. Unpaved and undeveloped land exceeding 5 feet in vertical height shall be subject to the provisions of Chapter 18.57 "Slope Protection District" of the Victorville Municipal Code specifically Sections 18.57.020 and 18.57.030.

2.3 Hydrology

A. Existing Conditions

The site is located within the Mojave River drainage area, which consists of approximately 4,700 square miles. Drainage within the project site flows into the Mojave River, which is northeast of the site. Portions of The Old Town northeast of "C" Street are located within the 500 year flood plain being subject to 100 year flood events with average flood water depths of less than one foot. Drainage facilities exist within the Old Town Community.

1. Groundwater

The depth to groundwater varies from six to fourteen feet along "D" Street. The current recorded depth at a Victor Valley Water District well site on Forrest and Eighth Street is forty feet. The water table varies depending upon the amount of precipitation in any given year and geologic composition in any given location. The sole source of water supply to the City of Victorville is groundwater extracted by wells from the Upper Mojave Ground Water Basin. The main source of replenishment to the ground water basin is the percolation along the Mojave River. Although the ground water basin has been in an overdraft condition (water being extracted at rates which exceed the natural recharge), the Victor Valley Water District reports that there is sufficient water for the next 15 to 20 years to meet the needs of the area. Adoption of the water adjudication will bring supplemental water supplies to the Victor Valley. According to the State Water Quality Control Board, Lahontan region, groundwater, specifically along Highway 18 ("D" Street) is contaminated with chlorinated hydrocarbons, tetrachloroethylene, and perchloroethylene. Some of the sources for this contamination have been identified while further investigation is required to determine the remaining sources.

B. Impacts

Additional development within the Old Town Community may increase the area of impervious surfaces and associated water run-off.

C. Mitigations

Drainage systems exist to handle surface water on-site and from off-site. Drainage improvements will be constructed in conformance with the City of Victorville's Master Plan for Flood Control Improvements pursuant to the San Bernardino County Flood Control District. Improvements include the establishment of detention basins to slow the flow of drainage water from developments outside the project area which use the existing drainage culvert located under Eighth Street.

Sites identified as sources of contamination are required to clean-up the soil and water they have affected as required by Title 23 of the California Code of Regulations (§6.75 and §6.95). As future sources of contamination are identified, responsible parties will be notified and required to remove the contaminants.

2.4 **Wildlife/Vegetation**

A. Existing Conditions

1. Fauna

Since the overwhelming majority of properties within The Old Town area are developed, paved or previously graded, the wildlife population is nearly non-existent. The most important habitat for wildlife occurs northeast of the project area within the riparian plant community of the Mojave River.

2. Flora

The project area consists of non-native plant species such as Russian thistle and wild mustard, which occur on previously disturbed soils. No State or Federally listed threatened or endangered plant species are known to occur within the project area. Although only a couple of Joshua Trees exist within the Old Town, these trees are protected by City and County ordinances, as well as the State Native Plant Law.

B. Impacts

The State Department of Fish and Game considers ungraded properties to be potential wildlife habitat. Field surveys by staff indicate that all ungraded properties within the project area have been disturbed by human activity, including pedestrian pathways, off-road vehicle trails, and debris. Consequently, implementation of this Specific Plan will not affect wildlife.

C. Mitigations

In order to comply with State and Federal regulations, all ungraded properties shall be inspected by a qualified biologist to determine the presence of the desert tortoise (*Gopherus Agassizii*) and the condition of potential habitat for the Mojave ground squirrel (*Spermophilus Mohavensis*). This process may include consultation with the U.S. Fish and Wildlife Service and California

Department of Fish and Game consistent with their respective Endangered Species Acts. Development of the few properties containing Joshua Trees would require permits through the City Parks and Recreation Department for relocation or removal of trees.

## **2.5 Air Quality**

### **A. Existing Conditions**

The air quality impacts of those uses allowed in this specific plan are considered insignificant by the Mojave Desert Air Quality Management District (MDAQMD) since these uses are consistent with the City's General Plan. All of these uses qualify as area sources and are evaluated within the 1991 Air Quality Attainment Plan.

### **B. Impacts**

During construction of the project, dust will be created, mainly from grading operations or other construction activities. Future commercial and industrial facilities which propose any emissions into the atmosphere will have an effect upon air quality.

### **C. Mitigations**

To control fugitive dust, regular watering and/or dust palliatives will be applied in response to instructions of the City of Victorville Building Official during grading operations. The latest feasible emissions control techniques will be utilized by all facilities and be required to obtain all necessary permits as required by the Mojave Desert Air Quality Management District (MDAQMD).

## **2.6 Paleontology and Archaeology**

### **A. Existing Conditions**

In 1985, the City of Victorville retained a qualified paleontologist to conduct a city-wide geologic survey to determine the location of the fossil bearing lake bed strata that exists within the City. The survey identified nine ancient lake bed (lacustrine) deposits estimated to date back to the Pleistocene Epoch (10,000 to 900,000 years ago). These lake beds contain numerous mammalian fossils, including teeth, limb fragments, phalanges and metacarpals from horses, camels, and other large animals. No comprehensive history of the origin and development of the Victorville Community exists; however, an overview of the pre-historic habitation of the Western Mojave Region is contained within the City of Victorville Environmental Resources Element Technical Report.

#### **1. Fossil-bearing Rock**

The fossil-bearing rock layers are essentially level due to their formation from an ancient lake bed. The fossil-bearing deposits are exposed along the bluffs of the Mojave River extending outward to the 2,985 foot contour on both sides of the river. Those areas

below the 2,985 foot contour and above the 2,727 foot contour which encompasses The Old Town area are located upon the fossil bearing strata. The individual fossil-bearing layers upon which The Old Town is established are summarized below.

- a) Layer One - The oldest and lowermost unit is a massive, three-foot thick bed of greenish-gray silty-clay. The lower contact is at an elevation of 2726 feet above sea level, and the upper contact may be found at 2729 feet.
- b) Layer Two and Three - The second lake bed is also a three foot thick, massive greenish-gray silt-clay. The lower contact is at an elevation of 2739 feet, and the upper contact is at 2742 feet. The third bed is a twelve foot thick, light brown massive siltstone. The lower contact is at 2791 feet in elevation, and the upper contact is at 2803 feet.

## B. Impacts

Since the project overlies fossil bearing strata, there is a potential that construction activity involving movement of earth including grading, trenching and drilling will encounter paleontological and/or archaeological materials.

## C. Mitigations

A qualified archaeologist/paleontologist will be present during site grading that involves excavation to evaluate any cultural artifacts which may be uncovered. Significant cultural resources uncovered on-site will be recorded and studied by the UC Riverside Archaeological Resource Unit.

## 2.7 History

### A. Existing Conditions

Victorville's original growth occurred along the Mojave River, specifically around the Old Town Community area. Unfortunately, many of the historic structures have been lost to fires and relatively new development or were demolished due to a deterioration of structural integrity creating public safety hazards. However, some sites and structures do still exist. The following are examples of some of the historical sites and/or structures located within the Old Town Community:

#### 1. The Mojave Trail

This trail was a 4-foot pathway created and used by the Mojave Indians. Later, portions of this trail were followed by both the famous Spanish Trail and Interstate Highway 15. One remaining trace of the Mojave Trail is the saddle on "C" Street east of 11th Street. Here the trail came up from the river bottoms along "E" Street and followed the east face of the foothills to Spring Valley Lake, along Spring Valley Parkway and then through

Victor Valley College on what is now the road leading to the athletic and mechanical buildings.

2. Stone Quarry

Granite stone cutting and polishing was an important industry in Victorville from before the 1870's to the late 1960's. Stone was cut both by hand and by machine. The block-long structure where the stone was cut was razed in 1980 by the Santa Fe Railroad which acquired the property.

3. Victor Elementary School

This school, now known as the old Victor School, was constructed in 1922 at 15476 Sixth Street within The Old Town project area. This one building represents an architectural style unique to the City.

4. Other Old Town Historic Sites

Other sites within The Old Town area include: the Barrel House, the First National Bank, the Methodist Church, the Chantry House, the Eighth Street Community Center and the Victorville Hardware Store (Western Outdoor Power Equipment) (see Exhibit 4, Page 16). Sites located near The Old Town project area include the very first grade school in the Victor Valley, the original location of the "safe" crossing of the Mojave River, the Verde Ranch, Vader's [Gold Processing] Mill, and the Mojave River Bridge site.

B. Impacts

None.

C. Mitigations

None.

2.8 Noise

A. Existing Conditions

The existing noise environment is influenced by the Atchison, Topeka and Santa Fe railroad, Highway 18 ("D" Street), Interstate 15, Seventh Street and Hesperia Road. Uses located within 100 feet from the centerline of the railroad tracks, Interstate 15 and Highway 18 are exposed to noise levels of 70, 77.1 and 65.7 decibels, respectively. Uses located within 100 feet of the centerline of Seventh Street and Hesperia Road are exposed to noise levels of 63.0 decibels.

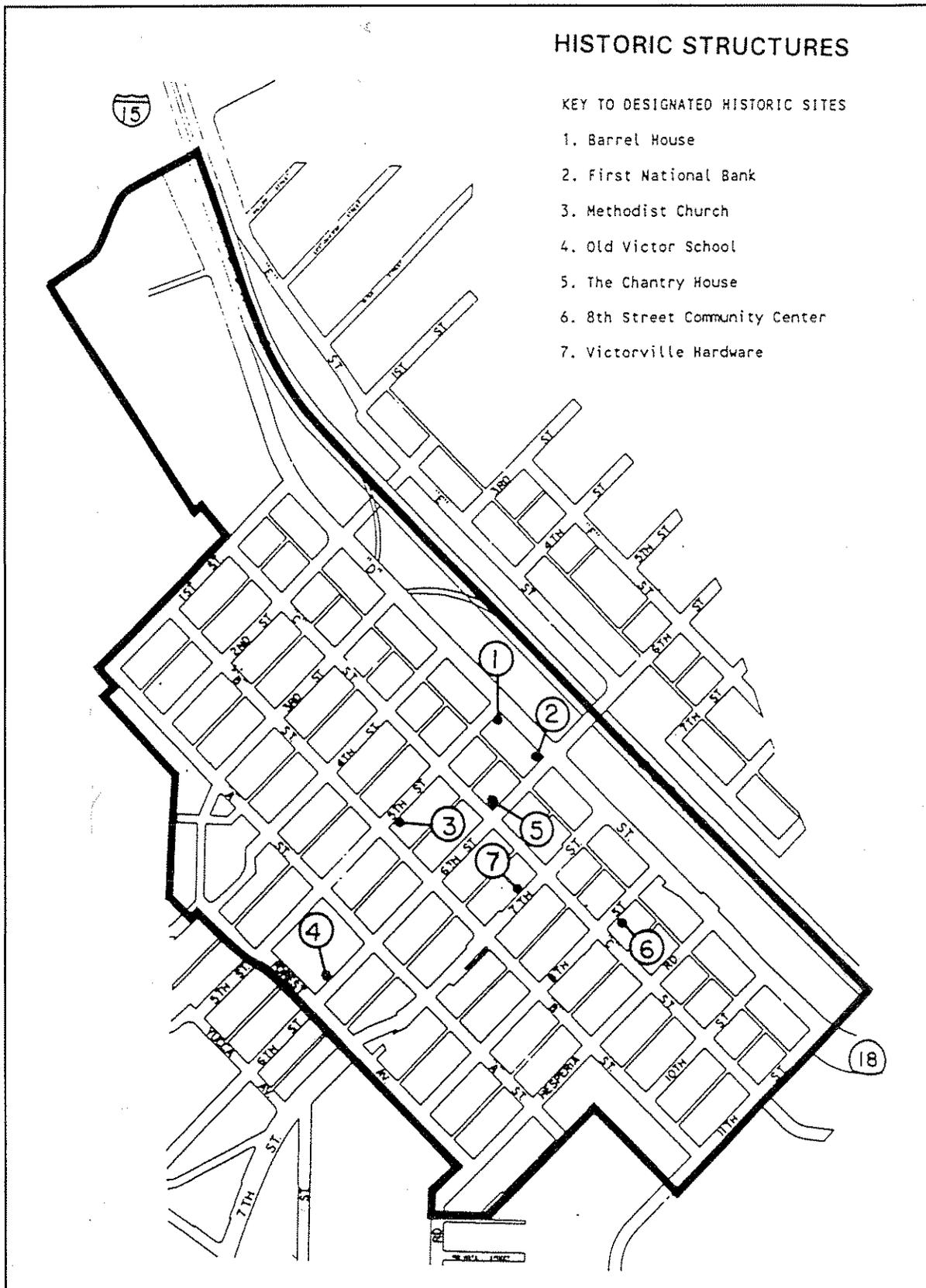


EXHIBIT 4

B. Impact

Residential uses, schools, libraries, churches, hospitals and nursing homes are examples of uses impacted by noise levels exceeding 60 decibels. Commercial uses including retail businesses, offices and professional services are impacted by noise levels exceeding 70 decibels.

C. Mitigations

The Specific Plan designates the majority of properties, adjacent to Highway 18 ("D" Street), Interstate 15 and the railroad line, for uses serving the traveler. These uses would include the Transit Center, auto related services, retail businesses and motels, which are acceptable for operation within noise levels of up to 70 decibels. New developments which are sensitive to noise levels beyond 60 decibels as noted above are not allowed within this portion of the project area.

Uses located adjacent to Seventh Street would primarily consist of commercial business; however, residential units would be allowed on upper floors. The specific plan designates properties adjacent to Hesperia Road for residential use. Development of residential units is acceptable with conventional construction, provided windows are closed and a fresh air supply or air conditioning system is utilized.

**2.9 Land Use**

A. Existing Conditions

The majority of properties are presently developed. The specific plan identifies four land use districts consisting of two commercial designations and two residential designations. The current developments within the project area are identified in Appendix B, Page 111.

B. Impacts

The new land use districts will make changes to the permitted and conditional uses previously allowed within the project area which will place some existing uses into non-conformance with the Specific Plan. The Specific Plan does not significantly increase the previously permitted densities. Portions of the Old Town experience a reduction in density while others experience an increase. The overall change results in a 211 unit increase, which would add approximately 645 persons to the area.

C. Mitigation

Non-conforming uses are allowed to continue operation and abandoned non-conforming uses are allowed to re-establish subject to approval of a Conditional Use Permit.

## 2.10 General Plan/Zoning

### A. Existing Conditions

The City of Victorville General Plan assigns the following land use designations to properties within the Old Town: Commercial, High Density Residential, Medium Density Residential, Low Density Residential, Public Institutional and Light Industrial. The City of Victorville Zoning Ordinance classifies these properties by the following zone districts: C-4 (Highway and Service Commercial District), C-2T (General Commercial District-Transitional), C-2 (General Commercial District), C-M (Commercial Manufacturing District), R-3 (High Density Residential District), R-2 (Medium Density Residential District), R-1 (Single Family Residential District), P-C (Public and Civic District) and M-1 (Light Industrial District).

### B. Impacts

The Specific Plan will implement the General Plan and, when adopted will replace the existing zoning designations as established under Title 18 of The Victorville Municipal Code within the project area.

### C. Mitigations

The General Plan will be amended to incorporate the Specific Plan area into the affected elements and a Community Plan Element will be added to ensure consistency with the Specific Plan zoning designation. This specific plan zoning designation will be incorporated into the City's Official Zoning Map, and this Specific Plan will be used to implement said zoning.

## 2.11 Circulation

### A. Existing Conditions

The project area is currently served by an existing road system including two major arterials Highway 18 ("D" Street), Seventh Street, three collectors, (Sixth Street, "B" Street, Hesperia Road) and thirteen local streets. Highway 18 ("D" Street) and Seventh Street provide the primary access to The Old Town area with both roads connecting to Interstate 15 interchanges.

### B. Improvements

Changes to the existing road system are proposed within the Specific Plan as follows: The parking lane will be deleted from Seventh Street to allow widening of the sidewalks; all remaining roads, including major arterials, collectors and local streets will incorporate wider sidewalks once sufficient right-of-way is acquired.

The road improvements will occur in a phased program as the project area develops into a pedestrian-oriented community. This transition will be driven, in part, by the development of the Transit Center, additional bus shelters, bus stops and wider sidewalks which make pedestrian travel more convenient. Any improvements to Highway 18 (D Street) would require

review and approval from the California Department of Transportation (CALTRANS). In addition, improvements to all City streets require review and approval by the City Engineer to ensure adequate circulation and safety to both vehicular and pedestrian traffic.

## **2.12 Public Services**

### **A. Existing Conditions**

The following is a partial list of the public and quasi-public agencies which serve the Specific Plan area:

#### **1. Police**

The San Bernardino County Sheriff's Department is presently under contract to the City of Victorville to provide police protection and public safety services. These services include traffic and neighborhood police control, emergency calls, and crime prevention. The County Sheriff would respond to the project site from its station at 14177 McArt Road.

#### **2. Fire**

The City of Victorville Fire Department currently provides fire and life-saving services from Station 311 located at 16200 Desert Knoll Drive. This station is capable of providing services to the project area within the five-minute response time required by City policy.

#### **3. Hospitals**

Medical services can be provided to the site from Victor Valley Community Hospital and St. Mary Desert Valley Hospital. Victor Valley Community has 119 acute-care beds and maintains 90 percent occupancy most of the year. Future plans will bring this total to 210 beds. St. Mary Desert Valley currently has 109 beds and is in the process of expanding the facility to add 64 more beds for a total of 173. The expansion is scheduled for completion early in 1996.

#### **4. Schools**

The project area contains one elementary school (Victor Primary); however, residents of The Old Town are also served by the following nearby school facilities:

Victor Junior High School  
Goodwill Continuation School  
Victor Valley High School  
Victor Elementary School District Administrative Office

B. Impact

Additional development of the site will result in an increased demand upon municipal services and facilities as the daytime population increases within the project area.

C. Mitigations

New developments are required to pay development impact fees which are used to provide for additional police, fire and other public service facilities to ensure that appropriate levels of service are provided. School fees are also collected prior to issuance of building permits in order to mitigate impacts upon school facilities.

**2.13 Public Utilities**

A. Existing Conditions

The following public utilities currently provide service to the Specific Plan area:

Wastewater - Victor Valley Wastewater Reclamation Authority  
Water - Victor Valley Water District  
Solid Waste - Victorville Disposal Company  
Electricity - Southern California Edison Company  
Gas - Southwest Gas Corporation  
Telephone - Continental Telephone Corporation  
Cable T.V. - Hi-Desert Cablevision

B. Impacts

Increased daytime population and intensity of commercial use may increase the need for new or additional delivery systems to maintain levels of service. It is anticipated that all utilities will be able to accommodate new development as planned within the project area.

C. Mitigation

None.

**2.14 Recreation and Parks**

A. Existing Conditions

The Old Town community is currently served by a sufficient number of parks and other recreational facilities to comply with the standards of the City of Victorville Parks and Recreation Department. Parks are designated as either neighborhood, community or city-wide facilities according to their purpose, size and intended service area. Exhibit 5 lists the amenities contained in each of the recreational facilities serving the Old Town community.

The following facilities are located within or nearby the Old Town area:

Avalon Park, Center Street Park, Eighth Street Community Center, Eva Dell Park, Forrest Park, Old Victor School, Activity Center.

**B. Impacts**

There are sufficient recreational facilities in or near the Old Town Community to serve the residents.

	ACTIVITY ROOM(S)	BALL FIELDS	BARBEQUE	COVERED PICNIC AREA	KITCHEN FACILITY	MEETING ROOM(S)	OUTDOOR BASKETBALL	OPEN GRASS AREA	PICNIC TABLES	PLAY EQUIPMENT	RESTROOMS	VOLLEYBALL
Avalon Park			*	*			*	*	*	*	*	*
Center Street Park		*	*	*			*	*	*	*	*	*
8th St. Community Cntr	*				*	*		*			*	
Eva Dell Park		*	*				*	*	*	*	*	
Forrest Park								*	*	*	*	
Old Victor School			*			*	*	*	*	*	*	
Activities Center	*				*	*				*		

EXHIBIT 5

**C. Mitigation**

None.

**2.15 Waste Disposal**

**A. Existing Conditions**

Solid wastes are currently collected by two private companies within the City of Victorville. The City currently disposes its solid wastes at the Victorville landfill site, which is a county owned and operated facility. This facility had originally been projected to reach capacity by the year 1995, but this projection has been extended to 1998. The county is planning to expand the site to a regional facility by adding 160 acres. This would extend the life of the facility to the year 2040. The City of Victorville has a current solid waste production projection of 44,428 tons per year. Based on an average population of 55,440 persons between January of 1993 and January of 1994, it is estimated that an average of approximately 1,600 pounds of solid waste is produced per capita annually in the City of Victorville.

Collection of solid waste will be an increasing concern as the daytime population increases and as the commercial districts revitalize. The development and revitalization of commercial uses within a physically compact setting allows for centralized placement of solid waste receptacles. Further, the development of higher density residential housing projects allows for an increase in population without increasing the number of collection sites. In other words, 24 families could be serviced at one location.

B. Impact

An increase in the population of the Old Town community will create an increase in the amount of solid wastes produced. In addition, automotive repair businesses as planned along Highway 18 (D Street) would increase the amount of hazardous waste.

C. Mitigation

Increased population would not be significant enough to require additional facilities for accepting and/or processing solid wastes beyond those currently planned. The planned expansion of the landfill site will accommodate future demand. In addition, a Materials Recovery Facility (MRF) has been approved by the City and is currently under construction. This facility will reduce the amount of solid wastes disposed at the land fill since recyclable and hazardous materials will be removed pursuant to State law which requires a reduction in the waste stream that is sent to landfills.

**LAND USE PLAN**

### **3. LAND USE PLAN**

#### **3.1 Purpose**

The intent of the Land Use Plan is to provide for the revitalization of The Old Town area through development of unique commercial and residential districts. Four land use districts are identified: two commercial and two residential (see Exhibit 6, Page 24). The two destination-oriented commercial districts are separated into a pedestrian sector and a transit/traveler sector. The residential districts focus on rehabilitation of existing housing and development of new types of housing to serve a broader cross-section of the City's population.

The pedestrian-oriented commercial sector takes advantage of the existing sidewalks, small lots and buildings constructed to front and side property lines. Shops with display windows, located primarily along Seventh Street, allow for visual interaction and create interest. The existence of businesses and commerce, deteriorating as it may be, provides a base from which to start the revitalization process.

The transit/traveler-oriented sector is based upon the existence of significant traffic flow along Highway 18 ("D" Street). This commercial district would serve the existing travelers while creating a sense of destination through establishment of the transit center which will accommodate train and multiple bus services as well as a park-n-ride facility.

The residential districts take advantage of the existing small lots to create human scaled developments. The existence of streets, sidewalks and other components of the infrastructure makes development more cost-effective since off-site improvements are complete. The single family district allows for a preservation of detached dwellings while the apartment district allows for a mix of housing types.

The land use districts allow for the maintenance of existing open spaces and public/civic uses including parks, schools and the City recreation center.

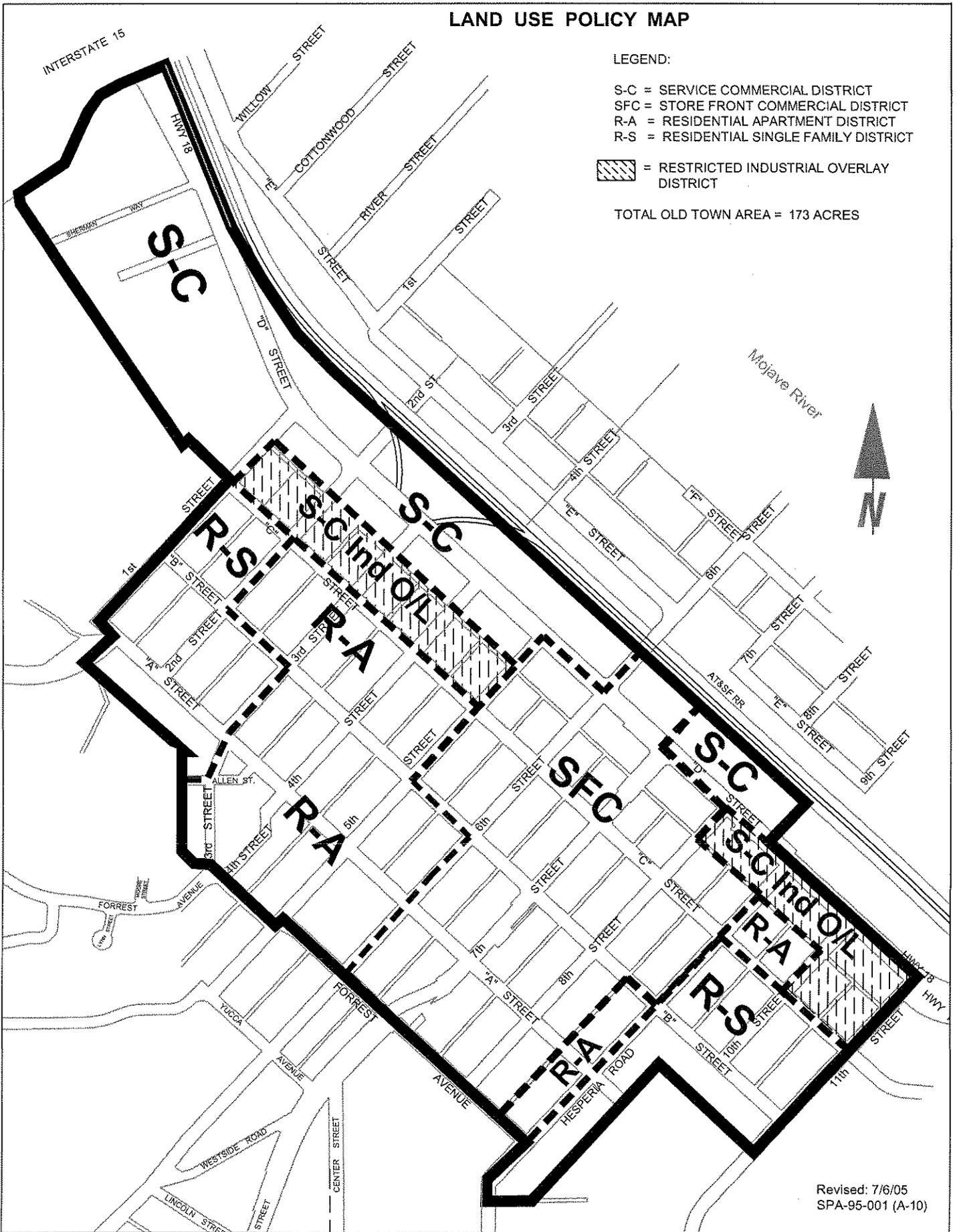
# LAND USE POLICY MAP

**LEGEND:**

- S-C = SERVICE COMMERCIAL DISTRICT
- SFC = STORE FRONT COMMERCIAL DISTRICT
- R-A = RESIDENTIAL APARTMENT DISTRICT
- R-S = RESIDENTIAL SINGLE FAMILY DISTRICT

 = RESTRICTED INDUSTRIAL OVERLAY DISTRICT

TOTAL OLD TOWN AREA = 173 ACRES



Revised: 7/6/05  
SPA-95-001 (A-10)

## SFC - STORE FRONT COMMERCIAL DISTRICT

### Sections:

- Intent.
- Objectives.
- Permitted uses.
- Conditional uses.
- Accessory uses.
- Special regulations.
- Building site area.
- Floor area ratio.
- Outdoor use areas.
- Building height.
- Building concept.
- Parking.
- Signs.
- Projections, fences, walls and hedges.
- Site plan requirement.

### 3.2 Intent

The purpose of this District is to allow for the creation of a human scaled pedestrian oriented downtown area, which encourages interaction between businesses and pedestrians. This District would also encourage mixed use developments consisting of residential units located above commercial uses at a density not to exceed fourteen dwelling units per gross acre. The district would serve local employees and residents while attracting shoppers, from throughout the region to experience the unique shopping environment.

### 3.3 Objectives

The following objectives are specific to the Store Front Commercial District:

- A. Encourage the development and/or expansion of restaurants to include outdoor eating and cooking areas.
- B. Use of widened sidewalks to accommodate outdoor commercial activities.
- C. Encourage development of housing units above commercial use buildings.
- D. Encourage human-scale, pedestrian-oriented development.
- E. The Store Front Commercial District should reflect a functionally unified commercial shopping area.

### 3.4 Permitted Uses

The following principal uses are permitted in the SFC district:

- (1) Office building, business and professional;
- (2) Retail stores:
  - (a) Antique store;
  - (b) Art gallery, studio and/or shop, sales and service;
  - (c) Audio and video store, including music and video cassette sales;
  - (d) Bakery, including sale of baking accessories/wares;
  - (e) Bicycle sales and service;
  - (f) Bookstore;
  - (g) Clothing store, including specialty shops;
  - (h) Confectionery store;
  - (i) Cosmetic store;
  - (j) Crafts shop, sales and classes including stained glass studios and the operation of kilns, (gas and/or electric), provided that the kilns not exceed ten (10) cubic feet each in volume nor shall they exceed two (2) in number;
  - (k) Delicatessen or meat market;
  - (l) Doll shop;
  - (m) Drug store, pharmacy;
  - (n) Employment agency;
  - (o) Fabric store, including weaving and knitting supplies;
  - (p) Florist;
  - (q) Gift shop;
  - (r) Glass/screen shop, sales and service;
  - (s) Grocery, fruit or vegetable store;
  - (t) Gun shop, sales and service;
  - (u) Hardware or electrical appliance store.
  - (v) Heating and air conditioning retail and service;
  - (w) Hobby Shop;
  - (x) Home furnishing store, interior decorator;
  - (y) Household major appliance, sales and service;
  - (z) Ice cream parlor;
  - (aa) Indoor swap meet;
  - (bb) Jewelry store, sales and service;
  - (cc) Leather shop, sales and service;
  - (dd) Library, exhibit hall;
  - (ee) Light power equipment sales and service;
  - (ff) Paint store;
  - (gg) Pet shop;
  - (hh) Photography service equipment and supplies;
  - (ii) Secondhand store;
  - (jj) Shoe store, sales and repair;
  - (kk) Sign and supply store;
  - (ll) Sporting goods store;
  - (mm) Stationery store;
  - (nn) Taxidermist;
  - (oo) Toy store;
  - (pp) Welding supply and light equipment sales/rental.

- (3) Services, as follows:
- (a) Bank and/or financial institution;
  - (b) Bar and/or cocktail lounge;
  - (c) Barber shop or beauty salon;
  - (d) Billiard hall, video arcade or other similar amusement facility;
  - (e) Business school or private school operated as a commercial enterprise;
  - (f) Catering service;
  - (g) Clinic, medical or dental;
  - (h) Headstone monument etching;
  - (i) Locksmith;
  - (j) Laundry service, laundromat, dry cleaning and related services;
  - (k) Martial arts studio;
  - (l) Museum;
  - (m) Pawn shop;
  - (n) Repair shop for clothing, household appliances, jewelry;
  - (o) Restaurant, cafe or coffee shop, with or without entertainment and/or alcoholic beverages being sold or dispensed on the premises;
  - (p) Tailor;
  - (q) Travel agency;
  - (r) Wedding chapel;
  - (s) Other uses if found, by the Planning Commission to conform to the intent of this district.

### 3.5 Conditional Uses

The following principal uses are conditional in the SFC district and shall be allowed only if approved pursuant to Section 18.74 of the Victorville Municipal Code, entitled "Conditional Uses."

- (1) Animal hospital or veterinary clinic;
- (2) Accessory uses; i.e. churches, clubs, social halls, lodges and theaters
- (3) Any and all uses enumerated in this district selling alcoholic beverages for either on-premise or off-premise consumption when a finding recommending to the Department of Alcoholic Beverage Control that public convenience or necessity will be served by the alcoholic beverage sale is needed consistent with Business and Professions Code Section 23958.4, and required by Section 18.58.190 entitled "Finding of Public Convenience or Necessity";
- (4) Bingo game operation;
- (5) Carpenter shop;
- (6) Commercial nursery and/or statuary sales;
- (7) Commercial/public parking lot and/or parking structure;
- (8) Day nursery and day care center;
- (9) Emergency service dispatching facility;
- (10) Fortune telling;
- (11) Furniture refinishing;
- (12) Plumbing shop;
- (13) Printing, lithography, blueprinting, photostating or publishing shop;
- (14) Public services such as government offices, utility offices and facilities, and fire and police stations, excluding equipment storage and maintenance yards;
- (15) Single room occupancy facility developed in accordance with the regulations set forth in the General Regulations Section, Page 75;

- (16) Sign manufacturing and painting shop;
- (17) Trade school;
- (18) Transmission communications facility.

**3.6 Accessory Uses**

**A. Mixed Use Buildings**

Residential dwelling units shall be allowed on the upper floor of a mixed use building. The ground floor shall contain a permitted or conditional use only.

- 1. Minimum dwelling unit living area shall conform to the following:

- Bachelor Apartment - 500 sq. ft.
- One/Two Bedroom Apartment - 600 sq. ft.
- Three Bedroom plus - 800 sq. ft.

**B. Microwave Dish Antennas**

Microwave dish antennas shall be permitted in the SFC District subject to the following regulations:

- 1. Microwave dish antennas shall be placed on the roof only and shall not project more than 10 feet above the roof line;
- 2. No portion of a microwave dish antenna shall be visible from the public right-of-way excepting alley ways.

Proposed microwave dish antennas which do not comply with the above requirements and/or are proposed for locations not identified above shall only be allowed through approval of a conditional use permit, pursuant to section 18.74 of the Victorville Municipal Code, entitled "conditional uses."

**C. Home Occupations**

Home occupations shall be permitted in the SFC District within residential dwelling units pursuant to Section 18.66.020 of the Victorville Municipal Code.

**D. Child Care**

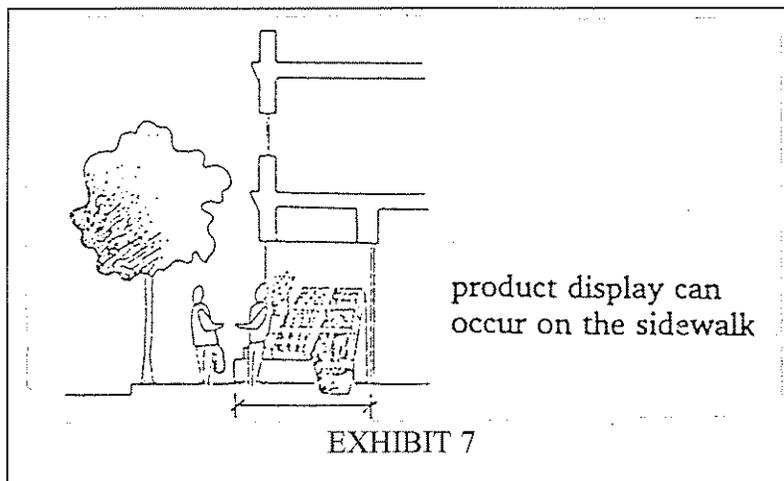
Child care of not more than twelve children excluding members of the resident family shall be allowed in the SFC District within residential dwelling units.

**3.7 Special Regulations**

All uses, and uses customarily incidental to those uses, in the SFC District, shall be subject to the following regulations:

- A. All uses shall be conducted wholly within an enclosed building except:

1. Outdoor seating in conjunction with restaurants;
2. Incidental outdoor display of products associated with retail sales of products sold within the business to be located immediately adjacent to the shop and not to exceed 25 square feet in area (see Exhibit 7);
  - a) Such incidental outdoor display shall be so designed as not to obstruct the orderly flow of pedestrian traffic in or about existing store areas or obstruct exits which are required to evacuate occupants in the event of an emergency.
  - b) The applicant shall submit evidence of liability insurance satisfactory to the Director of Planning or his designee freeing the City of any liability that may be incurred as a result of the incidental outdoor display. The applicant shall obtain an encroachment permit from the Engineering Department prior to approval. A graphic indicating the proposed area of incidental outdoor display shall be submitted for review and approval to the Planning, Fire and Engineering Departments annually.



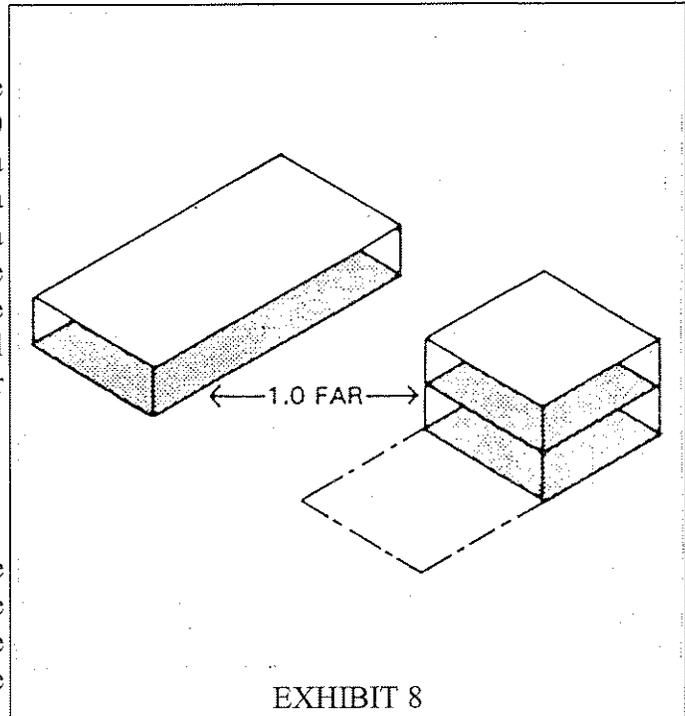
3. Outdoor cooking in conjunction with a restaurant is allowed if approved pursuant to Chapter 18.74 of the Victorville Municipal Code.
- B. There shall be no manufacture, compounding, processing or treatment of products other than that which is clearly incidental and essential to a retail store or business and where all such products are sold on the premises;
1. The operations of such uses, shall not be objectionable due to odor, dust, smoke, noise, vibration or other similar causes.

### 3.8 Building Site Area

Except for lots of record, each lot shall have frontage of not less than 25 feet on a public street and a minimum depth of 142 feet and an area of 3,550 square feet.

### 3.9 Floor Area Ratio

The maximum floor area ratio (FAR) in the SFC District is 1.0. For example, a 3,550 square foot lot could be developed with a 3,550 square foot single story building or a two story building with a ground floor area of 1,775 square feet (see Exhibit 8). The FAR calculation shall be rounded to the nearest percent. Unenclosed balconies shall not be calculated as a portion of the floor area.



### 3.10 Outdoor Use Areas

A. Outdoor use areas indicate the permissible active use of a lot whereas yards indicate where activity is not permitted. The following outdoor use areas define where structures and activities are permitted:

1. All buildings shall be constructed on front, street side and side property lines with the following exceptions:
  - a) Open space for public seating (see Exhibit 9, Page 31).
  - b) Pedestrian pathways located between structures and side property lines (see General Parking Regulations, Page 72 "Pedestrian Pathways").
2. All buildings shall be constructed to rear property line unless the applicant, through the Site Plan process, can demonstrate that a reduction or elimination will not adversely affect adjacent properties.

Exceptions are subject to Planning Commission review and approval of a Site Plan or Conditional Use Permit pursuant to Sections 18.71 or 18.74 of the Victorville Municipal Code, entitled "Site Plan" and "Conditional Uses" respectively depending whether the proposed development is a permitted or conditional use.



EXHIBIT 9

**3.11 Building Height**

- A. No structure shall exceed a height of 30 (see Exhibit 10).
- B. Exceptions are subject to site plan or conditional use permit review and may be granted by the Planning Commission subject to the following findings:
  - 1. The height exception will result in a structure that is functionally and/or aesthetically superior to what would be allowed without the exception;
  - 2. The exception shall not compromise any other development standard within the SFC district; and
  - 3. The exception will not adversely affect the health, safety or welfare of persons residing or working in the vicinity of said structure, nor shall said structure impair the access of adjacent properties to light, air or insulation nor impair the privacy of adjoining residential properties.

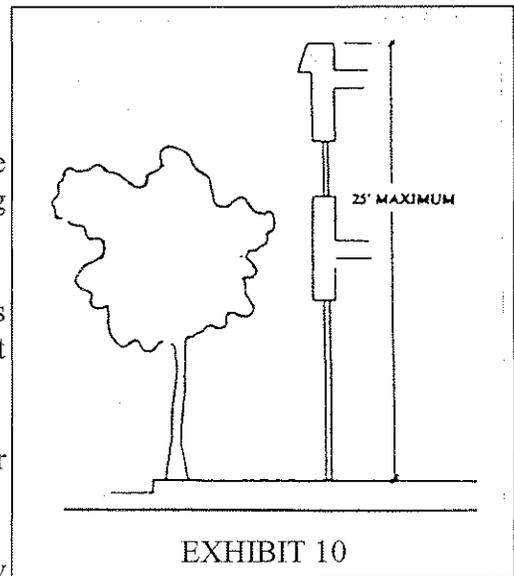


EXHIBIT 10

**3.12 Height Limit Exemptions**

As identified in Section 18.58.030 of the Victorville Municipal Code.

### 3.13 Building Concept

This section is intended to provide standards and guidelines for building orientation and the design of facades within the store front Commercial District. Newly developed or remodeled buildings are encouraged to conform to a building concept which accommodates outdoor uses in conjunction with commercial activities within a protected interior plaza. This concept creates additional pedestrian walkways as well as off-street parking areas for commercial and residential uses. Additional store fronts, upper floor residential, balconies, windows and activities provide constant visual observation of the plaza creating a secure environment (see Exhibit 11, Page 33).

#### A. Building Orientation

Primary building entrances shall face onto streets and sidewalks while newly constructed buildings are also encouraged to incorporate secondary entrances at the back to accommodate the "Building Concept" of interior plazas.

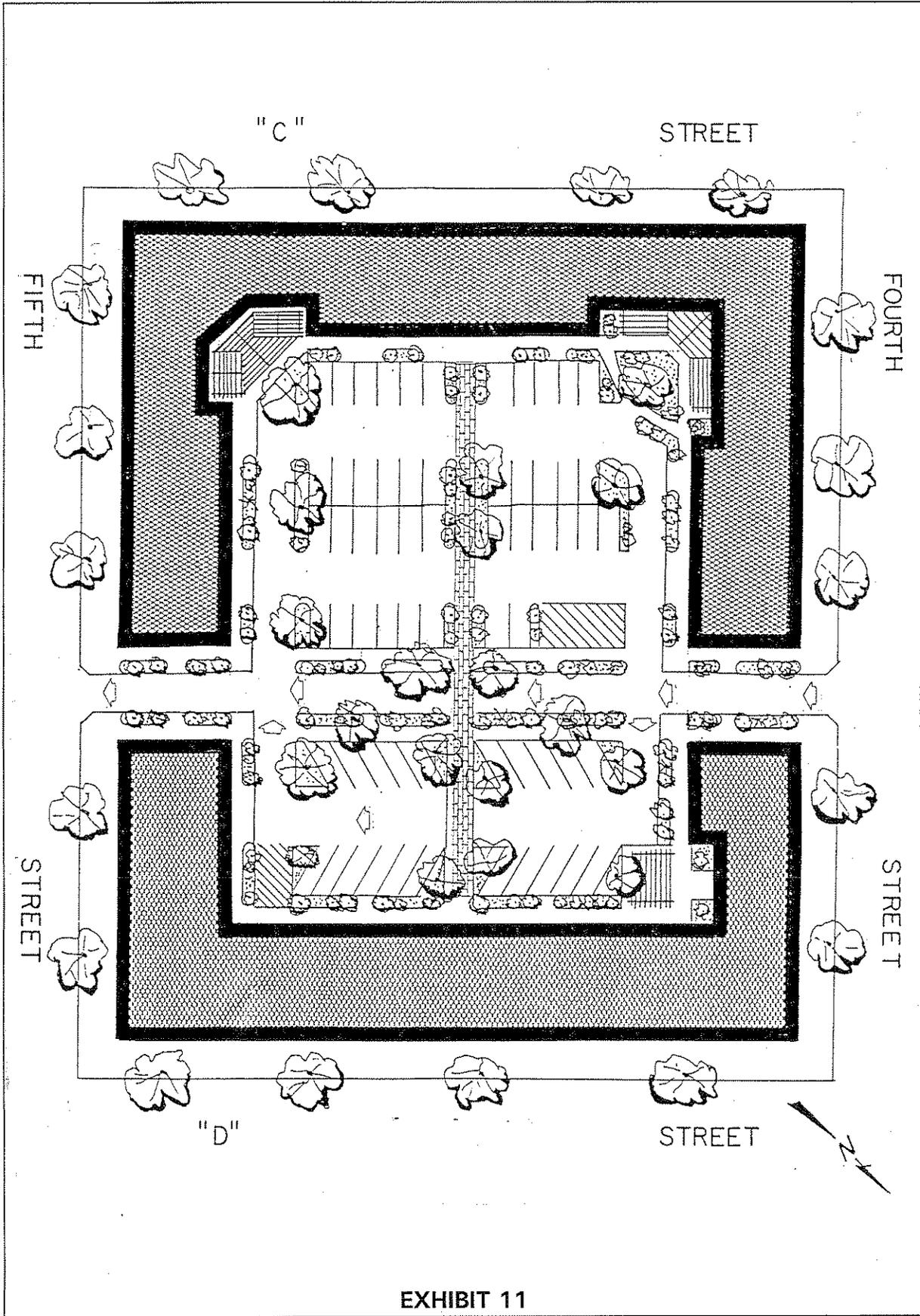


EXHIBIT 11

B. Building Facades

Building facades facing public streets and/or interior plazas shall conform to an early California/southwest theme. Awnings and insets or pop-outs shall be incorporated in the design of facades; two-story buildings may include balconies. Building materials shall include one or more of the following: wood, masonry (includes cut stone, brick, river stone or simulation of such materials), stucco or tile. Earth tone colors which range from shades of brown and beige to muted pink, purple and green shall be used on buildings including all building materials and/or paint for both new and existing development. Significant portions of building frontages facing the sidewalks along public streets and interior plazas shall incorporate display windows at the pedestrian level (see Exhibit 12).

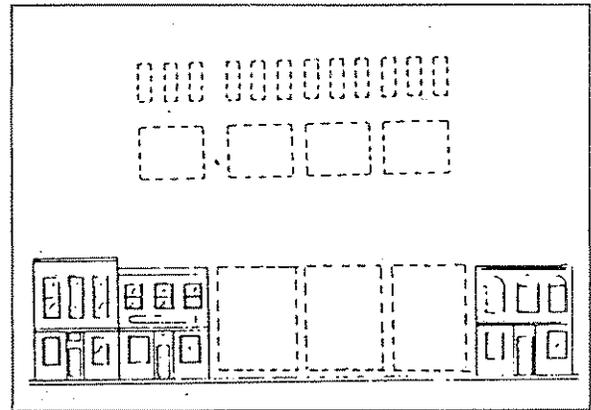


EXHIBIT 12

Variations in roof forms and architectural details create the appearance of several smaller store fronts, preferably not exceeding a width of 25 feet, thus keeping the visual interest of the pedestrian.

Varied and detailed facades at a scale visually meaningful to the pedestrian will help to create a unique atmosphere that will assist in the revitalization effort (see Exhibit 13).

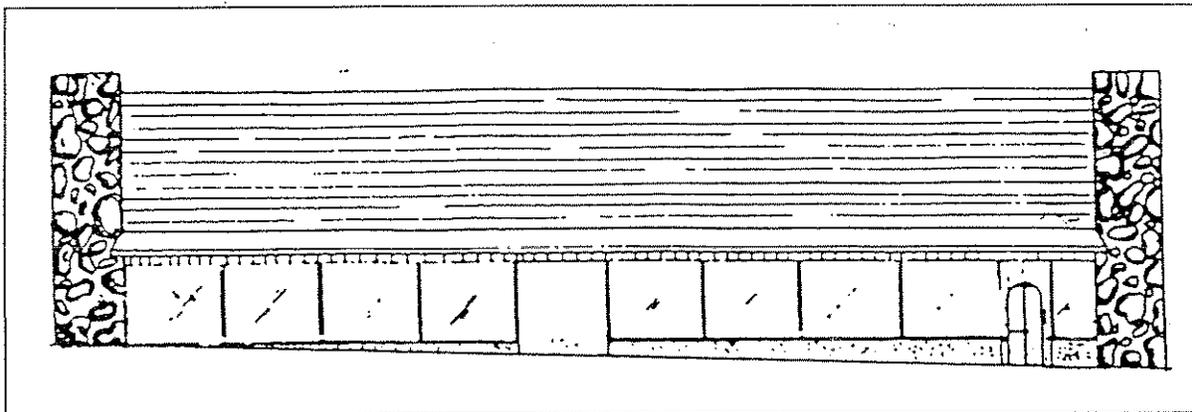


EXHIBIT 13

3.14 **Parking**

Parking requirements for the SFC District are based upon the concept of a pedestrian-oriented, unified commercial, shopping area. The existence of public transportation, based at the transit center, a park-n-ride facility and extensive amounts of on-street parking area available along the existing grid system of streets reduces the number of off-street parking spaces required for each use. Whenever more than one method of calculating the required number of spaces is indicated, the method which provides the greatest number of spaces shall apply.

For purposes of calculating required parking, gross floor area shall mean the total area of all floors beneath the roof of a building excepting mechanical equipment rooms which serve the building as a whole.

A. Parking Space Requirements

1. Commercial Uses

- a) Banks, credit unions and savings institutions, general business and professional offices (including medical and dental): Three (3) spaces per one thousand (1,000) square feet of gross floor area. Retail stores and services: Four (4) spaces per one thousand (1,000) square feet of gross floor area.
- b) Restaurants/eating and drinking establishments: one (1) space per two seat bases or one space for each 200 square feet of gross floor area. A seat base shall mean a table with chairs, or a booth, or a bench, or a barstool.
- c) Theaters, indoor recreational facilities such as roller and ice rinks, bowling alleys and similar uses: one (1) space per every five (5) seats or one (1) space for each two hundred (200) square feet of gross floor area.

- 2. The required number of parking spaces may be reduced for restaurants/food uses which can prove, to the satisfaction of the Director of Planning, that the restaurant/food use will serve primarily as a walk-in trade. A determination shall be based upon the following criteria:

- Nature of the business
- Proximity to centers of employment
- Absence of seating with tables

3. Mixed Use Residential Parking Standard

Upper floor residential units, accessory to commercial uses shall require: one (1) parking space for each one (1) bedroom dwelling unit and two (2) parking spaces for two or more bedroom dwelling units.

B. Off Street Parking Facility Location

Off-street parking spaces shall not be located between a structure and the front, side or street side property line. Parking facilities do not function as public open space. Such facilities shall be located between the building and the rear property line, taking access off of the alley only.

**NOTE: See General Parking Regulations for additional development standards, Page 71.**

### 3.15 Signs

#### A. Intent

The intent of this section is to provide for the enhancement of the aesthetic appearance of the Old Town store front commercial District by avoiding the creation of visual clutter and excessive advertising in the design and placement of signage. Signs within the SFC district shall inform the public of business uses, services and operation. The design of signage may be creative and include depictions that are related to the subject business. Signs composed of materials and colors which are compatible with the architectural design theme of the building they serve are encouraged. Businesses are encouraged to coordinate signage to serve both the pedestrian and the motorist. The following standards apply to the SFC district:

#### Business Signs

Business signs shall be permitted for each business with individual business frontage. The total sign area of identifying and accessory business signs shall not exceed two (2) square feet per linear foot of lot frontage. The maximum area for a single use on a parcel shall not exceed 300 square feet nor three signs in number.

Where a business has frontage on more than one street, only the sign computed on the frontage for that street shall face that street. Where a business or use is located on a corner lot, exclusive of those parcels where two or more uses occur, one additional wall sign may be allowed for the secondary street with its area based on twenty-five percent of the computation used for the primary frontage. Any exterior signs displayed shall pertain only to a use conducted on or within a building located upon the same premises and shall be attached flat against the wall of the building and parallel with its horizontal dimensions, or attached to the underside of a canopy.

When two or more uses occur on a single parcel, each use is permitted two signs. Each use shall be allocated a proportionate share of sign area at two square feet of signage per linear foot of business frontage. That proportionate share shall be utilized only on that portion of the multi-use building occupied by that use unless otherwise approved by the Planning Director.

- (1) The following signs are permitted in the Store Front Commercial (SFC) zoning district pursuant to staff review and approval of a sign application subject to the appropriate standards:
  - a) Wall signs as defined in Section 4.1(J). Business wall signs shall be permitted only upon that portion of a building occupied by the subject business. Such sign shall not extend above the eave, canopy or parapet of a building. All or a portion of the signage allowed for wall signs may be affixed to a canopy. Said signage shall conform to the geometric shape of said canopy and shall not project more than ten (10) inches.

- b) Under Canopy and Bracket Signs. One (1) under canopy or bracket sign is encouraged for each business containing individual business frontage (See Exhibit 14, Page 37). Such sign shall not exceed an area of four (4) square feet per face with only one face of a double-faced sign being calculated. Such sign shall be placed at all points not less than ninety-six (96) inches above the sidewalk and shall be located not more than five (5) feet from the primary entrance into the business as measured parallel to the building. When such sign is used with a canopy, it shall be attached to the underside of the canopy and shall not extend beyond the leading edge of the canopy. A bracket sign shall not extend more than five feet from the building structure behind the public right-of-way. These signs do not count against total allowable signage or square footage.

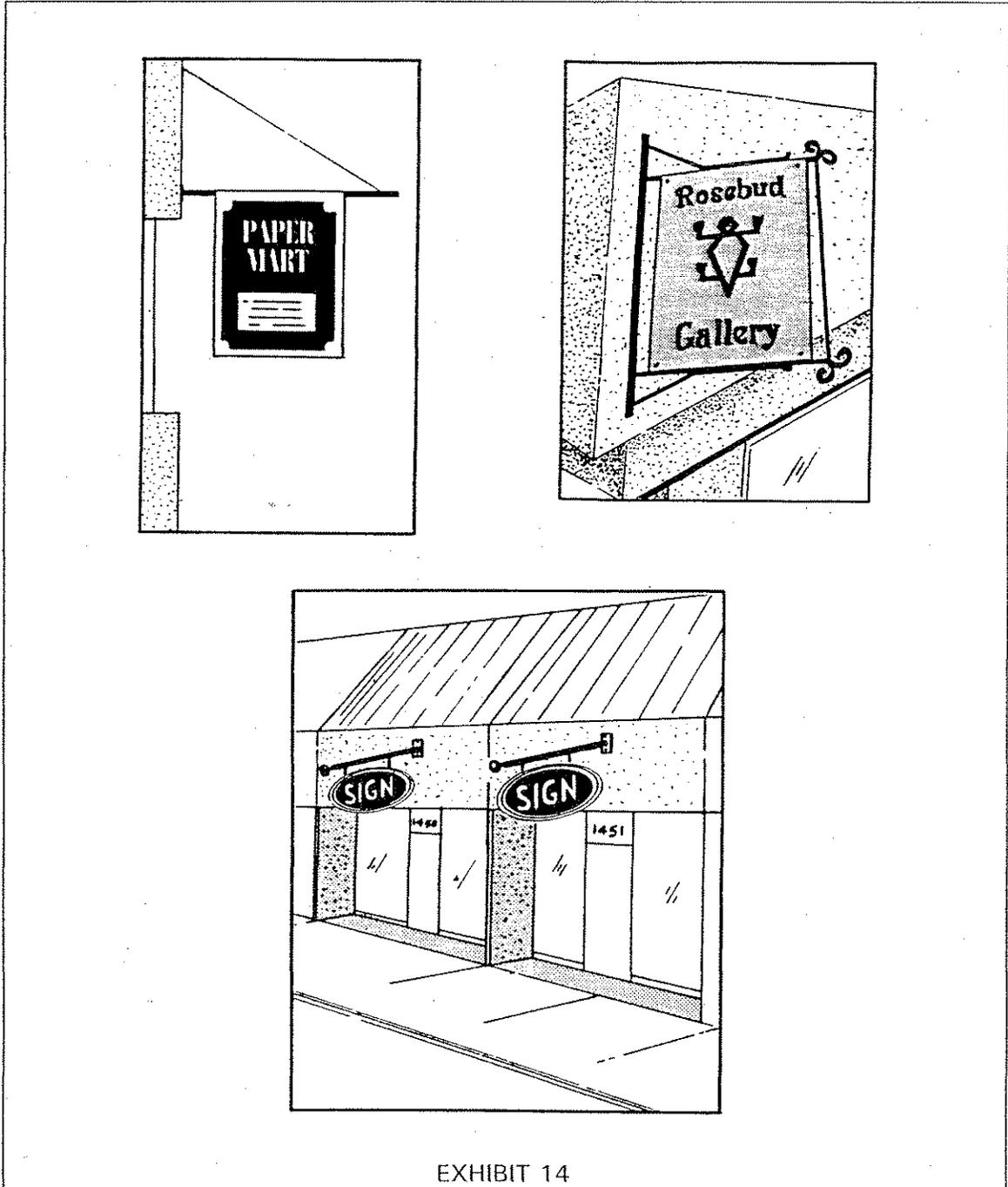


EXHIBIT 14

### Sale, Lease or Rental Signs

One "for sale," "for rent" or "for lease" sign, which sign may be double faced, shall be permitted for each street frontage based upon the following conditions:

- a) The sign shall not exceed four square feet in area.
- b) The sign shall be attached to the permanent buildings offered for sale, lease or rent.
- c) The sign shall not be placed above the eave or parapet of the building.
- d) The sign shall not be lighted either directly or indirectly.
- e) The sign may be modified to indicate "sold", "leased" or "rented," provided that the display face area is not increased.
- f) The sign shall be removed not later than ten days following the transfer of property.
- g) A sign permit shall not be required for sale, lease or rental signs.

See General Sign Regulations for other permitted signage and additional standards Page 65.

### 3.16 Projections, Fences, Walls and Hedges

#### A. Permitted Projections into Outdoor Use Areas

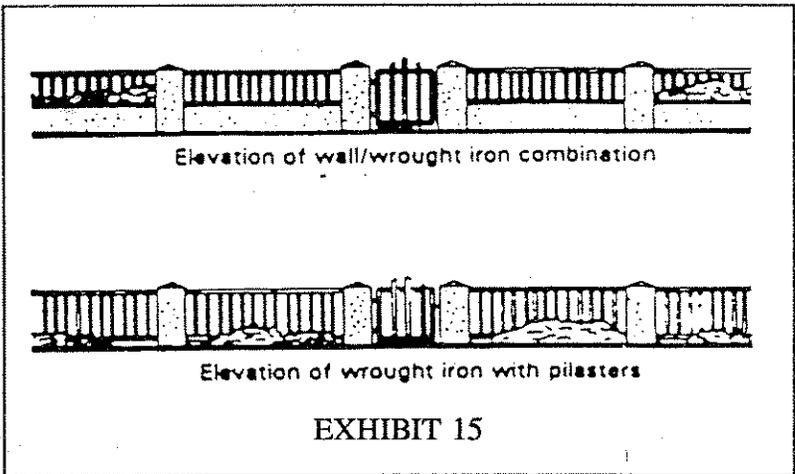
1. Buildings within the SFC District are required to be constructed up to front, street side and interior side property lines. Therefore, encroachments are permitted up to all property lines as noted below:
  - a. Cornices, eaves, fireplaces or other architectural features, a stair, landing, balcony or porch (whether covered or uncovered), patio covers, arbors or similar unenclosed structure, provided, however said structure and location complies with all other applicable sections of the Old Town Specific Plan.

#### B. Permitted Projections into Public Right-of-Way

1. A canopy, marquis, awning, trellis or similar overhead structure may be permitted to encroach into the sidewalk portion of the public right-of-way subject to the following:
  - a. The structure shall be reviewed and approved by the City.
  - b. An encroachment permit shall be required.

C. Fences Walls and Hedges

1. A fence, wall or hedge may be located upon the rear property line, or upon the front and/or side property lines where public outdoor seating, has been approved by the Planning Commission. Walls shall only be permitted in combination with wrought iron fences which transmit at least ninety percent (90%) light whereby said wall shall function as a base and not exceed a height of two (2) feet. No fence, wall/fence combination or hedge shall exceed an overall height of four (4) feet (see Exhibit 15).

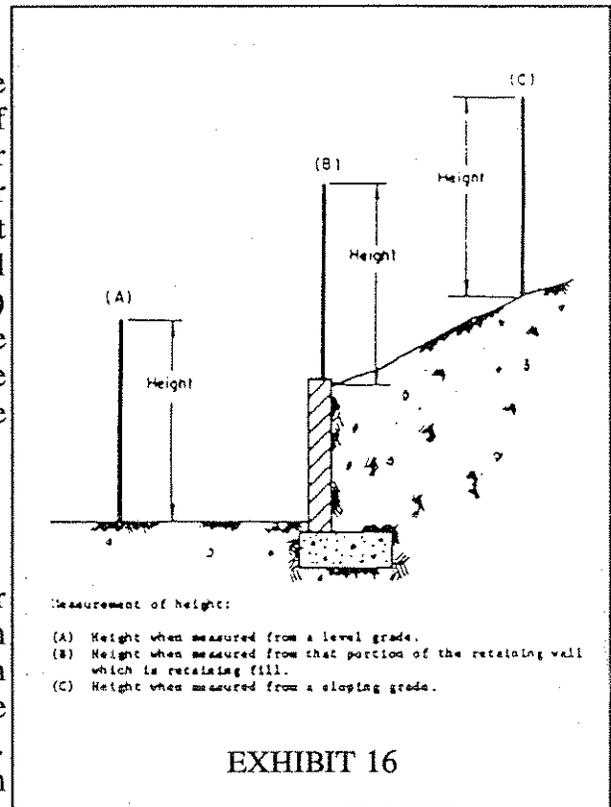


D. Measurement of Height

1. The height of a fence, wall or hedge shall be measured from the lowest finished level of the ground abutting it. Where a fence, wall or hedge lies directly above a retaining wall or above, parallel with and within four (4) feet of such a wall, the height of the fence, wall or hedge shall be three and one-half (3-1/2) feet. The height of said fence, wall or hedge shall be measured from that portion of the retaining wall which is retaining fill (see Exhibit 16).

3.17 **Site Plan Requirement**

All commercial building developments and/or physical expansion of a use and/or building within an SFC district shall require an approved site plan pursuant to Section 18.71 of the Victorville Municipal Code, prior to securing a building permit. Said site plan review shall not be required for an existing non-conforming building and/or use which shall be reviewed pursuant to Section 18.70 of the Victorville Municipal Code. When all uses proposed in the development are conditional within this district, the site plan requirement shall not apply. Said development shall require conditional use permit review and approval pursuant to Section 18.74 of the Victorville Municipal Code entitled "Conditional Uses."



## S-C - SERVICE COMMERCIAL DISTRICT

### Sections:

- Intent.
- Objectives.
- Permitted uses.
- Conditional uses.
- Accessory uses.
- Special regulations
- Building site area.
- Floor area ratio.
- Yards.
- Building height.
- Building Concept.
- Parking.
- Signs.
- Projections, fences, walls and hedges.
- Site plan requirement.

### 3.18 Intent

This commercial district will accommodate the motorist, traveler and local residents within the Old Town Community by allowing service-oriented commercial businesses. This district also recognizes that in certain areas the potential exists for development and operation of certain limited industrial uses without interfering with the commercial uses identified. These uses should be small in scale with a limited number of employees, and not create any traffic congestion.

### 3.19 Objectives

The following objectives are specific to the Service Commercial district:

- A. Encourage the development of services which enhance the multi-modal transit center.
- B. Continue to promote the development of uses to serve the needs of motorists and local residents.
- C. Allow where designated and found compatible certain restricted industrial uses.

### 3.20 Permitted Uses

The following principal uses are permitted in the S-C district:

- (1) Any and all uses in this district providing drive-thru service shall be approved by the director of planning, excepting those adjacent to residential districts.
- (2) Automobile, motorcycle, boat and trailer sales and service, provided that repair work will be conducted wholly within a building;
- (3) Automobile service station, and similar fuel dispensing facility, provided that any repairing or washing of the vehicle is conducted wholly within an enclosed building. Service stations shall be entitled to the following for outdoor display: four portable tire display racks. They are to be no larger than seven feet six inches high by five feet wide by six feet long. They are

to be black in color and constructed of metal. They shall be displayed during business hours only. Also to be allowed are a combination of wiper cabinet and oil rack, no more than one per island, per station. If any other outdoor display of merchandise is to take place, it shall be limited to only mechanical parts and supplies related to the operation of a vehicle and shall be approved by the planning department for periods not to exceed 30 days;

- (4) Park and ride lot;
- (5) Upholstery, top shop, and automotive accessory sales and installation;
- (6) Restaurant, eating and drinking establishment, with or without entertainment and/or alcoholic beverages being sold or dispensed on the premises;
- (7) Food store;
- (8) Gift shop and curio shop;
- (9) Retail fuel dispensing facility, attended or unattended;
- (10) Taxi cab dispatching/service facility;
- (11) Auto parts store (new parts only);
- (12) Passenger transit terminal facility, and associated accessory uses, including, but not limited to eating establishment, florist, bookstore, travel agency and other commercial enterprises for the convenience of transportation system users;
- (13) Other uses if found by the Planning Commission to conform to the intent of this district.
- (14) Hotel and/or motel.

### 3.21 Conditional Uses

The following principal uses are conditional within the S-C district and shall be allowed only if approved pursuant to Section 18.74 of the Victorville Municipal Code, entitled "Conditional Uses."

- 1) Any and all uses enumerated in this district providing drive-thru service adjacent to any residential district;
- 2) All fuel dispensing facilities selling hard liquor; when a finding recommending to the Department of Alcoholic Beverage Control that public convenience or necessity will be served by the alcoholic beverage sale is needed consistent with Business and Professions Code Section 23958.4, and required by Section 18.58.190 entitled "Finding of Public Convenience or Necessity";
- 3) Automatic or self-service car wash;
- 4) Automobile paint and body shop;
- 5) Automobile repair garage;
- 6) Automobile and truck rental (no trucks over two- and one-half tons);
- 7) Commercial-manufacturing use, based upon those uses specified in the C-M (Commercial Manufacturing) zone district in Title 18, in an existing building previously used for commercial uses when it can be shown that existing building structures are inappropriate for specified uses within this district, and said use will not conflict with surrounding properties' ability to develop and meet the intent of this district;
- 8) Other uses if found by the Planning Commission to conform to the intent of this district;
- 9) Recreational vehicle park.

### 3.22 Restricted Industrial Overlay (RI)

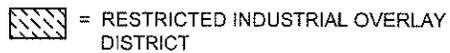
Certain properties within the Service Commercial District, either because of their location away from or effectively serviced by an arterial street or the nature of existing buildings, are deemed to be considered appropriate parcels for restricted industrial uses. Consequently, properties delineated in Exhibit 17 have been overlaid with a restricted industrial designation and the uses listed below shall only be approved pursuant to Chapter 18.74 of the Municipal Code, entitled "Conditional Uses", if the Commission can make the following findings:

- a. That the proposed use is so small so as not to employ significant numbers of people nor generate significant amounts of traffic.
- b. The operation of the use will not adversely impact surrounding properties.
- c. The types, design and placement of buildings are not incompatible with surrounding uses.
  1. Animal Hospital;
  2. Blueprinting and photocopying;
  3. Catering Service;
  4. Cleaning and dyeing plant, dry cleaning, laundry, linen and towel service;
  5. Emergency services dispatching facility when vehicles are not dispatched from the site;
  6. Frozen food locker;
  7. Furniture refinishing service;
  8. Icehouse (non-manufacturing);
  9. Locksmith and sawfiling;
  10. Machine shop;
  11. Medical and/or dental laboratory;
  12. Muffler shop;
  13. Newspaper Production;
  14. Plumbing shop;
  15. Printing shop;
  16. Sign painting shop;
  17. Small tool and machinery repair shop;
  18. Taxidermy shop;
  19. Warehousing and wholesaling;
  20. Woodworking and cabinet shop;
  21. Wrought iron shop, including small scale manufacturing;
  22. Other uses if found by the Planning Commission to conform to the intent of this district.

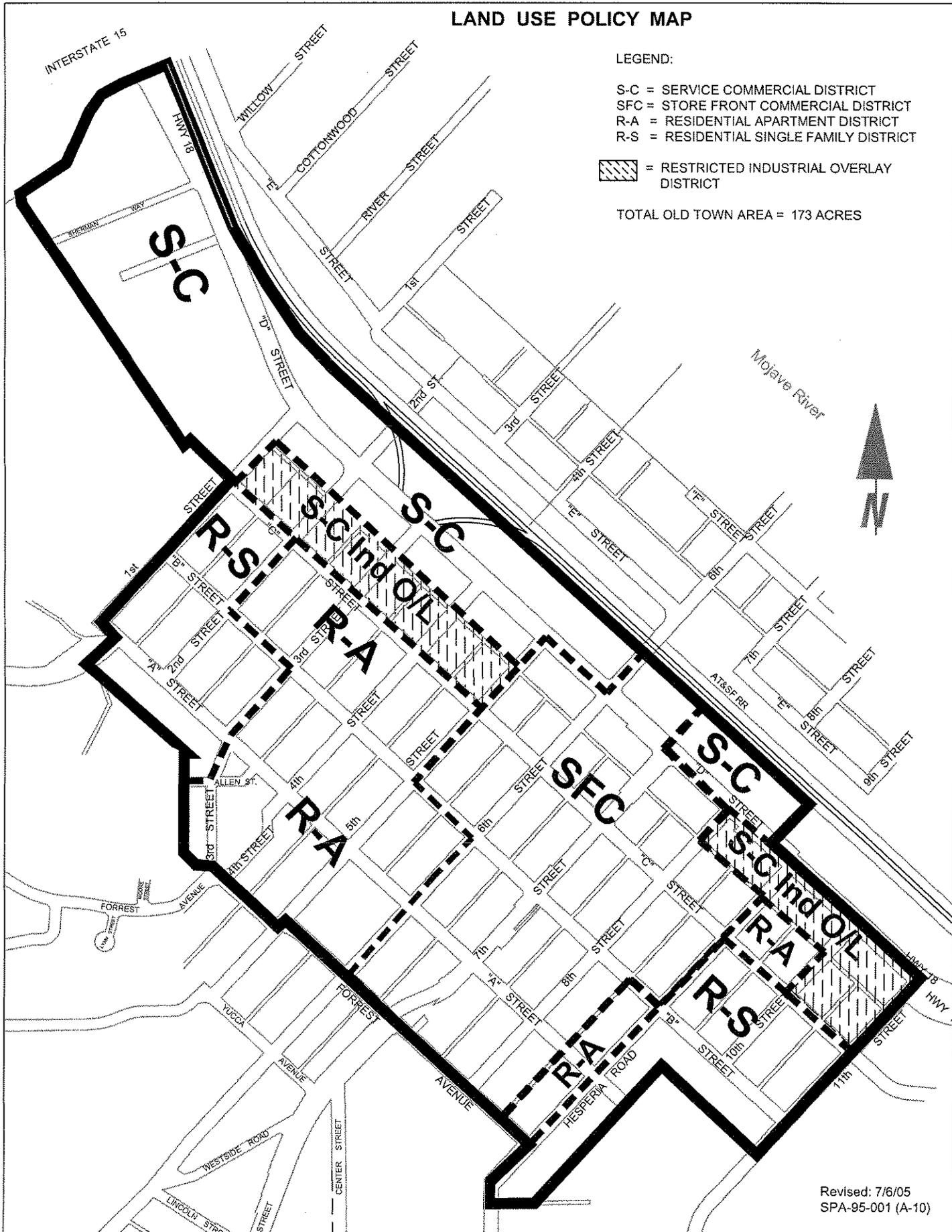
# LAND USE POLICY MAP

## LEGEND:

- S-C = SERVICE COMMERCIAL DISTRICT
- SFC = STORE FRONT COMMERCIAL DISTRICT
- R-A = RESIDENTIAL APARTMENT DISTRICT
- R-S = RESIDENTIAL SINGLE FAMILY DISTRICT



TOTAL OLD TOWN AREA = 173 ACRES



Revised: 7/6/05  
SPA-95-001 (A-10)

### 3.23 Accessory Uses

#### A. Microwave Dish Antennas

Microwave dish antennas shall be permitted in the S-C District subject to the following regulations:

1. Microwave dish antennas shall be placed on the roof only and shall not project more than 10 feet above the roof line.
2. No portion of a microwave dish antenna shall be visible from the public right-of-way excepting alley ways.

Proposed microwave dish antennas which do not comply with the above requirements and/or are proposed for locations not identified above shall only be allowed through approval of a conditional use permit, pursuant to Section 18.74 of the Victorville Municipal Code, entitled "Conditional Uses."

### 3.24 Special Regulations

All uses, and uses customarily incidental to those uses, in the S-C District shall be subject to the following regulations:

#### A. All uses shall be conducted wholly within an enclosed building except:

1. Washing of automobiles, automobile, motorcycle, boat and trailer sales and their storage provided that all such areas exclusive of sales and display areas, shall be adequately screened, as determined by the director of planning, from abutting properties and/or public rights-of-way;
2. Outdoor cooking in conjunction with a restaurant is allowed if approved pursuant to Chapter 18.74 of the Victorville Municipal Code.

#### B. There shall be no manufacture, compounding, processing or treatment of products other than that which is clearly incidental and essential to a retail store or business and where all such products are sold at retail on the premises;

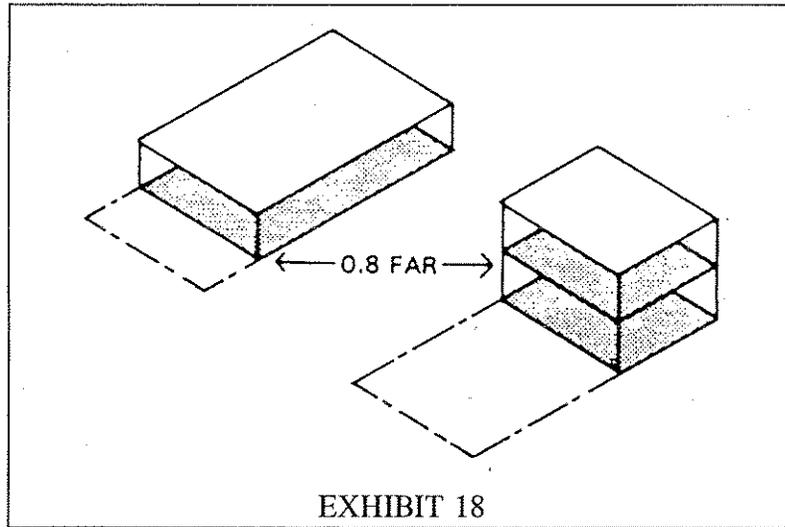
1. The operations of such uses, shall not be, objectionable due to odor, dust, smoke, noise, vibration or other similar causes.

### 3.25 Building Site Area

Except for lots of record, each lot shall have frontage of not less than 50 feet on a public street, a depth of 142 feet and an area of 7,100 square feet.

**3.26 Floor Area Ratio**

The maximum floor area ratio (FAR) in the S-C district is .80. For example, a 7,100 square foot lot could be developed with a 5,680 square foot single story building or a two-story building with a ground floor area of 2,840 square feet. The FAR calculation shall be rounded to the nearest percent (see Exhibit 18).



**3.27 Yards**

A. The minimum required yards in the S-C district shall be as follows:

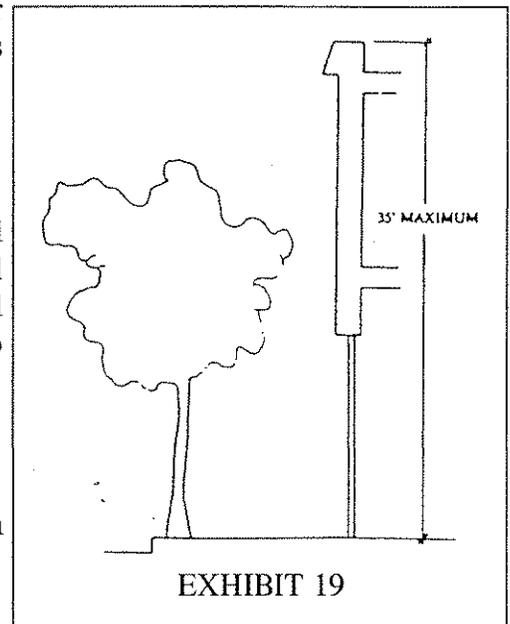
1. Front yards - ten feet;
2. Rear yards - none adjacent to commercial or industrial districts; ten feet adjacent to other districts and alleys;
3. Side yards - same as rear yards.

B. No building or structure shall be permitted in said required yards. All side or rear yards facing a street shall be subject to the regulations for a required front yard area. Parking, landscaping and walks may project into any required yard.

**3.28 Building Height**

A. No structure in a S-C district shall have a height in excess of thirty-five feet (see Exhibit 19).

B. Exceptions are subject to site plan or conditional use permit review and may be granted by the Planning Commission subject to the following findings:



1. The height exception will result in a structure that is functionally and/or aesthetically superior to what would be allowed without the exception.
2. The exception shall not compromise any other development standard within the S-C district.
3. The exception will not adversely affect the health, safety or welfare of persons residing or working in the vicinity of said structure, nor shall said structure impair the access of adjacent properties to light, air or insulation nor impair the privacy of adjoining residential properties.

### 3.29 Height Limit Exemptions

As identified in Section 18.58.030 of the Victorville Municipal Code.

### 3.30 Parking

Parking requirements for the S-C district are based upon the assumption that the majority of patrons will be travelers and commuters. Whenever more than one method of calculating the required number of spaces is indicated, the method which provides the greatest number of spaces shall apply.

For purposes of calculating required parking, gross floor area shall mean the total area of all floors beneath the roof of a building excepting mechanical equipment rooms which serve the building as a whole.

#### A. Parking Space Requirements

1. Commercial
  - a) Automobile and machinery sales and service: one (1) space per 450 square feet of floor area.
  - b) Open air sales such as used car lots, automobile and truck rental: one (1) space per 1,000 square feet of display area.
  - c) Automotive repair, paint and body, upholstery and top shop and similar uses: one (1) space per 400 square feet of floor area, and one (1) space for each two hundred square feet of office area. A credit for service bays will be given at the ratio of two bays equaling one parking space for area devoted to automotive repair only, provided the resulting number of parking spaces required for the use is not less than four.
  - d) Retail stores, including automotive parts, fuel dispensing, curio and gift shops and food stores: one (1) space per 200 square feet of gross floor area.
  - e) Restaurants, cafes, bars, night clubs and similar establishments serving food and beverages: Five (5) spaces per one thousand (1,000) square feet of gross floor area or one (1) space per seat base. A seat base shall mean a table with chairs or a booth or a bench or a bar stool.

- f) The required number of parking spaces may be reduced for restaurants which can prove, to the satisfaction of the Director of Planning, that the restaurant will serve primarily as a walk-in or drive-thru trade. A determination shall be based upon the following:

- Nature of the business
- Proximity to centers of employment
- Absence of seating with tables
- Existence of drive-thru as only public access

In no case shall parking be reduced to less than one (1) stall per 200 square feet of gross floor area.

- g) Hotels or motels: five (5) spaces plus one (1) for each sleeping unit.
- h) Taxi cab dispatching service: one (1) space per 400 square feet of floor area.
- i) Passenger transit terminal facility: one (1) space per 400 square feet of floor area for each accessory use provided therein primarily for the convenience of the traveler.

## 2. Restricted Industrial Overlay

Parking in conformance with Title 18 or as determined by the review and approval process provided in Chapter 18.74 of the Municipal Code, entitled "Conditional Uses".

**NOTE: See General Parking Regulations for additional development standards, Page 71.**

### 3.31 Signs

#### A. Intent

The intent of this section is to enhance the aesthetics of the Service Commercial District by avoiding excessive signage while serving both the pedestrian and motorist/traveler. Signs composed of materials and colors which are compatible with the architectural design theme of the building they serve are encouraged. The following signs shall be permitted in the S-C district pursuant to staff review and approval of a sign application subject to the appropriate standards. Section 18.30.100 of the Victorville Municipal Code shall apply with the following additions and/or changes:

#### 1. Business Signs

Two (2) business signs shall be permitted for each business containing individual business frontage. The total area of signage shall not exceed three (3) square foot per linear foot of business frontage. The area of such signs shall include the material and any framing of which the sign is a part. The area of irregularly shaped signs and painted wall signs shall be calculated by enclosing the outer limits of any writing, representation, emblem, figure or character within a rectangle of the smallest size possible.

- a) A business sign shall be permitted only upon that portion of a building occupied by the subject business. Such sign shall not extend above the eave, canopy or parapet of a building.
- b) For those businesses located on a corner at the intersection of two public rights-of-way, one additional business sign shall be allowed based upon twenty-five percent (25%) of the permitted area as calculated from the primary business frontage. This additional sign and area shall be utilized upon the secondary frontage or upon a wall containing a secondary public entrance if said entrance is adjacent to and facing a public parking area.
- c) All or a portion of the signage allowed for wall signs may be affixed to a canopy. Said signage shall conform to the geometric shape of said canopy and shall not project more than ten (10) inches.

## 2. Under Canopy and Bracket Signs

One (1) canopy or bracket sign shall be permitted for each business containing individual business frontage (See Exhibit 20, Page 49). Such sign shall not exceed an area of four (4) square feet per face with only one face of a double-faced sign being calculated. Such sign shall be placed at all points not less than ninety-six (96) inches above the sidewalk and shall be located not more than five (5) feet from the primary entrance into the business as measured parallel to the building. When such sign is used with a canopy, it shall be attached to the underside of the canopy and shall not extend beyond the leading edge of the canopy. A bracket sign shall not extend more than five feet from the face of the building structure behind the public right-of-way.

## 3. Sale, Lease or Rental Signs

- a) One "for sale," "for rent" or "for lease" sign, which sign may be double faced, shall be permitted for each street frontage based upon the following conditions on parcels which contain less than one acre in area:
  - 1) The sign shall not exceed four square feet in area.
  - 2) The sign shall not exceed six feet in overall height.
  - 3) The sign shall not be attached to any tree, fence post or utility pole.
  - 4) The sign shall not be located within ten feet of the front or street side property lines.
  - 5) The sign shall not be lighted.
  - 6) The sign may be modified to indicate "sold", "leased" or "rented," provided that the display face area is not increased.
  - 7) The sign shall be removed not later than ten days following the transfer of property.
  - 8) A sign permit shall not be required for sale, lease or rental signs.

4. NOTE: See General Sign Regulations for other permitted signage and additional standards Page 65.

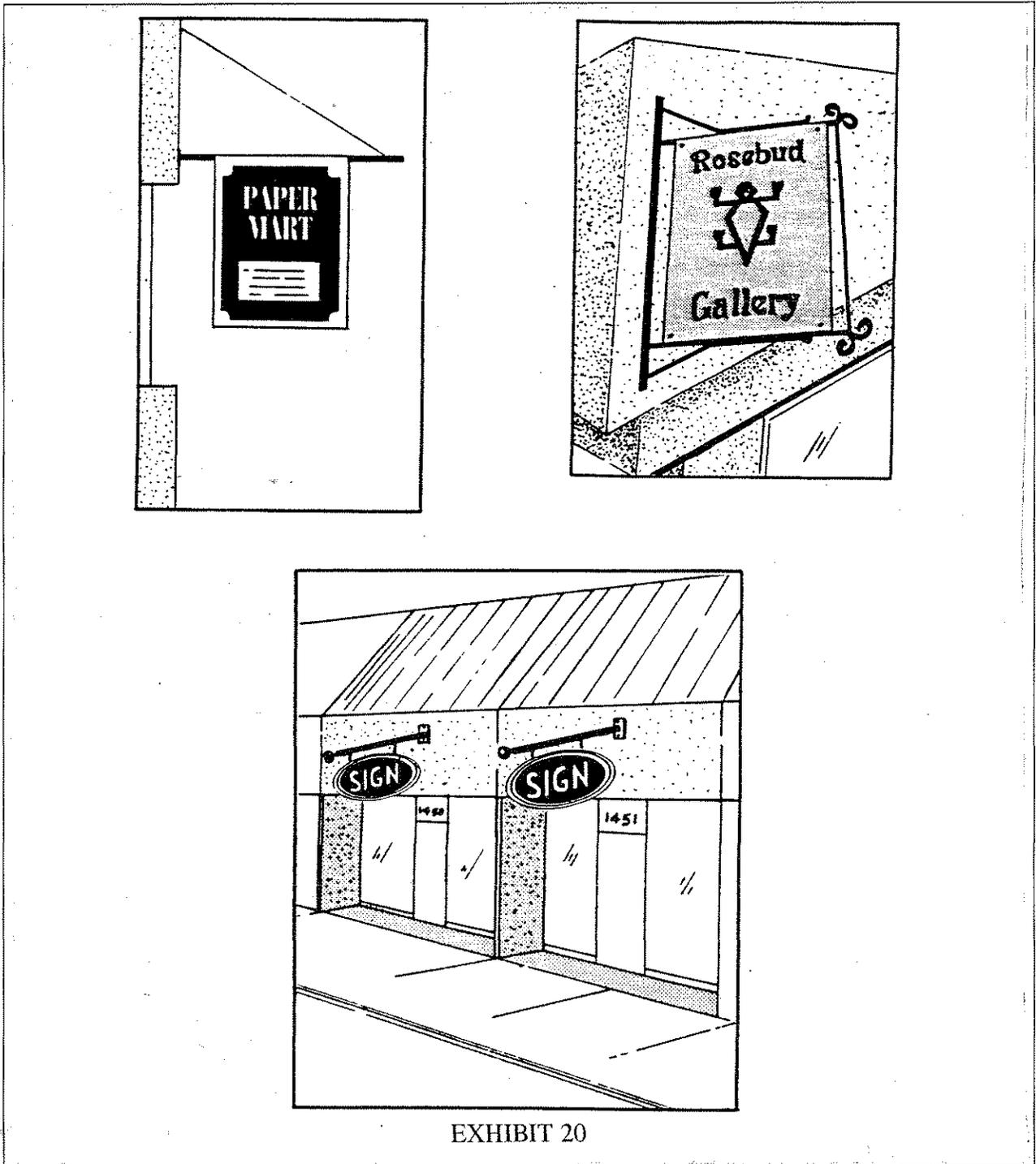


EXHIBIT 20

3.32 Projections, Fences, Walls and Hedges

A. Permitted Projections into Yards

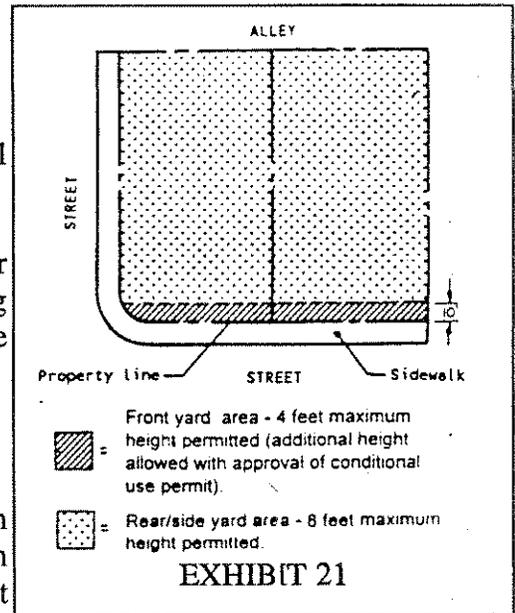
1. Cornices, eaves, fireplaces or other architectural features may project two feet into any required yard.
2. A stair, landing or porch, patio cover, carport, arbor or similar unenclosed structure attached to a building whether covered or uncovered may occupy the interior side or rear yard.

B. Fences, Walls and Hedges

Fences, walls and hedges as regulated in this section may occupy any yard area. No fence, wall or hedge in rear or side yards shall have a height in excess of eight (8) feet. No fence, wall or hedge in a required front yard shall have a height in excess of four (4) feet (see Exhibit 21).

C. Measurement of Height

The height of a fence, wall or hedge shall be measured from the lowest finished level of the ground abutting it. Where a fence, wall or hedge lies directly above a retaining wall or above, parallel with and within four (4) feet of such a wall, the permitted height of a fence, wall or hedge may be eight (8) feet, but in no case shall it be less than three and one-half (3-1/2) feet. The height of said fence, wall or hedge shall be measured from that portion of the retaining wall which is retaining fill (see Exhibit 22).



### 3.33 Site Plan Requirement

All commercial building developments and/or physical expansion of a use and/or building within a S-C district shall require an approved site plan pursuant to Section 18.71 of the Victorville Municipal Code prior to securing a building permit. Said site plan review shall not be required for an existing non-conforming building and/or use which shall be reviewed pursuant to Section 18.70 of the Victorville Municipal Code. When all uses proposed in the development are conditional within this district, said development shall require Conditional Use Permit review and approval pursuant to Section 18.74 of the Victorville Municipal Code.

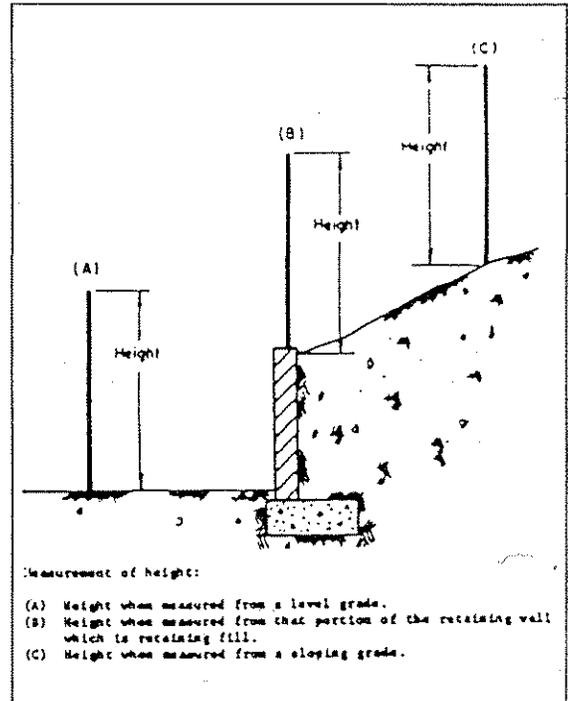


EXHIBIT 22

## R-S RESIDENTIAL SINGLE FAMILY DISTRICT

### Sections:

- Intent.
- Objectives.
- Minimum dwelling unit area.
- Permitted uses.
- Conditional uses.
- Accessory uses.
- Building site area.
- Floor area ratio.
- Outdoor use areas.
- Building height.
- Building concept.
- Parking.
- Signs.
- Projections, fences, walls and hedges.
- Recreational living space.

### 3.34 Intent

This district is intended to encourage the rehabilitation of existing housing units and the development of new detached single family residential units. New development will focus on designs which create interaction between residents and the activities on the sidewalk. The R-S District creates an opportunity to design for people utilizing existing sidewalks, alley ways and small lots. The R-S District allows five (5) dwelling units per gross acre.

### 3.35 Objectives

The following objectives are specific to the Residential Single Family District:

- A. Encourage rehabilitation of existing housing units which functionally interact with the street.
- B. Encourage designs which accommodate human activity rather than the automobile.

### 3.36 Minimum Dwelling Unit Area

Every single family dwelling unit constructed in the R-S District shall contain a minimum area of 800 square feet.

### 3.37 Permitted Uses

The following principal uses are allowed in the R-S District:

- (1) One single-family dwelling on a lot;
- (2) One single manufactured home on a lot installed pursuant to the provisions contained in Section 18.58.120 of the Victorville Municipal Code.

**3.38 Conditional Uses**

The following principal uses are conditional in the R-S District and shall be permitted if approved pursuant to Chapter 18.74 of the Victorville Municipal Code, entitled "Conditional Uses":

- (1) Cellars as an accessory use to a single family dwelling unit;
- (2) Church;
- (3) Community clubhouse;
- (4) Day nursery and day care center, 13 or more;
- (5) Health care education facility;
- (6) Boarding house;
- (7) Nursing home and/or rest home if serving six or fewer adults;
- (8) Utility or public service facility necessary to serve the area, but not including a storage garage, yard; or machine shop.

**3.39 Accessory Uses**

Section 18.16.040 of the Victorville Municipal Code shall apply with the following additions and/or changes:

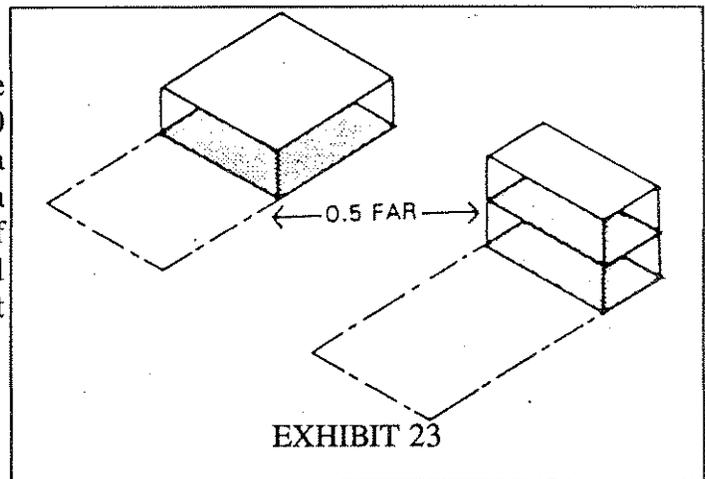
- A. An accessory building shall not exceed fifteen feet (15') in height may occupy part of a required rear yard and/or side yard along the interior side lot line only, provided that the roof system does not extend beyond the property line and shall meet all building code requirements.
- B. A swimming pool is a permitted accessory use in the R-S District provided, however, that no swimming pool shall be located in a front outdoor use area or be in non-compliance with any other section of this specific plan.

**3.40 Building Site Area**

Except for lots of record, each lot shall have frontage of not less than 50 feet on a public street, a depth of 142 feet and an area of 7,100 square feet.

**3.41 Floor Area Ratio**

The maximum floor area ratio (FAR) in the R-S district is .50. For example, a 7,100 square foot lot could be developed with a 3,550 square foot single story building or a two-story building with a ground floor area of 1,775 square feet. The FAR calculation shall be rounded to the nearest percent (see Exhibit 23).



**3.42 Outdoor Use Areas**

- A. Buildings shall be constructed not less than 10 feet behind front property lines;
- B. Buildings shall be constructed not less than 5 feet from interior side and street side property lines;
- C. Buildings shall be constructed not less than 10 feet behind rear property lines.

Unenclosed porches and balconies whether covered or uncovered may be constructed to front and street side property lines (see Exhibit 24).

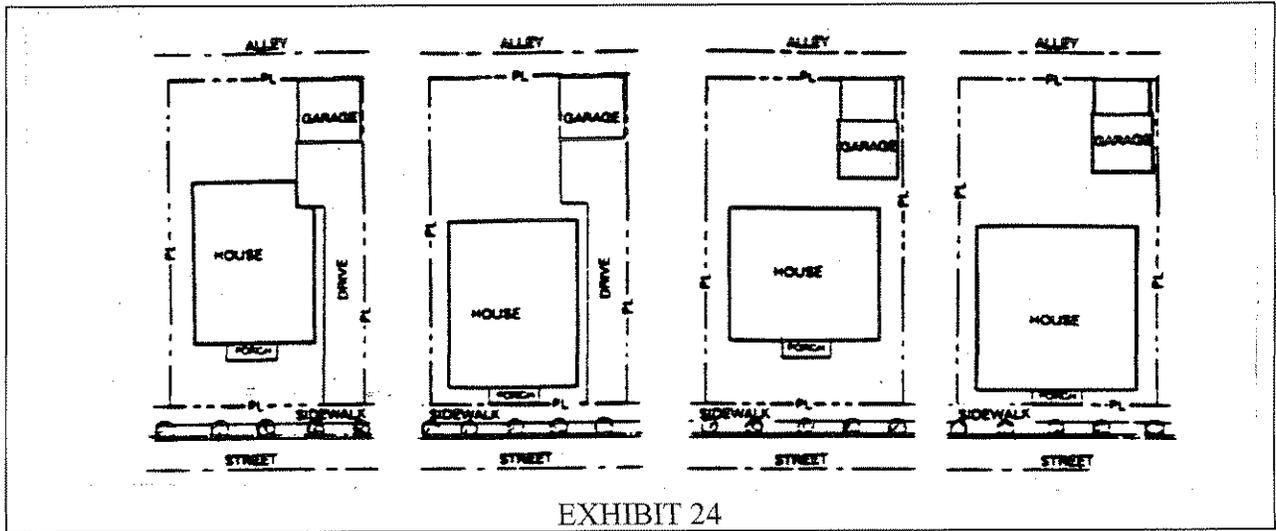


EXHIBIT 24

**3.43 Building Height**

- A. No structure shall exceed a height of 25 feet (see Exhibit 25).
- B. Exceptions are subject to site plan or conditional use permit review and may be granted by the Planning Commission subject to the following findings:
  1. The height exception will result in a structure that is functionally and/or aesthetically superior to what would be allowed without the exception;
  2. The exception shall not compromise any other development standard within the R-S district;
  3. The exception will not adversely affect the health, safety or welfare of persons residing or working in the vicinity of said structure, nor shall said structure impair the access of adjacent properties to light, air or insulation nor impair the privacy of adjoining residential properties.

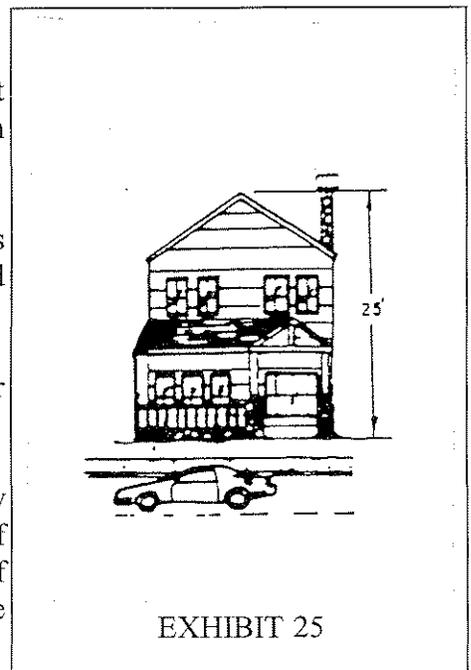


EXHIBIT 25

**3.44 Height Limit Exemptions**

As identified in Section 18.58.030 of the Victorville Municipal Code.

**3.45 Building Concept**

This section is intended to provide standards and guidelines regarding building orientation and the design of facades within the Residential Single Family district.

**A. Building Orientation**

Primary residential building entries shall face the sidewalk and shall not be obstructed by garages or driveways which are encouraged to be oriented to the alleyway. Entries may incorporate porches to emphasize human activity and make the sidewalks safer for pedestrians.

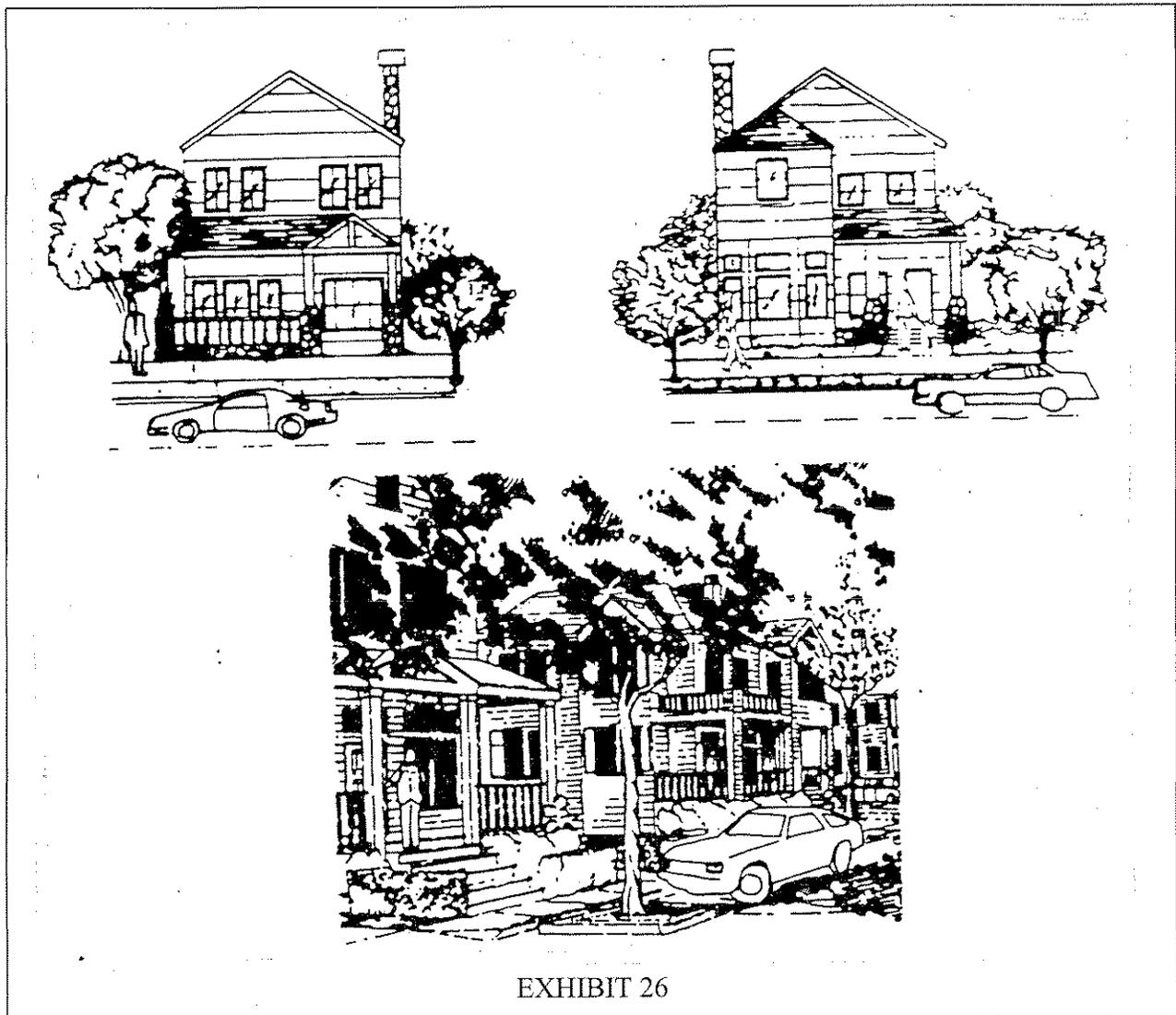


EXHIBIT 26

B. Building Facades

Building entrances, numerous windows, porches and balconies may be incorporated into the design of single family homes to create visual interest for the pedestrian. Garages, and driveways shall not obstruct and interfere with this pedestrian orientation. Trellises and large overhangs may also be added to create variety while providing shade for outdoor activity (see Exhibit 26, Page 55).

**3.46 Parking**

- A. Two off-street parking spaces are required for each dwelling unit and shall be within a fully enclosed garage. The minimum dimensions for a garage shall be eighteen (18) feet wide by twenty (20) feet deep. Each required garage shall be served by a hard surfaced driveway with a minimum width of sixteen (16) feet, from the property line which abuts the street or alley. Said driveway shall be a minimum of twenty (20) feet in length when accessed from a street, and ten (10) feet in length when accessed from an as measured from the garage structure. A nine (9) foot wide driveway may be permitted except within twenty (20) feet of the garage structure.

**NOTE: See General Parking Regulations for additional development standards, Page 71.**

**3.47 Signs**

- A. The following signs shall be permitted within the R-S district, pursuant to staff review and approval of a sign application subject to the appropriate standards:
  - 1. Single family dwelling, one name plate not to exceed two square feet in area, containing the name and address of the occupants of the premises;
  - 2. Unless otherwise specified within this section, one unlighted wall or monument sign not to exceed forty-eight (48) square feet in total area identifying any activity permitted by a conditional use permit. No monument sign shall exceed a maximum height of six (6) feet;
  - 3. Sale, Lease or Rental Signs.

One "for sale," "for lease" or "for rent" sign, which sign may be double faced, shall be permitted for each street frontage based upon the following conditions:

- a) The sign shall not exceed four square feet in area;
- b) The sign shall not exceed six feet in overall height;
- c) The sign shall not be attached to any tree, fence post or utility pole;
- d) The sign shall not be lighted either directly or indirectly;
- e) The sign may be modified to indicate "sold", "leased" or "rented," provided that the display face area is not increased;
- f) The sign shall be removed not later than ten days following the transfer of property;

g) A sign permit shall not be required for sale, lease or rental signs.

4. See General Sign Regulations for other permitted signage and additional standards (Page 65).

**3.48 Projections, Fences, Walls and Hedges**

**A. Permitted Projections into Outdoor Use Areas**

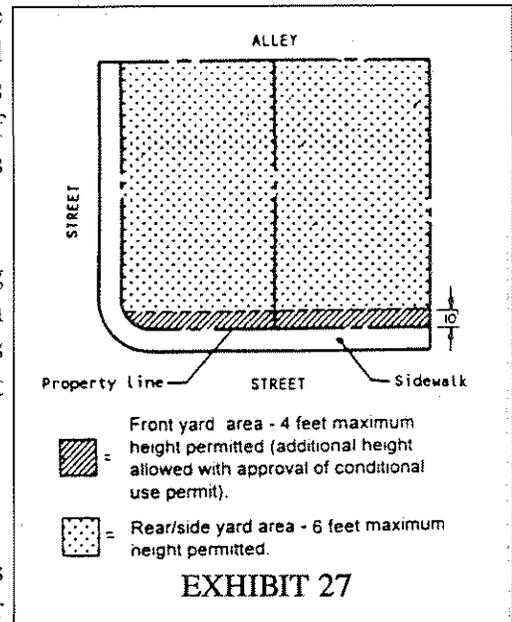
The following features of a building may project into the outdoor use areas as specified:

1. Cornices, eaves, fireplaces or other architectural features which do not increase the livable volume enclosed by the building may project up to two feet into any outdoor use area.
2. Unenclosed porches and balconies, whether covered or uncovered may be constructed to front and street side property lines provided no portion thereof extends beyond the property line.
3. Stairs, whether covered or uncovered may be constructed to front and street side property lines and within three feet of interior side property lines provided said stairs do not extend above the level of the ground floor, except for protective railing, as required by the Building Department.
4. An unenclosed covered patio attached to a building may project into the rear outdoor use area a maximum of five (5) feet provided a minimum of five (5) feet is maintained between the rear property and the nearest edge of the patio.

**B. Fences, Walls and Hedges**

Fences, walls and hedges may occupy any yard area as shown in Exhibit 27. No fence, wall or hedge in rear or side yards shall have a height in excess of eight (8) feet.

No fence, wall or hedge in a required front yard shall have a height in excess of four (4) feet.



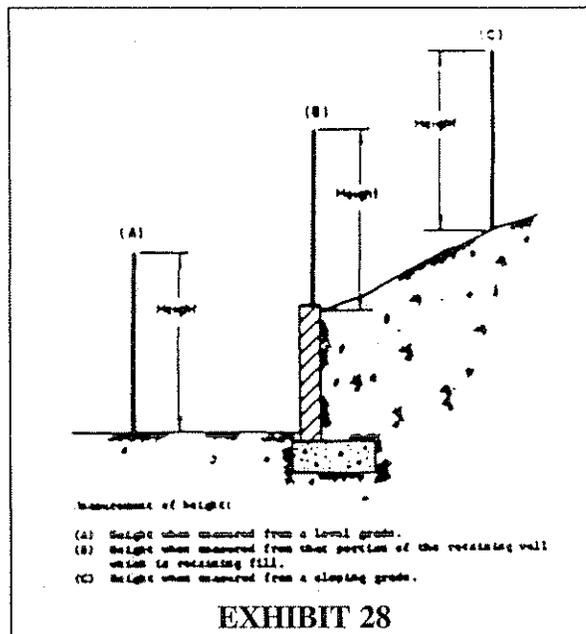
C. Measurement of Height

The height of a fence, wall or hedge shall be measured from the lowest finished level of the ground abutting it. Where a fence, wall or hedge lies directly above a retaining wall or above, parallel with and within four (4) feet of such a wall, the permitted height of a fence, wall or hedge may be six (6) feet, but in no case shall it be less than three and one-half (3-1/2) feet. The height of said fence, wall or hedge shall be measured from that portion of the retaining wall which is retaining fill (see Exhibit 28).

3.49 Recreational Living Space

A. Recreational living space for relaxation, recreation and visual pleasure shall be provided for each dwelling unit within the R-S district as follows:

1. A minimum area of two thousand (2,000) square feet of recreational living space shall be provided per dwelling on each lot. The calculations for the recreational living space shall be made by finding the remainder, after deducting from the total of the building site:
  - a) All area at ground level of all roofed buildings excluding architectural features, unenclosed porches, verandas and balconies.
  - b) All open areas used to provide parking spaces or to provide access to any parking space.
  - c) Any remaining areas having a ground slope in excess of ten percent.



## **R-A RESIDENTIAL APARTMENT DISTRICT**

### Sections:

- Intent.
- Objectives.
- Minimum dwelling unit area.
- Density bonuses.
- Permitted uses.
- Conditional uses.
- Accessory uses.
- Building site area.
- Floor area ratio.
- Outdoor use areas.
- Building height.
- Building concept.
- Parking.
- Signs.
- Projections, fences, walls and hedges.
- Recreational living space.
- Site plan requirement.

### **3.50 Intent**

This district is intended to encourage the development of high density housing projects such as garden apartments, triplexes, duplexes, townhouses and condominiums or other similar dwellings. In addition, single family dwelling units would be allowed in order to increase the variety of housing types. The increased density will support the multi-modal transit center by concentrating population within walking distance of public transportation. New developments will be located near property lines adjacent to sidewalks to create interaction with pedestrians. Development standards will encourage building designs that accommodate outdoor activity and emphasize people instead of automobiles. The R-A District will allow up to 24 dwelling units per gross acre.

### **3.51 Objectives**

The following objectives are specific to the Residential Apartment District.

- A. Promote development of various housing types to serve those who do not desire the traditional automobile-oriented, detached single family residential subdivision.
- B. Promote an increase in the concentration of population near commercial and public transportation facilities.

### **3.52 Minimum Dwelling Units Area**

Every dwelling unit constructed in the R-A District shall conform to the following minimum square footage of living area:

Bachelor apartments .....	500 square feet
One, two and three bedroom apartments .....	600 square feet
Condominiums and townhouses .....	800 square feet
Detached single family dwelling unit .....	800 square feet

**3.53 Density Bonuses**

As identified in Section 18.13.030 of the Victorville Municipal Code.

**3.54 Permitted Uses**

The following principle uses are permitted within the R-A District:

- (1) One single family dwelling on a lot;
- (2) One single family manufactured home on a lot installed pursuant to Section 18.58.120 of the Victorville Municipal Code;
- (3) Multiple dwellings;
- (4) Condominium/Townhouse.

**3.55 Conditional Uses**

The following principal uses are conditional in the R-A District and shall be permitted only if approved pursuant to Section 18.74 of the Victorville Municipal Code, entitled "Conditional Uses:"

- (1) Boarding house;
- (2) Church;
- (3) Community club house;
- (4) Day nursery and day care center;
- (5) Homeless shelter;
- (6) Nursing home and/or rest home;
- (7) Recreational facility owned and maintained by a governmental agency;
- (8) Single room occupancy facility developed in accordance with the regulations set forth in single room occupancy development standards in General Regulations, Page 75.

**3.56 Accessory Uses**

Section 18.16.040 of the Victorville Municipal Code, for single family dwellings, 18.22.040 of the Victorville Municipal Code, for multiple family dwellings shall apply with the following addition:

**A. Swimming Pools**

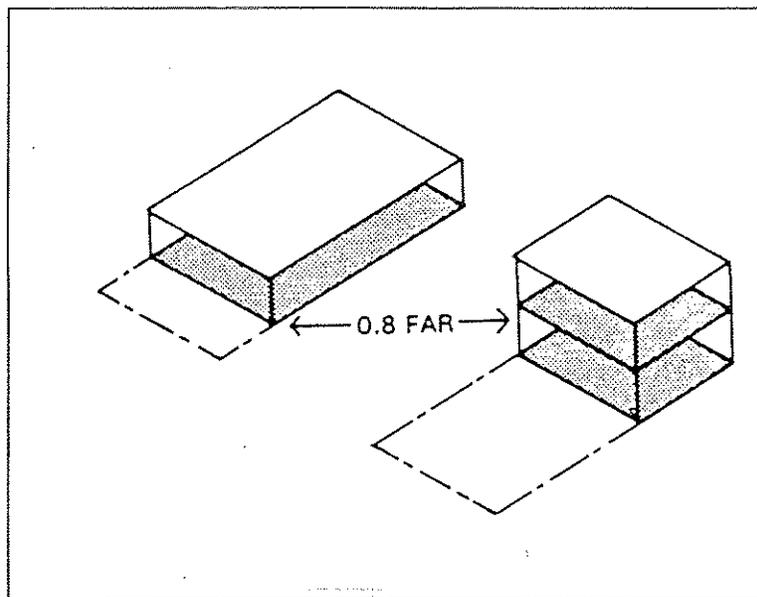
A swimming pool is a permitted accessory use in the R-A District, provided, however, that no swimming pool shall be located in a front outdoor use area or be in non-compliance with any other section of this specific plan.

### 3.57 Building Site Area

Except for lots of record, each lot shall have frontage of not less than 25 feet on a public street a depth of 142 feet and an area of 3,550 square feet.

### 3.58 Floor Area Ratio

The maximum floor area ratio (FAR) in the R-A District is .80. For example, a 3,550 square foot lot could be developed with a 2,840 square foot single story building or a two-story building with a ground floor area of 1,420 square feet. The FAR calculation shall be rounded to the nearest percent. Unenclosed porches and balconies, whether covered or uncovered, shall not be included in the Floor Area Ratio calculation (see Exhibit 29).



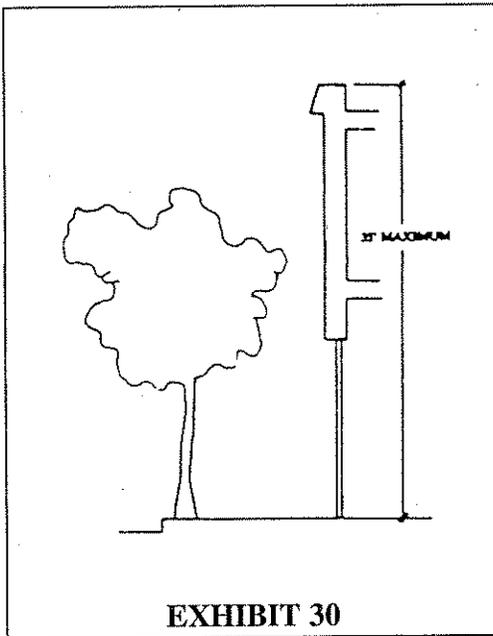
**EXHIBIT 29**

### 3.59 Outdoor Use Areas

- A. Buildings shall be constructed not less than 10 feet behind the front property line;
- B. Buildings shall be constructed not less than 5 feet from the interior side property line;
- C. Buildings shall be constructed not less than 5 feet but not more than 10 feet from the street side property line;
- D. Buildings shall be constructed not less than 10 feet from the rear property line.

### 3.60 Building Height

- A. No structure shall exceed a height of 35 feet (see Exhibit 30, Page 62).



B. Exceptions are subject to site plan or conditional use permit review and may be granted by the Planning Commission subject to the following findings:

1. The height exception will result in a structure that is functionally and/or aesthetically superior to what would be allowed without the exception.
2. The exception shall not compromise any other development standard within the R-A district.
3. The exception will not adversely affect the health, safety or welfare of persons residing or working in the vicinity of said structure, nor shall said structure impair the access of adjacent properties to light, air or insulation nor impair the privacy of adjoining residential properties.

**3.61 Height Limit Exemptions**

As identified in Section 18.58.030 of the Victorville Municipal Code.

**3.62 Building Concept**

This section is intended to provide standards and guidelines regarding building orientation and the design of facades within the Residential Apartment district.

**A. Building Orientation**

Primary ground floor entries shall face the sidewalk and shall not be obstructed by off-street parking areas. Upper floor entries facing the sidewalk are encouraged; however, side facing entries would be allowed. Entries shall face sidewalks in order to emphasize human activity and enhance the security of pedestrians. Off-street parking areas shall be located in the rear to de-emphasize the automobile.

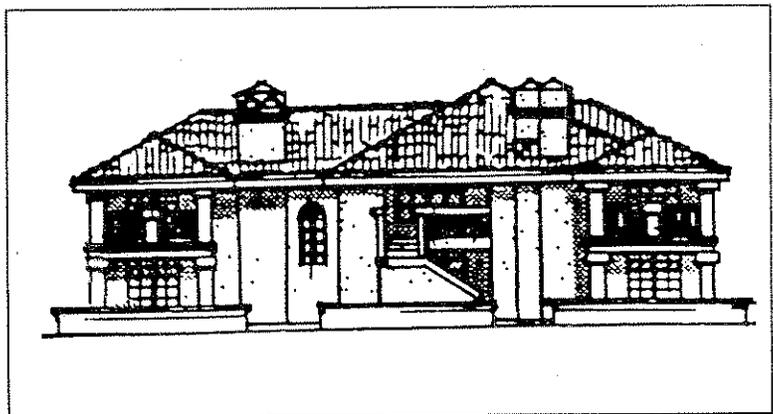


EXHIBIT 31

**B. Building Facades**

As shown in Exhibit 31, the exterior of multi-family residences may incorporate porches, balconies and windows in a manner which makes such projects appear as larger single family

residences. Facades may incorporate "pop-outs," porches, bay windows and various roof treatments to provide visual relief.

### **3.63 Parking**

Off-street parking shall be required in order to reduce the number of vehicles within the public right-of-way, de-emphasizing their presence in the neighborhood.

1. Single family dwelling units:

There shall be a minimum of two fully enclosed parking spaces for each dwelling unit.

2. Manufactured single family homes:

Same standard as "Single family dwelling units".

3. Multiple family dwelling units:

(a) Bachelor and one-bedroom apartments require one covered parking stall per unit.

(b) Two bedroom apartments, condominiums and townhouses require two parking stalls per unit, one of which shall be covered.

**Note: See General Parking Regulations for additional development standards, Page 71.**

### **3.64 Signs**

A. Intent

The intent of this section is to protect the residential neighborhood from excessive signage and sign area while allowing for identification of single and multiple family residences. The following signs shall be permitted within the R-A district, pursuant to staff review and approval of sign application subject to the appropriate standards.

1. Single family dwelling, one name plate not to exceed two square feet in area, containing the name and address of the occupants of the premises;
2. Multiple family dwelling, one unlighted wall or monument identification sign with a permitted maximum sign area of three square feet for each dwelling unit not to exceed forty-eight (48) square feet. No monument sign shall exceed a maximum height of six (6) feet;
3. Unless otherwise specified within this section, one unlighted wall or monument sign not to exceed forty-eight (48) square feet in total area identifying any activity permitted by a conditional use permit. No monument sign shall exceed a maximum height of six (6) feet;

4. Sale, Lease or Rental Signs.

One "for sale," "for lease" or "for rent" sign, which sign may be double faced, shall be permitted for each street frontage based upon the following conditions:

- a) The sign shall not exceed four square feet in area.
- b) The sign shall not exceed six feet in overall height.
- c) The sign shall not be attached to any tree, fence post or utility pole.
- d) The sign shall not be lighted.
- e) The sign may be modified to indicate "sold", "leased" or "rented," provided that the display face area is not increased.
- f) The sign shall be removed not later than ten days following the transfer of property.
- g) Housing projects, containing two or more dwelling units, intended for occupancy by individuals other than the property owner on a rental or lease basis shall be further regulated as follows: The display of "for rent" or "for lease" signage shall be permitted for a maximum of thirty (30) days per quarter annually or until such time as all dwelling units are occupied, whichever occurs first.
- h) A sign permit shall not be required for sale, lease or rental signage.

**NOTE: See General Sign Regulations for other permitted signs and additional standards (Page 65).**

**3.65 Projections, Fences, Walls and Hedges**

**A. Permitted Projections into Outdoor Use Areas**

The following features of a building may project into the outdoor use areas as specified:

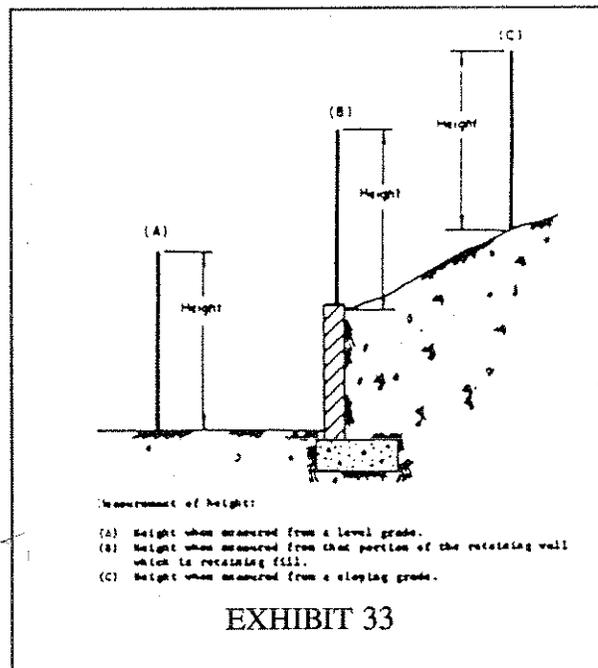
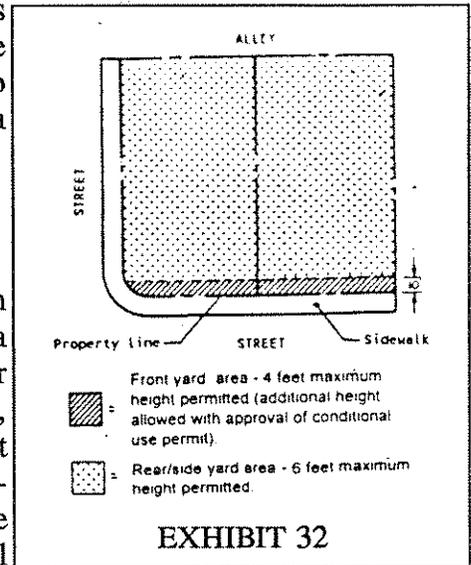
- 1. Cornices, eaves, fireplaces or other architectural features which do not increase the livable volume enclosed by the building may project up to two feet into any outdoor use area.
- 2. Porches and balconies, whether covered or uncovered may be constructed up to front and street side property lines provided no portion thereof extends beyond the property line.
- 3. Stairs, whether covered or uncovered may be constructed up to front and street side property lines and within five feet of interior side property lines provided said stairs do not extend above the level of the ground floor, except for protective railing, as required by the Building Department.
- 4. An unenclosed covered patio attached to a building may project into the rear outdoor use area a maximum of five (5) feet provided a minimum of five (5) feet is maintained between the rear property line and the nearest edge of the patio.

**B. Fences, Walls and Hedges**

Fences, walls and hedges may occupy any yard area as shown in Exhibit 32. No fence, wall or hedge in rear or side yards shall have a height in excess of eight (8) feet. No fence, wall or hedge in a required front yard shall have a height in excess of four (4) feet.

**C. Measurement of Height**

The height of a fence, wall or hedge shall be measured from the lowest finished level of the ground abutting it. Where a fence, wall or hedge lies directly above a retaining wall or above, parallel with and within four (4) feet of such a wall, the permitted height of a fence, wall or hedge may be eight (8) feet, but in no case shall it be less than three and one-half (3-1/2) feet. The height of said fence, wall or hedge shall be measured from that portion of the retaining wall which is retaining fill (see Exhibit 33).



**3.66 Recreational Living Space**

A. Recreational living space for relaxation, recreation and visual pleasure shall be provided for each dwelling unit within the R-A district as follows:

1. Single Family Dwelling Units. A minimum area of two thousand (2,000) square feet of recreational living space shall be provided per dwelling on each lot;

2. Multiple Family Housing Project. A minimum area of two-hundred fifty (250) square feet of recreational living space shall be provided per dwelling unit;
  3. Condominiums and Townhouses. Same standard as a multiple family housing project.
- B. The calculations for the recreational living space per dwelling unit shall be made by finding the remainder, after deducting from the total of the building site:
1. All area at ground level of all roofed buildings excluding architectural features, unenclosed porches, verandas and balconies as well as recreational buildings;
  2. All open areas used to provide parking spaces or to provide access to any parking space;
  3. Any remaining areas having a ground slope in excess of ten percent.
- C. The recreational living space for multiple family, condominium and townhouse developments may be provided in a form of common and private recreational living space, provided that there shall be at least 150 square feet of common recreational living space for each dwelling unit. Said space shall be provided in accordance with the following specifications:
1. Common Recreational Living Space:
    - a) All required common recreational living spaces shall be accessible to all the occupants of all the dwelling units;
    - b) Each common recreational living space shall have a minimum dimension of ten feet;
    - c) Pools, putting greens, shuffleboard courts and similar open-type recreational facilities may be included in the common recreational living space;
    - d) Recreational buildings may be included within the common outdoor recreational living space.
    - e) All landscaped areas and approved curbing shall be maintained in a neat, clean, orderly and healthful condition. This includes proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacement of plants where necessary, the regular watering of all planting and the repair of landscape curbing.
  2. Private Recreational Living Space
    - a) Private recreational living space for dwelling units located on the ground floor shall contain a minimum area of one hundred square feet with a minimum dimension of ten feet. Said space shall be contiguous to the unit served. Said space may be provided in the form of an unenclosed porch or veranda;
    - b) Private recreational living space for dwelling units located above the first floor may be provided in the form of open balconies or recessed open areas. Such space shall contain a minimum area of seventy-five square feet with a minimum dimension of seven feet and be contiguous to the unit served.

**3.67 Site Plan Requirement**

All building sites within the R-A District shall require an approved site plan pursuant to Chapter 18.71 of the Victorville Municipal Code prior to securing a building permit. The site plan review shall not be required for the expansion of an existing non-conforming building and/or use, which shall be reviewed pursuant to Chapter 18.70 of the Victorville Municipal Code. When all uses proposed in development are conditional within this district, the site plan requirement shall not apply. Said development shall require Conditional Use Permit review and approval pursuant to Chapter 18.74 of the Victorville Municipal Code.

Site plan review shall not be required for additions to existing inhabitable structures providing the liveable volume enclosed by such structure is not increased. Such additions shall include unenclosed patio covers, porches and architectural features.

# **GENERAL SIGN REGULATIONS**

#### 4. GENERAL SIGN REGULATIONS

Section 18.62 of the Victorville Municipal Code shall apply in addition to those regulations contained within this Specific plan. If regulations differ from those in Section 18.62, the regulations contained herein shall prevail.

Sections:

- Definitions.
- Permanent signs.
- Temporary signs.
- Prohibited signs.
- Signs on municipal properties and public rights-of-way.
- Public signage
- Freeway signage

#### 4.1 Definitions

##### A. Area of Sign

"Area of sign" includes the entire area within any type of perimeter or border which encloses the outer limits of any writing, representation, emblem, figure or character. The area of the sign having no such perimeter or border shall be computed by enclosing the entire area utilized by any writing, representation, emblem, figure or character within a single continuous rectilinear perimeter of the smallest size and computing the area (see Exhibit 34).

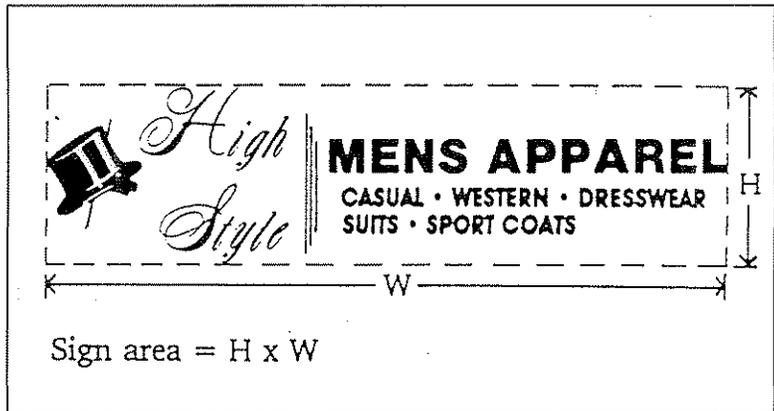


EXHIBIT 34

##### B. Business Frontage

For the purpose of calculating sign area, "business frontage" shall be the linear measurement of the maximum width of the exterior walls when measured parallel to the primary frontage. Business frontage shall contain the primary entrance to the business, separate and distinct from any other business. If more than one business utilizes the same primary entrance, sign area shall be shared by the individual businesses based upon the single business frontage.

##### C. Business sign

"Business sign" means the outdoor display of any lettered, figured, or pictorial matter or device for the purpose of designating the name of the owner or occupant of a business or service facility on the premises, or of identifying or promoting the business or service activity.

##### D. Frontage, primary

That portion of the lot abutting a public right-of-way parallel to the primary entrance of the

building (See Exhibit 35).

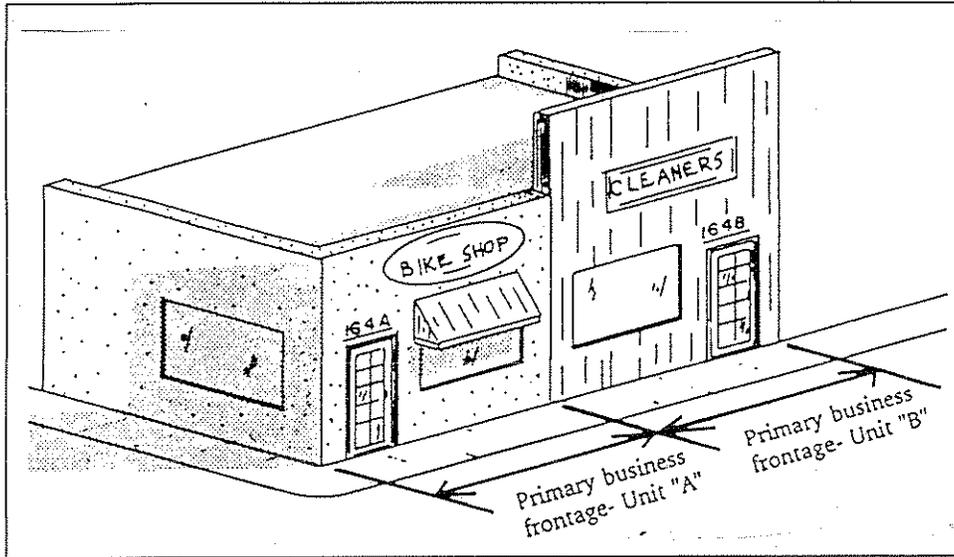


EXHIBIT 35

E. Entrance, primary

Primary entrance is determined as follows:

1. The entrance facing the street to which the building is addressed; and
2. The entrance providing the majority of access to the building. The Director of Planning shall determine the primary entrance of buildings not conforming to the above criteria.

F. Painted Sign

A permanent sign which is painted on the wall, window, or canopy of a business.

G. Permanent Sign

A sign of a nontemporary nature requiring a building permit or a sign permanently fixed in a lawful location. Vinyl, plastic, cloth or paper sheeting shall not constitute materials acceptable for the construction of permanent signage.

H. Parapet Wall

That portion of an exterior building wall projecting above the top plate line of the building.

I. Parapet Sign

A sign marked upon or attached flat and parallel to a parapet wall and not extending in height above the top of the parapet (see Exhibit 36).

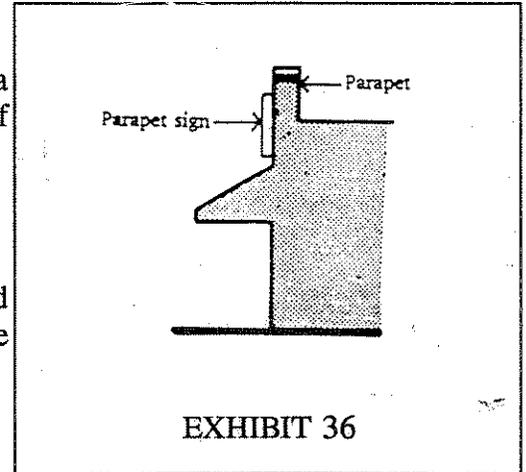


EXHIBIT 36

J. Wall Sign

Any sign painted or otherwise marked on or attached parallel to, and not extending in height above the eave line, parapet or canopy of a building.

K. Window Sign

Any sign painted or otherwise marked on or attached parallel to and within three feet of the interior face of a window of a building. Only painted or adhesive letter signs may be displayed on the outside face of a window (see Exhibit 36).

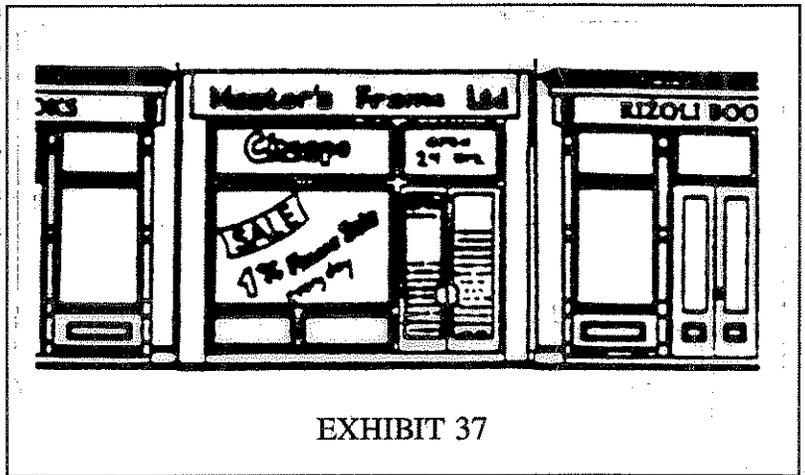


EXHIBIT 37

4.2 Permanent Signs

A. Directional Signs

One "entrance" and one "exit" directional signs shall be permitted within off-street parking facilities. Such signs shall be limited to five (5) feet in height, two faces per sign with each face not exceeding ten (10) square feet.

B. Courtesy Display Signs

Signs identifying, as a courtesy to patrons of a business, the hours of operation, credit cards accepted, "open," "closed," "no eating or drinking," menus or similar information shall be permitted if attached to the building wall or window of the business. The total aggregate area of such signage shall not exceed two (2) square feet provided that no one (1) individual sign exceeds an area of one (1) square foot. Such signs being placed on a window shall not exceed ten percent (10%) coverage of said window.

C. Service Signs

One sign identifying the name of a business shall be permitted for each business abutting or adjacent to an alleyway within a commercial district. Such sign shall be located upon the service/delivery entrance door which faces an alleyway. Such sign shall not exceed an area of two (2) square foot.

### **4.3 Temporary Signs**

The following temporary signs are permitted by this Specific Plan:

#### **A. Window Signs**

Window signs occupying up to ten percent of the window area shall be permitted in all commercial districts.

#### **B. Construction Signs**

In all districts, a construction sign shall be permitted which identifies architects, engineers, contractors and/or builders associated with construction work on the premises as long as said sign does not exceed 32 square feet. All construction signs shall be removed prior to the issuance of an occupancy permit.

#### **C. Development Promotional Signs**

In any district development promotional signs which promote impending development to occur on the parcel on which the sign is located may be allowed if approved by the director of planning. Said sign shall not exceed 32 square feet in area nor six feet in height. Further, the use of such signs shall be limited to a period not to exceed six months with a six-month extension if approved by the director of planning.

### **4.4 Prohibited Signs**

Section 18.62.110 of the Victorville Municipal Code shall apply.

### **4.5 Signs on Municipal Properties and Public Rights-of-way**

It is unlawful to erect and/or maintain any sign on any municipal property without first obtaining city approval or within a public right-of-way except in conformance with the city's encroachment permit requirements or the public signage program. Any sign erected upon public property in violation of the provisions of this section shall be removed by order of the superintendent of streets.

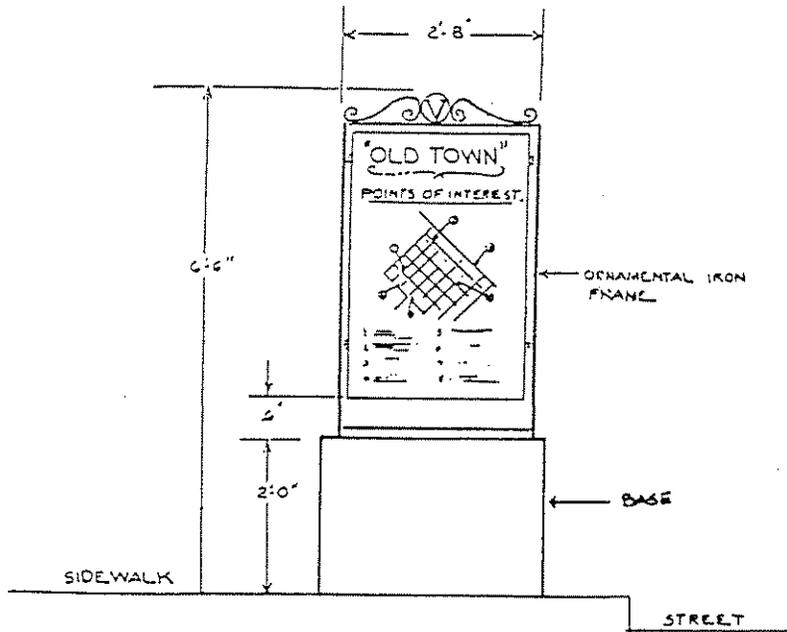
### **4.6 Public Signage**

The purpose of public signage shall be to provide locational information on public uses such as libraries, social services, governmental offices, post office, public parking lot, bus shelters, police and fire stations, other similar service centers and points of interest. Public signage shall be located within the SFC and S-C districts pursuant to the standards as noted in Exhibit 38, Page 73).

### **4.7 Freeway Signage**

The City shall work with the California Department of Transportation toward providing freeway signage indicating the availability of services within the Old Town community. Freeway signage would inform drivers on Interstate 15 that services such as restaurants, service stations, and overnight lodging are available. The intent of freeway signage is to draw people to the Old Town

community who would otherwise be unaware of its existence.



WOOD POSTS / METAL PANELS

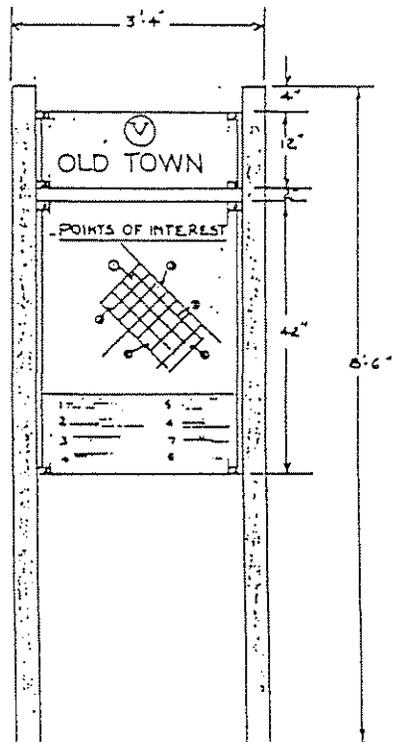


EXHIBIT 38

# **GENERAL PARKING REGULATIONS**

## 5. GENERAL PARKING REGULATIONS

### 5.1 Purpose

The purpose of this section is to prevent congestion of the public streets, provide for the separation of automobiles and pedestrians and maintain the pedestrian emphasis without excluding the use of privately owned vehicles within the Old Town. Chapter 18.60 of the Victorville Municipal Code shall apply, excepting Sections 18.60.090, 18.60.100 and 18.60.110. The following additions and/or changes shall be incorporated:

### 5.2 Parking - Existing Conditions

#### A. On-street Parking

Currently, parallel parking is permitted along all streets within the Old Town. Parking lanes are eight feet wide, which leaves 10 foot wide traffic lanes for those streets with a paved area of 36 feet from curb to curb, while other streets retain up to 14 foot wide traffic lanes. On-street parking provides convenient access to commercial uses and temporary parking for visitors in residential districts. However, parallel parking in particular creates the potential for conflicts between vehicles and people, due to open doors and passenger loading. These potential conflicts are most likely to occur on roads carrying high volumes of traffic, such as Seventh and "D" Streets. In addition, the presence of parked vehicles creates a visual barrier between the motorist and the activities on the sidewalk and in particular commercial uses. Finally, parked vehicles also create barriers for public transportation busses with regard to road width and maneuverability into and out of bus turn-outs.

#### B. Off-street Parking

There are five existing paved, striped off-street parking lots within the Old Town community of which one is owned by the City of Victorville and designated for public parking. As early as 1963 the City leased three of the five existing parking lots for use by the public. However, all of the leases have been canceled. These parking lots are privately owned, but used by the public. These parking lots contain a total of 217 off-street parking stalls. In addition, there are two paved, un-striped areas used unofficially for public parking, which together are able to accommodate a total of 50 vehicles. Finally, some of the commercial uses contain off-street parking to serve the individual use, which in some cases may be unofficially shared with patrons of other businesses. The store front commercial area contains a total of 364 striped parking stalls and sufficient area to accommodate 50 additional stalls on existing paved lots.

#### C. Under-utilized Parking Areas

Many of the commercial uses within the Old Town have sufficient area behind the building, accessed by the alleyway, to provide employee parking. Thirty-three parking stalls could be utilized in this manner in the storefront commercial district alone without requiring development of additional land. In addition, Southern California Edison leases 10 parking stalls accessed by an alley behind their facility located at the southwest corner of "C" and Sixth Street.

### **5.3 Future Parking Improvements**

#### **A. On-street Parking**

On-street parking shall be removed from Seventh Street, which carries approximately 18,000 vehicles per day. This will eliminate the potential for conflicts and allow for improvements to the sidewalks without reducing the number and width of vehicle traffic lanes. In addition, the activities on the sidewalk and displays of commercial merchandise will be unobstructed from the view of the motorist. This is intended to create interest to encourage the motorist to stop and explore the store front commercial district. The on-street parking stalls removed from Seventh Street will be in part replaced by angled parking along "A" and "C" Streets between Sixth and Eighth Street. (Exhibit 39, Page 76). The angled configuration produces more stalls than the existing parallel configuration. In order to accomplish the angled parking, both "A" and "C" Streets will be designated as one-way streets with traffic directed out and away from Seventh Street. This on-street parking plan will provide adequate access to businesses located on Seventh Street via widened sidewalks and prominently marked cross-walks. Due to the extensive gridiron street layout parallel parking is available along Collector and Local streets which have significantly lower traffic counts and present less potential for conflicts.

#### **B. Off-street Parking**

As noted in existing conditions, only one public parking lot exists in the Old Town area (17 stalls), the remaining parking lots used unofficially for public parking (200 stalls) are privately owned and subject to elimination. Therefore, these parking lots are not available in perpetuity. In addition, not all of these parking stalls are conveniently located to serve all of the Old Town commercial areas. Therefore, it shall be necessary to address parking for future development while improving service to existing businesses. One method for resolving parking deficiencies is to establish a parking assessment district which is used to pay for the acquisition and development of property for public parking. Since the historical development pattern limits the availability of on-site parking, off-site facilities may be required for future developments. Those commercial developments unable to provide required off-street parking may participate in an "in-lieu fee program" to pay for future public parking facilities.

#### **C. Pedestrian Pathways**

Pedestrian pathways shall be required to provide safe access from off-street parking lots to major streets where such lots are separated by an alleyway and/or existing structures. Pathways shall consist of patterned and colored concrete to make them visually distinct from surrounding hard surface pavement. Pathways may lead into existing structures which serve the public; however, said pathway shall also lead to another public right-of-way to ensure access regardless of whether a structure is accessible or not. An example of a pathway is shown in Exhibit 40 (Page 77). Pedestrian pathways provide direction, leading persons to commercial areas or residential projects served by off-site parking lots. This direction helps to eliminate the perceived distance "barrier" that may otherwise discourage use of such parking lots.

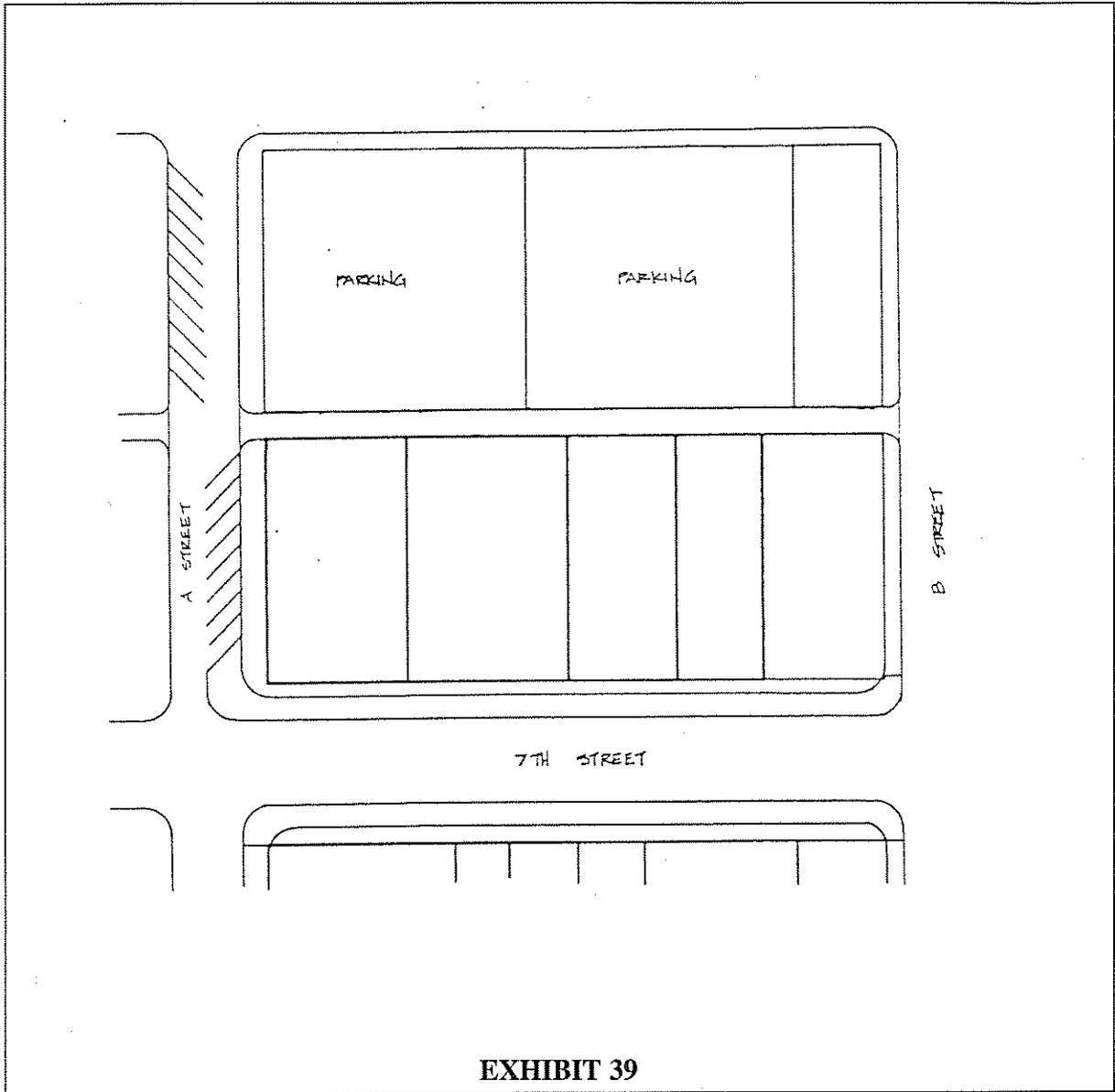


EXHIBIT 39

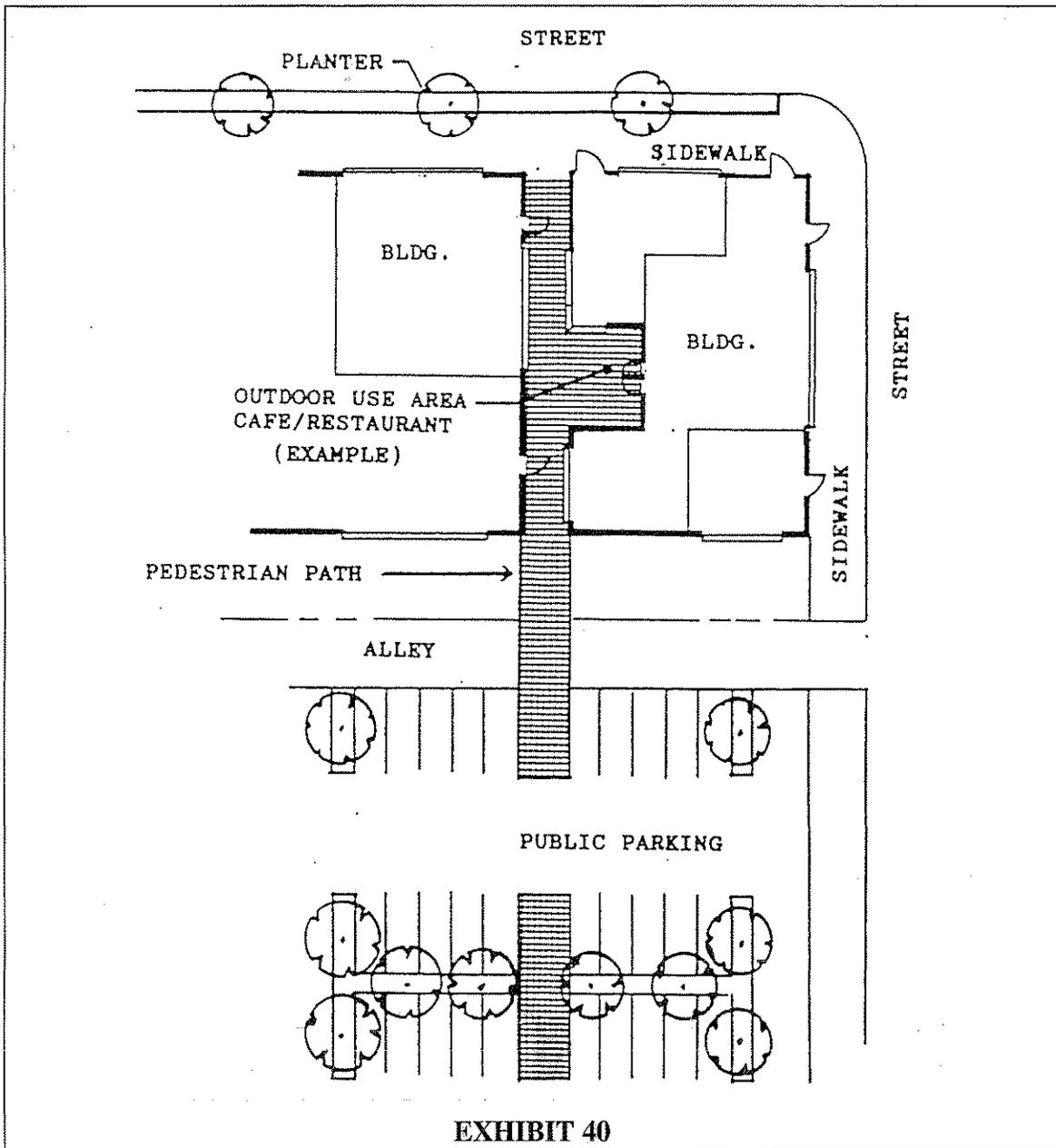


EXHIBIT 40

# **GENERAL REGULATIONS**

## **6. GENERAL REGULATIONS**

### **6.1 Temporary Uses**

Chapter 18.68 of the Victorville Municipal Code shall apply with the following additions and/or changes:

- A. Any use being conducted outdoors for a period not to exceed three days, upon property which does not contain a business or is vacant and not in its natural state. Said use shall be subject to review and or conditional approval by the Director of Planning. Approval shall be subject to the addition of conditions by other departments within the City to ensure that said temporary use will not be detrimental to the public safety and welfare.
- B. Special event sales encompassing an area greater than 25 square feet.
  - 1. A special event sale may be permitted upon the sidewalk within public right-of-way subject to review and approval by the Planning Director.
  - 2. The applicant shall obtain an encroachment permit from the Engineering Department prior to approval.
  - 3. Such sales shall be limited to six periods per calendar year not to exceed a total of eighteen (18) days.
  - 4. The sales area shall be cleared of all stock in trade, merchandise, equipment and trash by ten a.m. of the day immediately following termination of said sale.
  - 5. Special Event sales shall only be permitted as an extension of an established business licensed by the City; shall consist of the sale of goods, wares or merchandise normally contained in the inventory of such business; and, shall be conducted on the site on which such business is located.
  - 6. Such sales area shall be so designed so as not to obstruct the orderly flow of pedestrian traffic in or about existing store area or obstruct exits which are required to evacuate occupants in the event of an emergency.

### **6.2 Single Room Occupancy Developments**

Section 18.58.160 of the Victorville Municipal Code shall apply with the following change:

- A. Mixed land uses comprising commercial and single room occupancy development may be allowed only in the SFC (Storefront Commercial) district provided the commercial uses are compatible with and complimentary to the single room occupancy development. Said commercial activities shall be located on the ground floor.

### **6.3 Nonconforming Uses and Buildings**

As identified in Section 18.70 of the Victorville Municipal Code with the following Amendment:

## **GENERAL REGULATIONS**

Nonconforming multifamily dwellings, involuntarily damaged by fire, other catastrophic events, or the public enemy may be reconstructed regardless of the extent of damage or destruction, subject to the following conditions:

1. Reconstruction or restoration of such structure(s) shall comply with the current building code of the City in effect at the time plans for reconstruction are submitted to, and accepted by, the City Building Department and;
2. Such reconstruction or restoration shall be completed within two years of the date the damage or destruction occurred.
3. The dwelling may be reconstructed, restored, or rebuilt up to its predamaged size and number of dwelling units, and its nonconforming use, if any, may be resumed.
4. The City of Victorville may prohibit the reconstruction, restoration, or rebuilding of a multifamily dwelling that is involuntarily damaged or destroyed by fire, other catastrophic event, or the public enemy, if the local agency determines that:
  - a) The reconstruction, restoration, or rebuilding will be detrimental or injurious to the health, safety, or general welfare of persons residing or working in the neighborhood, or will be detrimental or injurious to property and improvements in the neighborhood.
  - b) The existing nonconforming use of the building or structure would be more appropriately moved to a district in which the use is permitted, or that there no longer exists a district in which the existing nonconforming use is permitted.

### **6.4 Recycling**

There are currently no recycling facilities within the Old Town community. Such facilities will be permitted in compliance with Assembly Bill 2020 State Beverage Container Recycling Act. This act requires recycling facilities within "convenience zones" which are formed to serve supermarkets which generate two million dollars of business or more a year. Given the nature of businesses intended within the Old Town commercial districts, it is unlikely that recycling facilities will be required.

### **6.5 Trash/Recycling Enclosures**

As identified in Section 18.58.130 of the Victorville Municipal Code with the following addition: Trash/Recycling Enclosures shall be compatible with the architectural theme of the building it serves.

### **6.6 Recycling Facilities**

Recycling facilities shall be allowed in the S-C and SFC commercial districts, pursuant to Section 18.58.140(1) and (3) of the Victorville Municipal Code.

# **CIRCULATION PLAN**

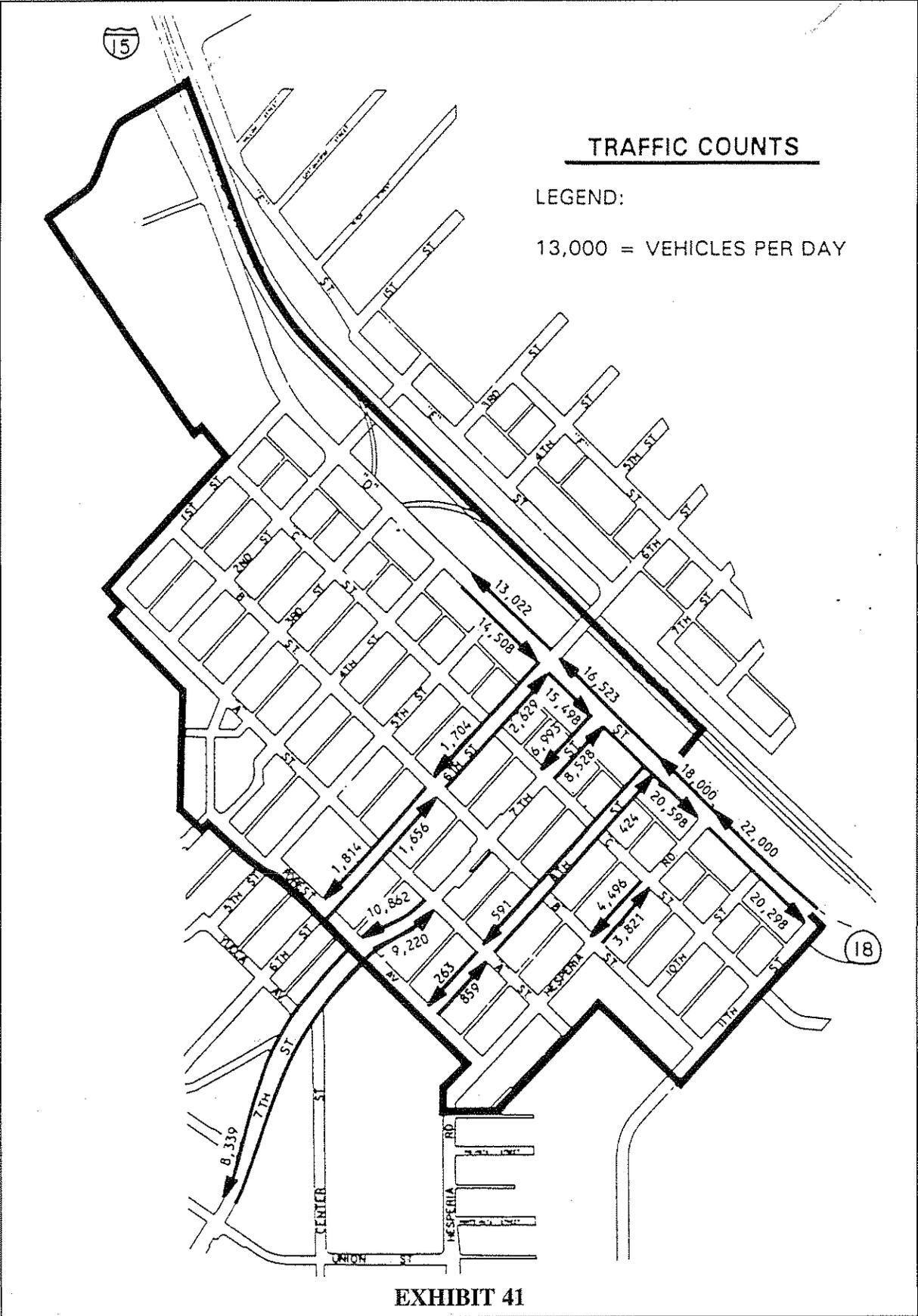
## **7. CIRCULATION PLAN**

### **7.1 Introduction**

The Old Town contains an existing street circulation system originally planned as part of the "Town of Victor Plan" subdivision of 1886. All streets were planned to be 60 feet wide with alleys being 16 feet wide. Since that original plan, some streets have been upgraded as a result of the evolution of land uses and the related circulation needs. This plan is intended to coordinate the circulation requirements of the planned land uses within the Old Town. However, while many streets will retain their existing functions and corresponding classifications, as the area revitalizes and develops into a point of destination, these functions and classifications will further evolve.

### **7.2 Existing Traffic Patterns**

- A. Seventh Street currently functions as an alternative route from the Apple Valley and northeast Victorville areas to the southern and western portions of Victorville, which includes The Mall of Victor Valley, where much of the retail shopping and related employment occurs. Seventh Street is designated as a secondary arterial, varies in width from 68 to 86 feet with an ultimate planned right-of-way of 84 feet. Seventh Street receives approximately 18,000 vehicle trips per day in each direction (see Exhibit 39, Page 76). The projected volume of Seventh Street for the year 2010, based upon a level of service "C" is 35,000 trips per day as measured at a given point. Therefore, the traffic flow is half the projected volume.
- B. "D" Street (State Highway 18) functions as a main route for vehicles to and from the Apple Valley area to Interstate 15, Seventh Street and Hesperia Road. The majority of the traffic is destined for Interstate 15 as people commute to other employment centers outside the City of Victorville. "D" Street is designated as a major arterial, varies in width from 70 to 84 feet with a planned right-of-way width of 100 feet with all changes being subject to review and approval by the California Department of Transportation. "D" Street receives approximately 42,000 vehicle trips per day at its intersection with Eleventh Street and only 27,000 vehicle trips just north of its intersection with Seventh Street. The projected traffic volume of "D" Street based upon a level of service "C" is 35,000 within the Old Town area. Therefore, the current traffic flow exceeds the projected volume but not the capacity.
- C. Hesperia Road functions as an alternative route to the central and southern portions of Victorville. Hesperia Road is designated a collector street, averages 60 feet in width of public right-of-way and is planned for an ultimate width of 64 feet. The projected volume of Hesperia Road in the project area is 15,000 vehicle trips per day based upon a level of service "C". Hesperia Road receives approximately 8,000 vehicle trips per day, half the projected volume.
- D. Sixth and "B" Streets are also designated as collector streets, which provide circulation within the Old Town community and connect it with intracity traffic routes. The number of vehicles per day for these streets is low, as evidenced by traffic counts averaging less than 1,000 vehicles per day for "B" Street and 4,000 for Sixth Street.
- E. The remaining streets are local streets which provide access directly to residences and commercial uses and alleys. These streets are intended to accommodate low volumes of traffic.



- F. Alleys - The Old Town contains alleys on almost every block. Some alleys are used for access to houses with a few homes actually facing the alley or with garages oriented toward the alley.

### **7.3 Street Classification System**

- A. Roadways in the Old Town are classified according to their primary function. Classifications and standards have been established for five types of roadways. The classifications are described below, and standards for local street, collector, secondary and major arterials are displayed in cross-section (see Exhibit 42, Page 83). Where right-of-way is not available to meet minimum widths on existing roadways, a reduced section may be necessary until development takes place or funds are available for right-of-way acquisition.

1. Major Arterial

The primary function of major arterials is to transport large volumes of intracity traffic. These streets connect to freeways and distribute traffic from the freeways to secondary arterials or collector streets. Major arterials have a 100-foot minimum right-of-way consisting of a minimum of four traffic lanes, two parking lanes and a 12-foot wide, two-way left turn lane. Traffic signs are located at major intersections. Parking restrictions may be applied at intersections.

2. Secondary Arterial

Secondary arterials shall carry moderate volumes of traffic. The 84-foot right-of-way shall contain sidewalks and four traffic lanes; however, parking lanes as well as left and right turn pockets shall not be utilized.

3. Collector

A collector street provides circulation within a defined geographic area and connects this area to intracity traffic routes. Some vehicles may use collectors as through routes, but the primary function of a collector is to connect local traffic to larger streets and to provide easy access to nearby destinations. Collectors contain two traffic lanes and two parking lanes within a 64-foot right-of-way.

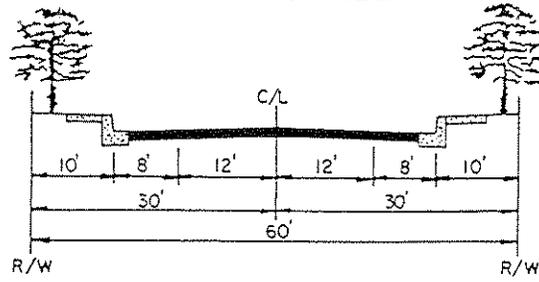
4. Local Street

A local street provides direct access to abutting properties and transports local traffic from these properties to higher volume, higher speed roadways. Local streets do not carry through traffic. The 60 foot right-of-way contains two traffic lanes and two parking lanes. Sidewalks are generally provided within the 10 foot, non-paved right-of-way; however, some streets do vary due to existing conditions.

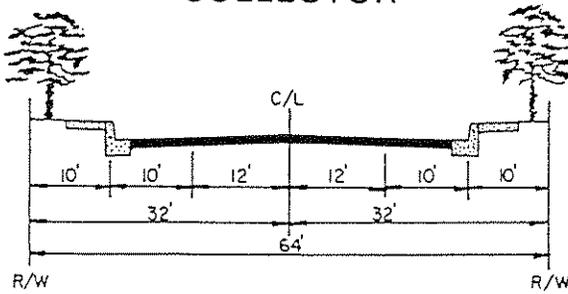
5. Alleys

Alleys provide direct access to residences where off-street parking is provided at the rear yard of such properties. Alleys also provide access to commercial uses by delivery and

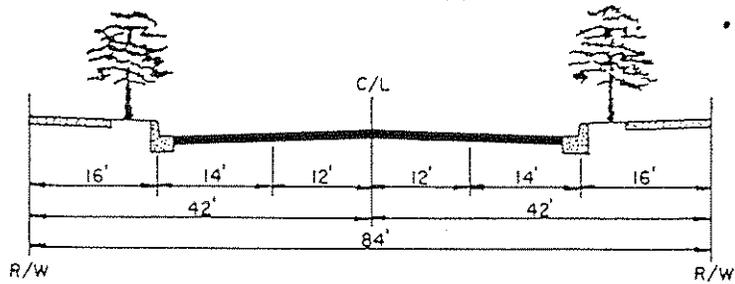
LOCAL STREET



COLLECTOR



SECONDARY ARTERIAL



MAJOR ARTERIAL

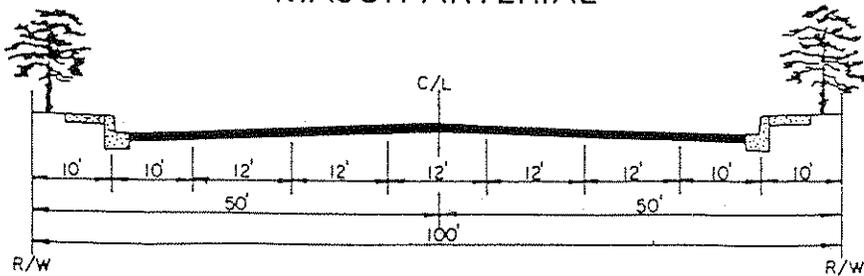


EXHIBIT 42

related business vehicles. The 16 foot right-of-way contains one paved traffic lane, intended for one-way travel only. Alleys may also contain public utilities, including overhead utility lines (see Exhibit 43, Page 85 for street designations).

#### **7.4 Public Transportation - Existing Conditions**

##### **A. Bus Service**

The Old Town community is currently served by two bus routes (41 and 51). The Victor Valley Transit Authority, which manages public bus transportation for the region, anticipates expanding route 51 due to current demand.

##### **B. Bus Routes**

The Old Town currently contains five existing bus stops and one proposed future location, as listed below:

- 16501 "D" Street - Red/White Mobile Home Park
- "D" and 3rd Streets - 66 Mobile Home Park
- Seventh and "B" Streets - Bus Shelter
- 15505 Seventh Street - Flora's Mexican Restaurant
- 15603 Seventh Street - Shell Gas Station
- "D" and 5th Streets - Weber's Bakery Shop (proposed)

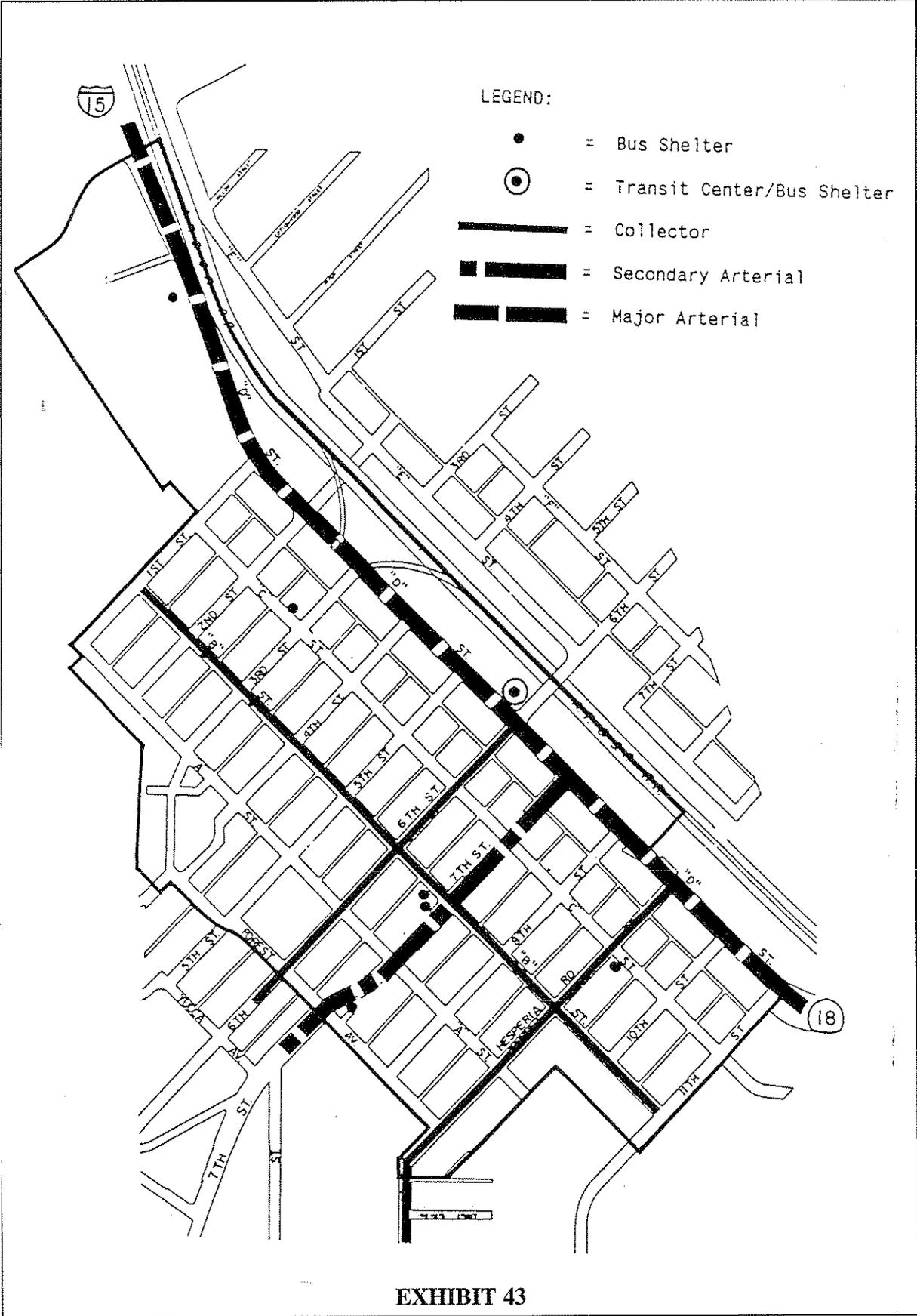
#### **7.5 Improvement Plan**

Bus service is based upon ridership and demand from the public, and is most efficient when provided within areas of concentrated population. Therefore, the plan for future bus shelters (see Exhibit 41, Page 82) is based upon existing demand and anticipated demand which can be correlated to future land use patterns. For example, bus shelters will be located adjacent to or within the Residential Apartment district where development of multi-family housing projects occurs at a density of 24 units per gross acre. Studies indicate that people are willing to walk a maximum of two blocks to a bus stop. Therefore, addition of bus stops without shelters within the single family residential district will be provided as needed and demanded by the public. Bus shelters will also be provided within the commercial districts to provide service to those who wish to visit and/or tour the Old Town community as well as in a centralized location to accommodate other intra-city travelers.

Bus route #51 will be changed once the parking lanes are removed from Seventh Street as part of the "Seventh Street Rehabilitation Project." In addition, the existing bus shelter on the southwest corner of Seventh Street and "B" Streets will be relocated further west on "B" Street between Seventh and Sixth Streets.

#### **7.6 Facilities Development Standards**

Bus turnouts, where provided, shall maintain a minimum width of 9 feet and a minimum length of 120 feet to accommodate two busses or 60 feet for one bus. Lighting shall be provided, utilizing



solar power in order to reduce operating and maintenance costs. A trash receptacle shall be located at all bus stops near the adjacent bus stop sign or any bus shelter. Landscaping may be provided consisting of trees and low growing ground cover at all bus shelter locations to provide shade and greenery without compromising security. If landscaping is provided ground cover shall not exceed a height of 24 inches and trees shall maintain a six foot clearance between the ground and the leaf canopy.

## **7.7 Transit Center**

The transit center, planned at the corner of Sixth and "D" Streets, will function as a hub for bus and Amtrak train service allowing boarding, un-boarding and transfers between modes of transportation and busses and will include a park-n-ride facility. Bus service from the local cities would be accommodated as well as airport shuttle buses, dial-a-ride, Greyhound (which proposes to relocate to the transit center), and taxi services. Shelter and services would be provided for passengers including limited commercial services. In addition, a police substation is proposed within the transit center. Finally, the transit center would also provide an equestrian access in conjunction with the proposed "Mojave River Corridor Management Plan." The park-n-ride facility may function as a staging area for equestrians on the weekends.

## **7.8 Sidewalks**

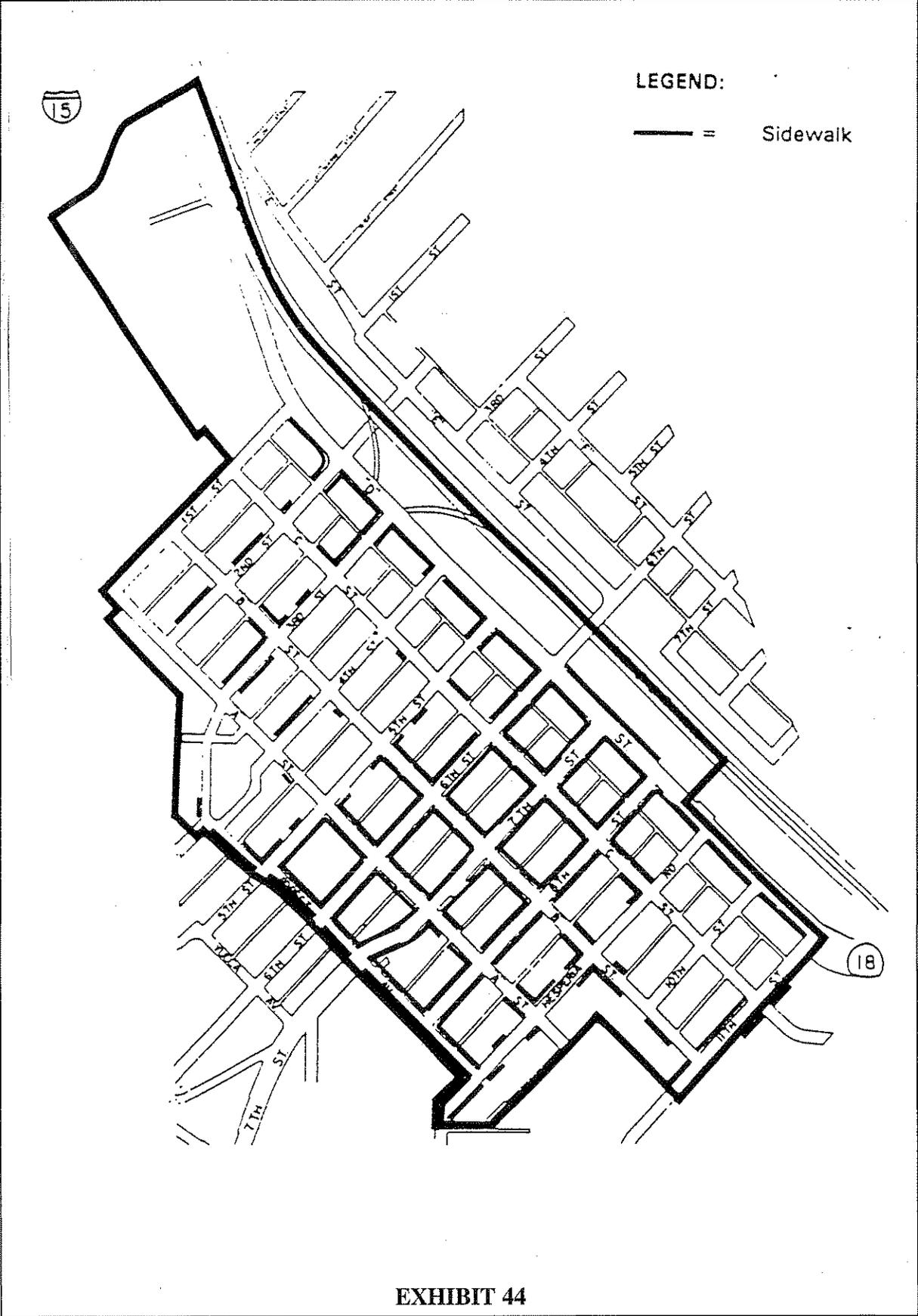
### **A. Existing Conditions**

The area bounded by Forrest Avenue, Sixth, "D" and Eighth Streets contains nearly completed sidewalks; however, other areas contain only scattered, discontinuous sections of sidewalk varying from two to ten feet in width (see Exhibit 44, Page 87). In many areas, especially residential areas, retaining walls and portions of the front yards they support encroach upon public right-of-way making expansion of the sidewalks cost prohibitive. However, installation of sidewalk is required when improvements valued at \$20,000 or more, as determined by the City Engineer, are made upon property where such encroachments into public right-of-way exist.

### **B. Improvement Plan**

Five feet is a minimum width for two people to walk abreast comfortably. A larger sidewalk dimension is desired in the Store Front Commercial District where pedestrian activity will be greatest and where outdoor seating and uses are encouraged. Comfortable sidewalks reinforce a pedestrian environment and provide incentive for pedestrian travel within the Old Town community. The provision of sidewalks reduces the dependence upon privately owned vehicles and encourages the use of public transportation.

This Specific Plan provides guidelines for development of two types of sidewalk systems. The Store Front Commercial District will include a sidewalk varying from 11 to 19 feet in width, containing a four foot wide planter strip, street lights and street furniture. The Service Commercial District and Residential (R-A and R-S) Districts would conform to current City standards of ten feet and six feet respectively.



## 7.9 Public Right-of-Way Landscaping Program

Seventh Street shall be improved with street trees, shrubs and ground covers. Street trees shall be planted approximately 30 feet apart in planters between the curb and sidewalk (see Exhibit 45). The street trees will form a canopy providing shade for the comfort of pedestrians during Victorville's hot summer months. The trees also provide habitat for birds, adding activity and pleasant sounds to enhance the walking environment. The trees also define the sidewalk and visually frame Seventh Street, while the shrubs and ground covers add color and soften the hardscape.



EXHIBIT 45

## 7.10 Street Lighting System

### A. Existing Conditions

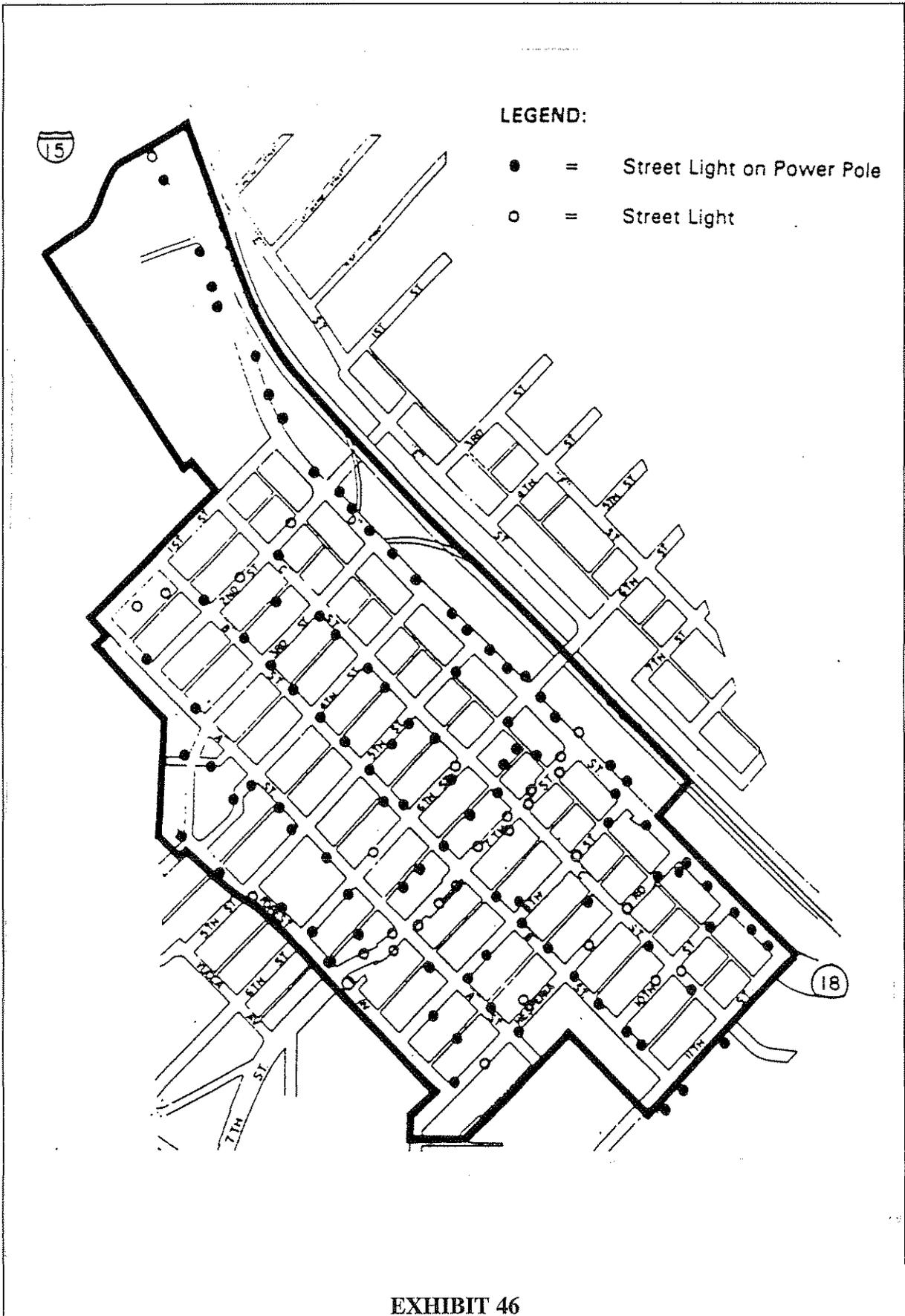
The existing street lights within the Old Town community vary in spacing, lumens (light output), height and type of support since development standards have changed over time. Existing lights are mounted on utility poles, traffic signal supports, concrete shafts or marbelite standards (see Exhibit 46, Page 90).

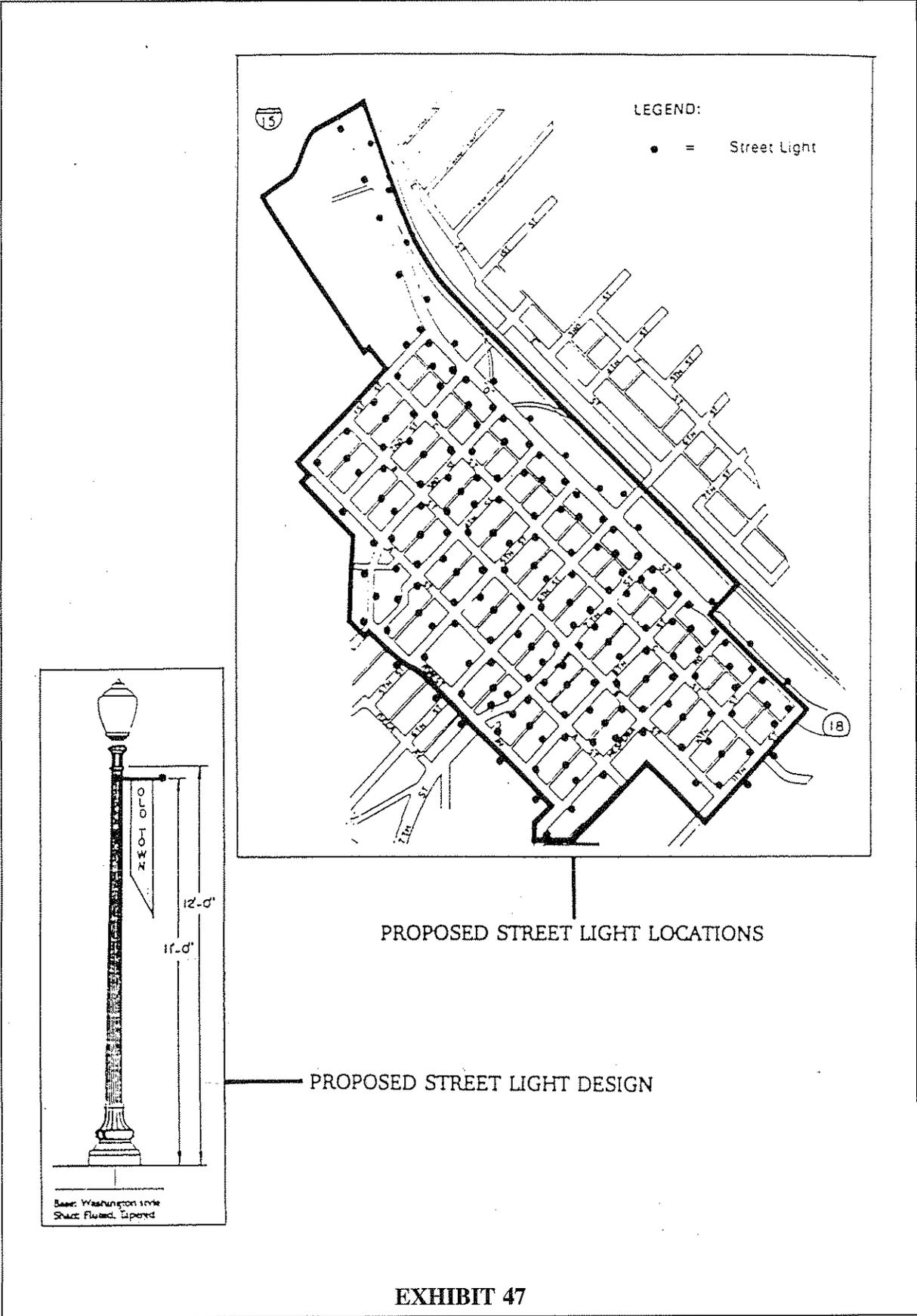
### B. Improvement Plan

The City has conducted a lumens study of that portion of the Old Town bounded by Forrest, "D," Sixth, and Eighth Streets. The remaining portions of the Old Town will require a lumens study in the future; however, locations of light standards as shown on the lighting plan (see Exhibit 45, Page 88) have been reviewed by the Engineering Department and given a conceptual approval. The proposed lighting plan will provide more lighting for both the sidewalks and streets. The light standards would be uniform in style, height and light intensity conforming to the following:

Washington luminaire style with fluted, tapered shaft and banner supports  
 Twelve feet in height

High pressure sodium with 150 watts  
Each light is equipped with a photo eye to conserve energy





# **INFRASTRUCTURE PLAN**

8. INFRASTRUCTURE PLAN

8.1 Water Systems

A. Existing Conditions

Water mains within the Old Town vary in size from 5 inch to 12 inch lines. Water main sizes are based upon the types of uses being served and the required flow rates for provision of fire protection. The water mains are located within the alley rights-of-way in most areas. The current service is adequate to meet the needs of existing uses (see Exhibit 47).

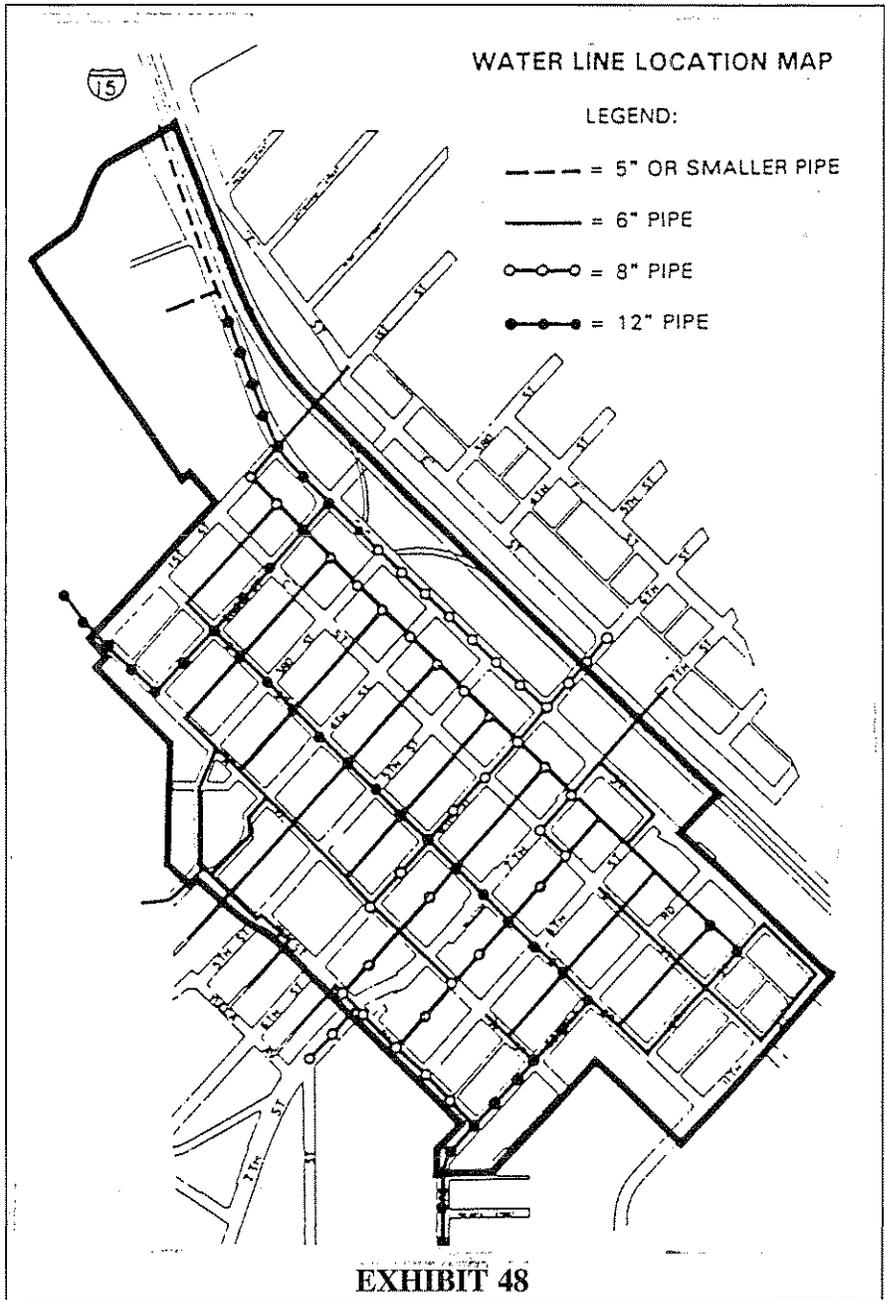
The fire hydrants within the Old Town are adequate to serve the existing uses. Current standards require the following:

1. High Density Residential Areas - Single or two family dwellings located in any area with a density of two (2) or more per net acre:

Fire Flow: 1000 GPM (gallons per minute)  
 Duration: 2 Hours  
 Hydrant Spacing: 300 Feet

2. Multiple Residential Areas - Triplexes, apartments, dormitories:

Fire Flow: 1500 GPM minimum  
 Duration: 3 Hours  
 Hydrant Spacing: 300 Feet



3. Commercial & Industrial Areas

Mercantiles, factories, schools, hotels, motels, church, places of public assembly, and all other commercial and industrial occupancies:

Fire Flow: 1500 GPM minimum

Duration: 3 Hours

Hydrant Spacing: 300 feet

Some hydrants are below the current standards for pressure and spacing (see Exhibit 49).

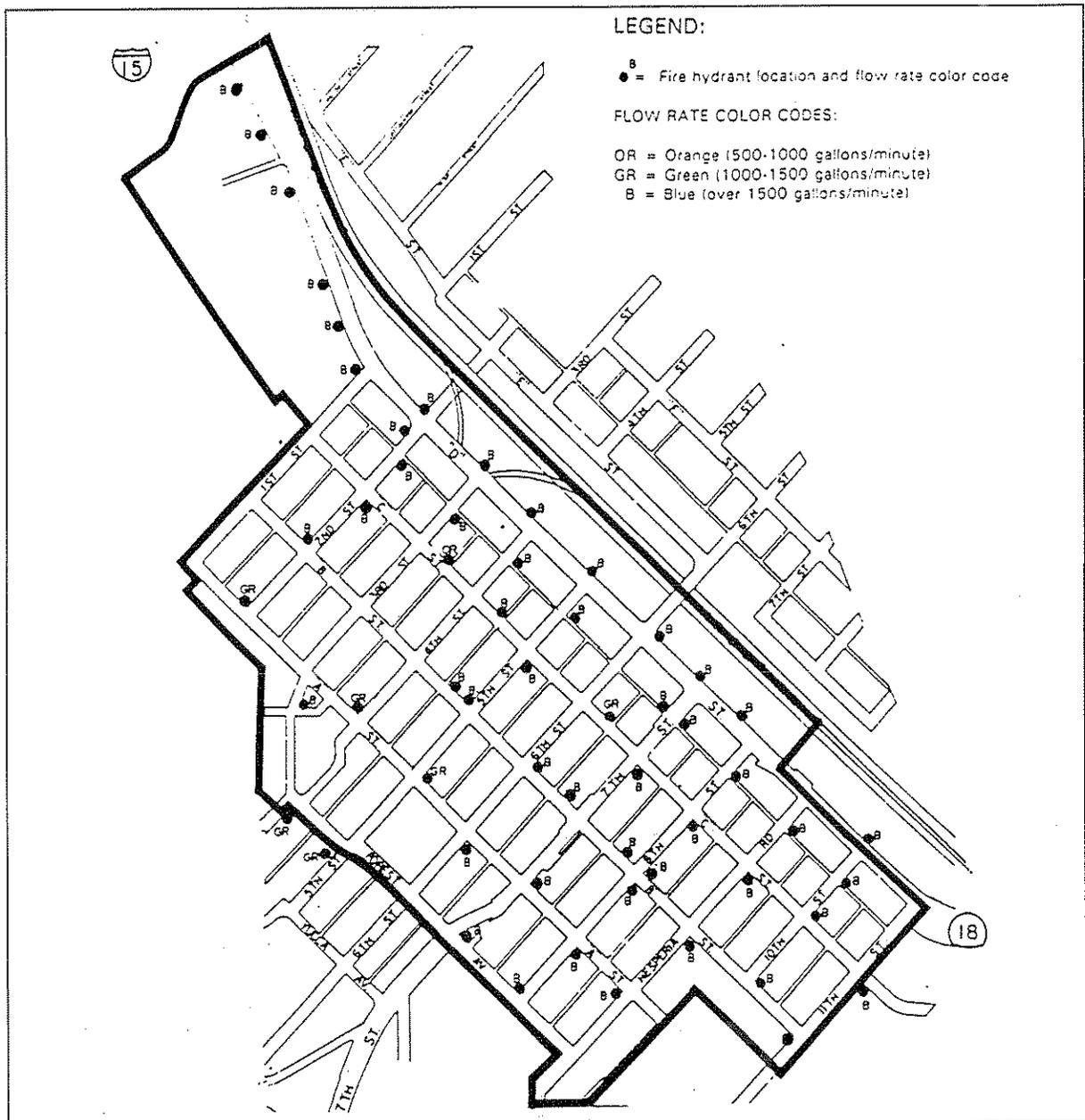


EXHIBIT 49

B. Improvement Plan

Areas which currently contain single family dwellings but are planned for commercial development will require either mitigation measures such as interior fire sprinklers or upgrade of water mains for new development. Water main upgrades would require the installation of 8" pipes to accommodate the future planned land uses assuming build-out occurs. All new developments and expansions of existing buildings subject to review by the City will also be reviewed by Victor Valley Water District. The developer of such a project may be required to upgrade water lines as noted above and may be responsible for all or a portion of the costs. The water district has the ability to serve future uses as planned with upgrades to the current distribution system.

8.2 Sewer System

A. Existing Conditions

This sewer system was developed in the Old Town approximately 65 years ago. Portions of the sewer system within "C" and "D" Streets are currently deficient. A sewer line is designed to carry waste flow to 75% of the pipe diameter; flows above this percentage are considered to be over-capacity. The sewer lines within "C" and "D" Street serve areas outside the Old Town community, as well as the community itself. Increased development in other areas of the City have overloaded this particular portion of the system. A "bottleneck" has been created resulting in localized flows above 75% of the pipe diameter. The remaining lines within the Old Town serve only the immediate community and are able to accommodate the existing uses (see Exhibit 50).

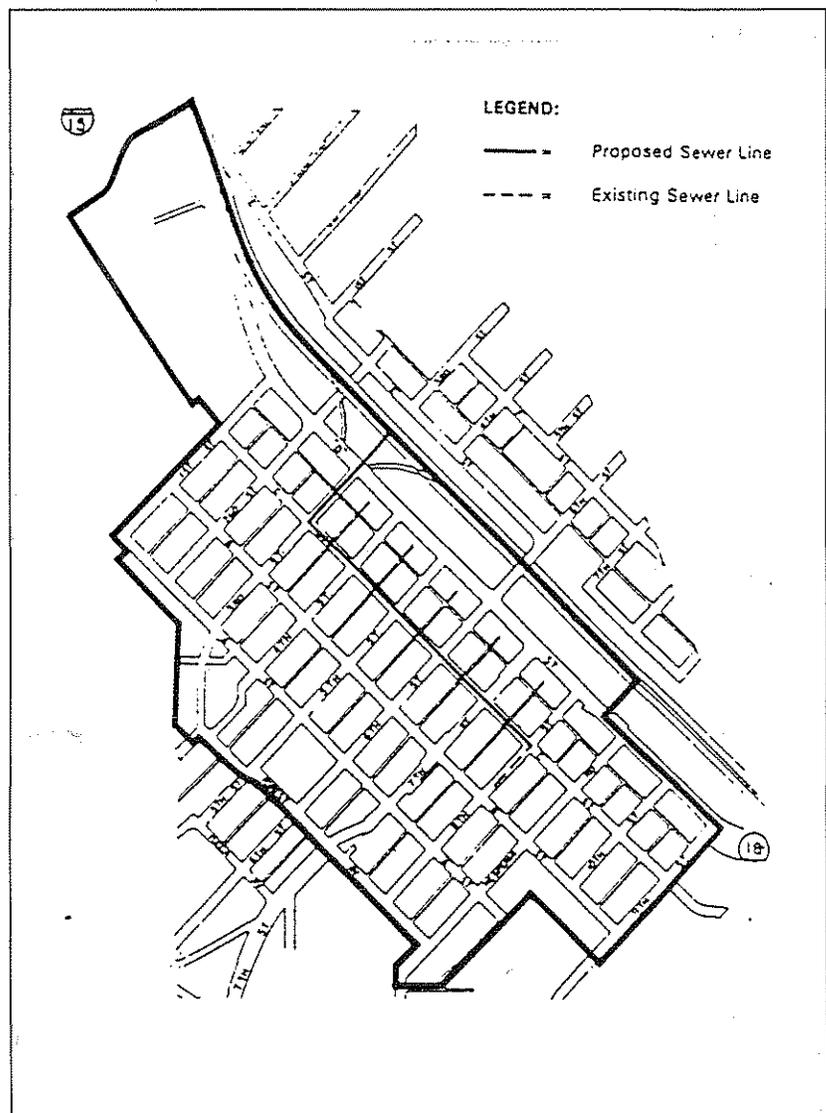


EXHIBIT 50

B. Improvement Plan

One method of eliminating the deficiency in sewer line capacity along "C" and "D" Streets would be to develop an 18" diameter relief sewer line. This relief line would increase the carrying capacity and would intercept additional lateral lines which will also alleviate the deficiency in lines running along "D" Street.

New developments requiring sewer hook-up will be subject to review by City engineering staff. As a result, conditions requiring improvements to the sewer system including upgrading of existing lines and/or development of new lines and facilities may be imposed.

8.3 Storm Drainage System

A. Existing Conditions

The storm drainage system was developed approximately 40 years ago and consists of a major channel to handle the Oro Grande Wash and a box culvert to carry flows collected from the Old Town streets. The existing drainage system is sufficient to serve the Old Town Community (see Exhibit 51).

B. Improvement Plan

No new storm drainage facilities are proposed within the Old Town community; however, new development may require improvements to the systems based upon review by the City engineering department. Improvements to the Oro Grande Wash have increased the flow rate capacity beyond that which the existing box culvert under Eighth Street can carry. Therefore, the City will develop a detention basin south of the Old Town community at a future date in compliance with the San Bernardino County Flood Control District facilities plan. This will

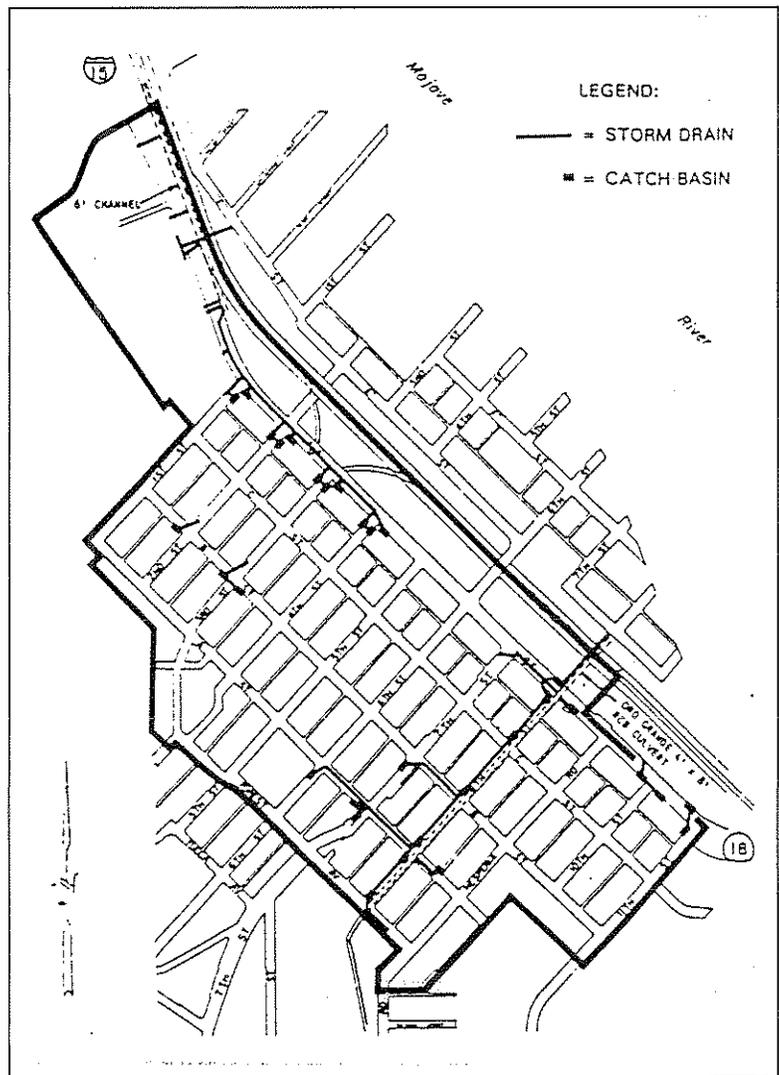


EXHIBIT 51

not occur until the actual flow rates approach capacity, which at present is only 1/3 of capacity.

# **UTILITY PLAN**

## 9. UTILITY PLAN

### 9.1 Electric

Electrical service is provided to the Old Town community by Southern California Edison Company from the "Victorville Substation," which is located on the southeast corner of "C" Street and Sixth Street. There are three 33 Kilovolt (KV) circuits which feed the Old Town area distribution grid. There are also four 4-16/2.4 Kilovolt (KV) circuits serving the area. No new systems are required for current service and it is anticipated that new development will be served from the existing distribution grid system. However, all new developments or expansions of existing developments which are subject to review by the City of Victorville shall be subject to review by Southern California Edison. Any requirement for new facilities, additions or modification to the distribution grid system will be noted as part of the project review process. Developers may be responsible for all or a portion of the required improvements.

### 9.2 Natural Gas

Natural gas service is provided by the Southwest Gas Corporation via two transmission lines. The primary service comes from a 4" high pressure line feeding into a regulator station located at Sixth and "E" Streets. The secondary service system comes from a 4" high pressure line feeding into a regulator station located at Mojave and Amargosa which then enters the Old Town area via Seventh Street. Both high pressure lines originate at Gasline and Air Base Roads where natural gas is supplied from a southern California gas tap and a P.G. and E. gas tap (see Exhibit 52). The majority of gas is currently purchased from Southern California Gas due to favorable rates with P.G. and E. supplied gas retained for peak periods such as prolonged, extremely cold weather.

The natural gas pipe lines in the Old Town community are among the oldest in the City. The pipes were originally installed in 1931. These

older pipes are made of steel and require a protection system to prevent rust. The protection system is checked annually to ensure the integrity of that system and the lines are checked for leaks. Any repairs or replacements are conducted as required by the Public Utilities Commission. To date, all systems are functional and service is adequate. The distribution systems and supply are sufficient to serve future uses in the community; however, some uses may require upgrading of distribution lines

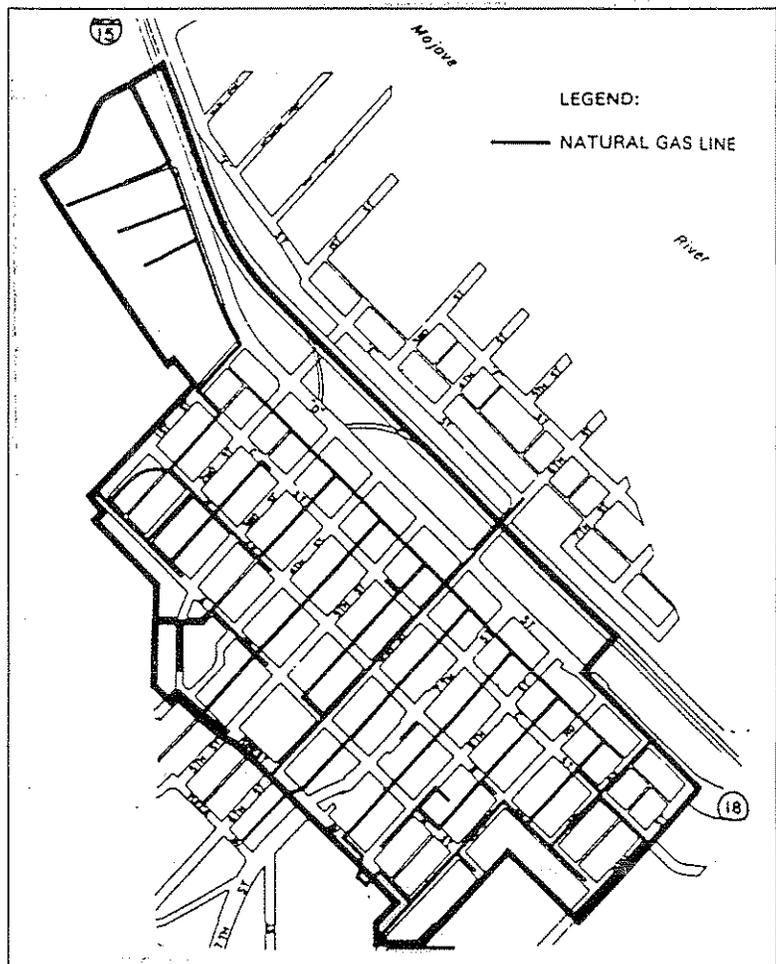


EXHIBIT 52

depending upon the nature of the development. New development and expansions of structures are subject to comment from the Southwest Gas Corporation.

### 9.3 Telephone

Consistent with other utilities, a telephone system currently exists within the project area served by Contel. Therefore, new systems would not be required. However, new development is subject to review by Contel and may be required to upgrade existing systems if necessary.

### 9.4 Cable Television

Cable television service exists within the project area and is served by Hi-Desert Cablevision. No new systems would be required to serve the area. It is anticipated that future developments can be served by the current system (see Exhibit 53).

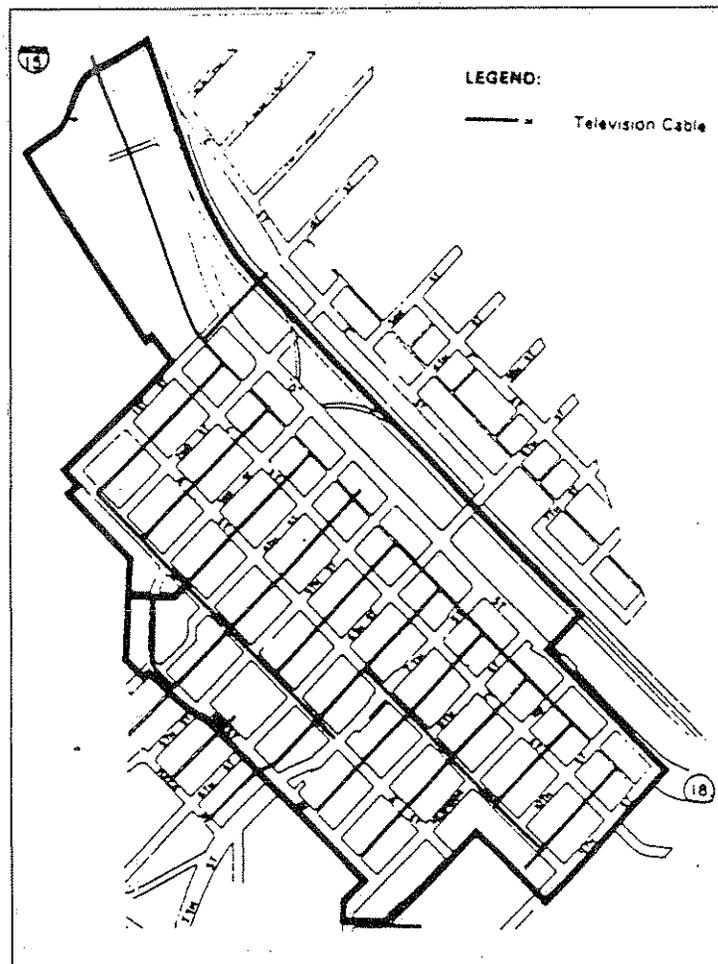


EXHIBIT 53

# **FINANCING PLAN**

## 10. FINANCING PLAN

### 10.1 Introduction

Improvements necessitated by this specific plan shall be financed through a variety of public and private financing methods. It is the intent that adequate public services and improvements are financed in the most cost-effective manner, with emphasis on assigning the cost of such improvements to the areas of benefit. The following scenarios describe the funding mechanisms which are available to the City to implement the various public improvements outlined in this plan.

### 10.2 Assessment Districts

The use of assessments involves the establishment of an area or district which encompasses all parcels of land that will be benefitted by the accomplishment of some public purpose. Each parcel so benefitted is assessed for a portion of the costs and expenses involved, and in an amount proportional to the parcel's relative benefit as compared to the other parcels in the district. An assessment district is not a public entity, but it is a defined area established to accomplish the administrative function of collecting the assessments.

Assessment districts can be used to finance the construction of public capital improvements such as streets, drainage facilities, sanitary sewers, water systems and off-street parking facilities. They have also been used to acquire existing improvements and to pay the annual operation and maintenance costs of certain public facilities (see Exhibit 54).

	Streets, etc.	Sidewalks	Sanitary Sewers	Storm Drainage	Water Supply	Electric Power	Gas Supply	Street Lighting	Parking	Geologic Hazard	Flood Control	Pedestrian Malls	Bridges	Groundwater Recharge	Landscaping	Parks, Parkways	Recreation	Schools, Libraries	Police, Fire, etc.	Transportation	Miscellaneous		
Improvement Act of 1911	C	X	C	C	C	C	C	X	C	C	C	C	C	C	C	C					X	C	
Municipal Improvement Act of 1913	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C						C	C
Improvement Bond Act of 1915	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C						C	C
Benefit Assessment Act of 1982				X				M				X											
Mello-Roos Community Facilities Act of 1982	C	C	C	X	C	C	C	C	C	C	C	C	C	C	C	X	X	C	X	X	X	X	C
Landscaping & Lighting Act of 1972		X						X							X	X	X						
Vehicle Parking District Law of 1943									C														
Pedestrian Mall Law of 1960														C									
Map Act Areas of Benefit	C		C	C										C	C								
Geologic Hazard Abatement District										X													
County Service Area Law			M	M				M								X	X	X	M			M	
Street Lighting Act of 1919								M															
Street Lighting Act of 1931								M															
Municipal Lighting Maintenance Act of 1927								M															

EXHIBIT 54

The following are brief descriptions of some of the more common California laws used as authority for levying special assessments. Each of the laws allows for specific uses varying from the construction of capital improvements to only the operation and maintenance of improvements or facilities or provision of both the improvement/facility and the operation and/or maintenance.

#### A. Improvement Act of 1911

This act (Division 7 of the Streets and Highways Code, Section 5000) authorizes local agencies

to assess benefited properties to finance the construction of various public improvements. The Improvement Act of 1911 is limited to financing only capital improvements with the exceptions of sidewalk, street light and transportation systems maintenance.

B. Municipal Improvement Act of 1913

This act (Division 12 of the Streets and Highways Code, Section 10000) authorizes local agencies to assess benefited properties to finance the construction of various public improvements only. These assessment funds cannot be used for maintaining public improvements.

C. Improvement Bond Act of 1915

This act (Division 10 of the Streets and Highways Code, Section 8500) allows for the issuance of bonds to represent and be secured by assessments imposed under either the Improvement Act of 1911 or the Municipal Improvement Act of 1913.

D. Street Lighting Act of 1919

This act (Division 14, Part 1, of the Streets and Highways Code, Section 18000) authorizes municipal corporations to assess benefited properties for the cost of maintaining and furnishing energy to street lighting systems only.

E. Property and Business Improvement District Law of 1994 (Division 18, Part 7, of the Streets and Highways Code, Section 36600)

The purpose of this law is to provide a financing mechanism for the improvement of business districts which are economically disadvantaged, under-utilized and unable to attract customers due to inadequate facilities, services and activities. Such improvements are intended to promote economic revitalization and physical maintenance in order to create jobs, attract new businesses and prevent the further erosion of business districts.

Specifically, this law allows the city to establish benefit assessment areas for the purpose of funding improvements with an estimated useful life of five (5) years or more including, but not limited to the following:

- a) Parking facilities;
- b) Benches, booths, kiosks, display cases, pedestrian shelters and signs;
- c) Trash, receptacles and public restrooms;
- d) Lighting and heating facilities;
- e) Decorations;
- f) Parks;
- g) Fountains;
- h) Planting areas;
- i) Closing, opening, widening, or narrowing of existing streets;
- j) Facilities or equipment, or both, to enhance security of persons and property within the area;
- k) Ramps, sidewalks, plazas, and pedestrian malls;

- 1) Rehabilitation or removal of existing structures.

Improvements shall mean the acquisition, construction, installation or maintenance of any tangible property as noted above.

### **10.3 Measure I Local Pass-Through Funds**

In November 1989, the voters of San Bernardino County approved a half-cent Retail Transaction and Use Tax to be used for transportation improvements and traffic management programs to be administered by San Bernardino Associated Governments (SANBAG), acting as the San Bernardino County Transportation Authority. The Expenditure Plans contained in the sales tax program, which is known as Measure I, provided for a portion of the sales tax revenue to be passed-through to local governments.

The Mountain/Desert Expenditure Plan returns sales tax revenue generated in each subarea to the local jurisdictions based on a formula of population (50%) and sales tax point of generation (50%). In the Mountain/Desert Subareas, local jurisdictions are required to expend Measure I pass-through funds in the following categories:

- 65% - Arterial Roadways and Regional Needs
- 30% - Local Needs
- 5% - Elderly and Handicapped Transportation Services

### **10.4 Sanitary District**

The Sanitary District Act of 1923 (Division 6, Part 1, Section 6400) gives right to a public corporation to lay sewer lines in streets. The Sanitary District formed in the City of Victorville in July of 1982 requires payment of sewer hook-up fees in the amount of \$350.00 per house or dwelling unit. The fees for commercial and industrial uses vary depending upon number of fixture units.

These fees apply only to new development projects where hook-up to a sewer trunk line is required.

### **10.5 Community Development Block Grants**

The C.D.B.G. program was designed to enhance and maintain viable urban communities through the provision of decent housing, suitable living environments and expanded economic opportunities, principally for low and moderate-income persons. This funding source is administered by the U.S. Department of Housing and Urban Development. The funds are eligible for use by all jurisdictions to assist eligible projects which meet local community development needs of communities with a population of less than 50,000. The County is responsible for ensuring that all projects submitted for funding meet the eligibility requirements. The eligible activity categories include:

- Acquisition of real property for an eligible use
- Acquisition, construction, and rehabilitation of public facilities
- Demolition and clearance of deteriorated buildings
- Community services for low and moderate-income households
- Removal of barriers that restrict the mobility of elderly or handicapped persons

## Special economic development activities

It should be noted that the City of Victorville will be eligible to become an entitlement city, allowing it to administer its own C.D.B.G. grants by 1996 as a result of increased population beyond 50,000 persons.

### **10.6 Community Re-investment Act**

Banks are required to loan a percentage of their assets to the local community in order to eliminate the illegal practice of "red lining." This practice involves the designation of geographic portions of a City which are deteriorated and in economic decline. Development projects are then denied loans based solely on their location within such an area.

### **10.7 Redevelopment Agency**

Establishment of a redevelopment area would allow capital improvements to the area to be financed by tax increment revenue.

Redevelopment process provides for a change in the distribution of property tax revenues collected on properties located within a redevelopment area. This is accomplished by establishing a base year assessment upon properties. The assessment continues to benefit the existing taxing entities. As property values increase due to development or sale of property, the difference between the "base year assessment" and the new assessed value is allocated to the Redevelopment Agency as "tax increment funds."

These funds can be used only to improve public facilities within "blighted" areas of the community. Blight as defined by the State includes: depreciated property values, loss of jobs and businesses, aging, deterioration and poorly maintained structures, a clutter of utility lines and a lack of architectural unity, lack of community and neighborhood identity. Maintenance of any new facilities constructed with redevelopment funds must be financed by a separate funding mechanism.

The formation of a redevelopment area requires a plan specifying the goals and objectives of the redevelopment agency. The Old Town Specific Plan and Old Town Community Plan Element provide the goals, objectives and policies which guide the use of redevelopment funds. The public improvements section of this plan outlines projects intended to implement the policies of the Specific Plan.

### **10.8 Gas Tax Street Improvement Fund**

All moneys received from the State for acquisition of property, interests therein, engineering, construction maintenance or improvements of streets or highways is deposited into this fund. This funding source may be used only for the above-noted categories of improvement to public streets and highways.

### **10.9 Small Business Administration Loans**

The U.S. Small Business Administration assists small businesses, minority, women-owned and veteran-owned businesses get started, meet their financial needs, secure government contracts, and

expand. Loans can be used for working capital, purchase of inventory, equipment and supplies or for building construction and expansion. S.B.A. loans are generally used by businesses that are unable to secure a conventional loan. Desert Community Bank, located in Victorville, is an active participant in Small Business Administration loan programs.

#### **10.10 Traffic Safety Fund**

In compliance with the State of California Vehicle Code, the City has created a special fund called the Traffic Safety Fund. All fines and forfeitures collected from persons charged with a misdemeanor under the Vehicle Code following arrest by a City Police Officer are deposited into this special fund. All moneys in the Traffic Safety Fund shall be used for traffic control devices, their maintenance, equipment and supplies for law enforcement and traffic accident prevention, their maintenance, improvement or construction of public streets, bridges and culverts within the City.

#### **10.11 Storm Drainage Fee**

A four dollar monthly fee for the City storm drainage system is collected on all developed property together with the City's refuse collection fees. The moneys collected are used for storm drainage acquisition, construction, reconstruction, maintenance, operation, administration and management, the payment of debt service and maintenance of an adequate reserve of funds for such storm drainage facilities.

#### **10.12 Development Impact Fee**

Development Impact Fees are collected prior to issuance of building permits for development in the City to pay for parks, road and public safety capital improvements. This fee was enacted to ensure that new development pays its fair share of the construction costs of public facilities. Currently, the City collects \$2,343.00 per single family dwelling unit, \$1,873.00 per multi-family dwelling unit and \$0.35 per square foot for commercial and industrial developments.

#### **10.13 Public Improvements**

Improvements within the Old Town Community would include the following:

##### **A. Public right-of-way landscaping**

1. Landscaping will be installed along Seventh Street as discussed within the Circulation Plan (Page 80). Landscape treatments may be added to other public rights-of-way as the community develops at which time plans would be formalized.

##### **B. Gateways**

1. Gateways, marking the major entrances into the community, will be installed in the future as the area develops. Gateways should only be installed after uses and activities that create the feeling of destination and arrival exist.

C. Street Furniture

1. Street furniture includes benches, trash receptacles, street lighting, newspaper dispensers, and drinking fountains. Street furniture will be installed along Seventh Street after the transition to a pedestrian oriented environment has occurred. The benches and trash receptacles are intended for use by shoppers.

**SPECIFIC PLAN ADMINISTRATION**

## **11. SPECIFIC PLAN ADMINISTRATION**

### **11.1 Enforcement Procedure**

- A. The Director, or his/her designee, shall have the responsibility to interpret the provisions of the Specific Plan. All such interpretations shall be reduced to written form and permanently maintained. Any person aggrieved by such an interpretation may request that such interpretation be reviewed by the Planning Commission.
- B. The Director of Planning and Development shall have the duty to enforce the provisions of the Specific Plan.
- C. Any use of a building or structure hereafter erected, built, maintained or used contrary to provisions of the Specific Plan shall be considered a public nuisance.
- D. Any person violating any provisions of this Specific Plan is guilty of a misdemeanor.
- E. Any details or issues not specifically covered by this Specific Plan shall be subject to the regulations of the City of Victorville Zoning Ordinance. Should any interpretation find that the provisions of the Specific Plan are in conflict with the Municipal Code, the Specific Plan shall prevail.
- F. Unless otherwise specified all development within the Specific Plan shall comply with the City of Victorville Municipal Codes. Terms used shall have the same meaning as defined in the City of Victorville Municipal Code unless otherwise defined herein.
- G. All development and construction within the Specific Plan area shall comply with the current applicable regulations of the Victorville Municipal Code and any subsequent amendments in such matters including, but not limited to, building, mechanical, fire and electrical codes, codes pertaining to drainage, waste water, public utilities, subdivision and grading.

### **11.2 Changes in the Specific Plan**

#### **A. Administrative**

The following changes in the Specific Plan may be made without amending the Plan:

- 1. The addition of new information to the Specific Plan maps or text for the purpose of clarification that does not change the effect or intent of any standard and/or regulation.
- 2. Changes to the infrastructure such as drainage systems, road, water and sewer systems, etc., which do not have the effect of increasing or decreasing capacity in the project area beyond the specified density range, and do not otherwise change the intent of any provision of this plan.
- 3. An adjustment in any site development standards by not more than 10 percent of that otherwise specified herein. Said adjustment is subject to review and approval by the Director of Planning.

## ***SPECIFIC PLAN ADMINISTRATION***

In approving or conditionally approving a minor adjustment, the Director of Planning shall find that because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of development standards contained herein deprives such property or privileges enjoyed by other properties in the vicinity. In addition, the Director of Planning shall find:

- a) There are practical reasons or benefits of improved design which justify an adjustment from prescribed development standards.
  - b) The adjustment, with any conditions imposed, will provide equal or greater benefit to adjacent property.
  - c) The adjustment is not in conflict with the objectives of the General Plan or the general intent of this Specific Plan.
4. Upon appeal to the Planning Commission of any decision of the Director of Planning made pursuant to this Section, the Planning Commission shall set the matter for hearing in a manner prescribed in Section 18.80 of the Victorville Municipal Code Zoning Ordinance.

### **11.3 Specific Plan Amendments**

The following changes to the Specific Plan shall require an amendment to the Specific Plan:

- A. Changes to the text or maps of the Specific Plan other than the addition of new information which does not change the effect or intent of any regulation.
- B. Changes in the Specific Plan land use district boundaries beyond 10 percent.
- C. Changes in infrastructure such as drainage systems, roads, water and sewer systems, etc., which have the effect of increasing or decreasing capacity beyond the specific density range in the project area.
- D. Major changes in the designated alignment or location of the backbone infrastructure system.
- E. Any other additions or deletions which may change the effect or intent on any regulation.

### **11.4 Specific Plan Provisions**

#### **A. Amendment Procedures**

The following procedures, as outlined in California Government Code Section 65500, are required to be followed for the adoption of an amendment to a Specific Plan:

1. An application, with all necessary supporting documentation, along with the required fee, shall be submitted to the Director of Planning stating in detail the reasons for and nature of the proposed amendment.

## *SPECIFIC PLAN ADMINISTRATION*

2. Before taking an action on a proposed amendment and environmental determinations pursuant to the California Environmental Quality Act (CEQA) to the Specific Plan, the Planning Commission must hold at least one public hearing. Notice for this hearing shall be given at least 10 days in advance and must be published at least once in a newspaper of general circulation.
3. The recommendation of an amendment to the Specific Plan shall be by a resolution carried by a majority of the total voting members of the Planning Commission.
4. The recommendation of the Planning Commission together with additional related documents and information shall be transmitted to the City Council. The transmittal may also include any pertinent information with regard to the reasons for the Planning Commission decision.
5. The City Council shall hold at least one public hearing for each proposed amendment pursuant to the provisions of the California Government Code. The action of the City Council shall be to approve, disapprove, or conditionally approve the proposed Specific Plan and to adopt the necessary ordinance.
6. An amendment to the Specific Plan may be initiated by the City of Victorville. The processing of the amendment shall be consistent with the above procedures. Amendments to the Specific Plan can also be requested by a property owner of record within the study area. Such amendments require that actual development be proposed by the applicant (to minimize speculation) and submitted to the Director of Planning, unless the Director determines that certain materials are not required. The Director of Planning shall review all requests for amendments and prepare a report and recommendation for submission to the Planning Commission, and thereafter to the City Council, consistent with the above procedures.

All proposed amendments to the Specific Plan shall be processed and acted upon pursuant to Zone Change Amendment provisions contained in Section 18.82 of the City of Victorville Municipal Code Zoning Ordinance.

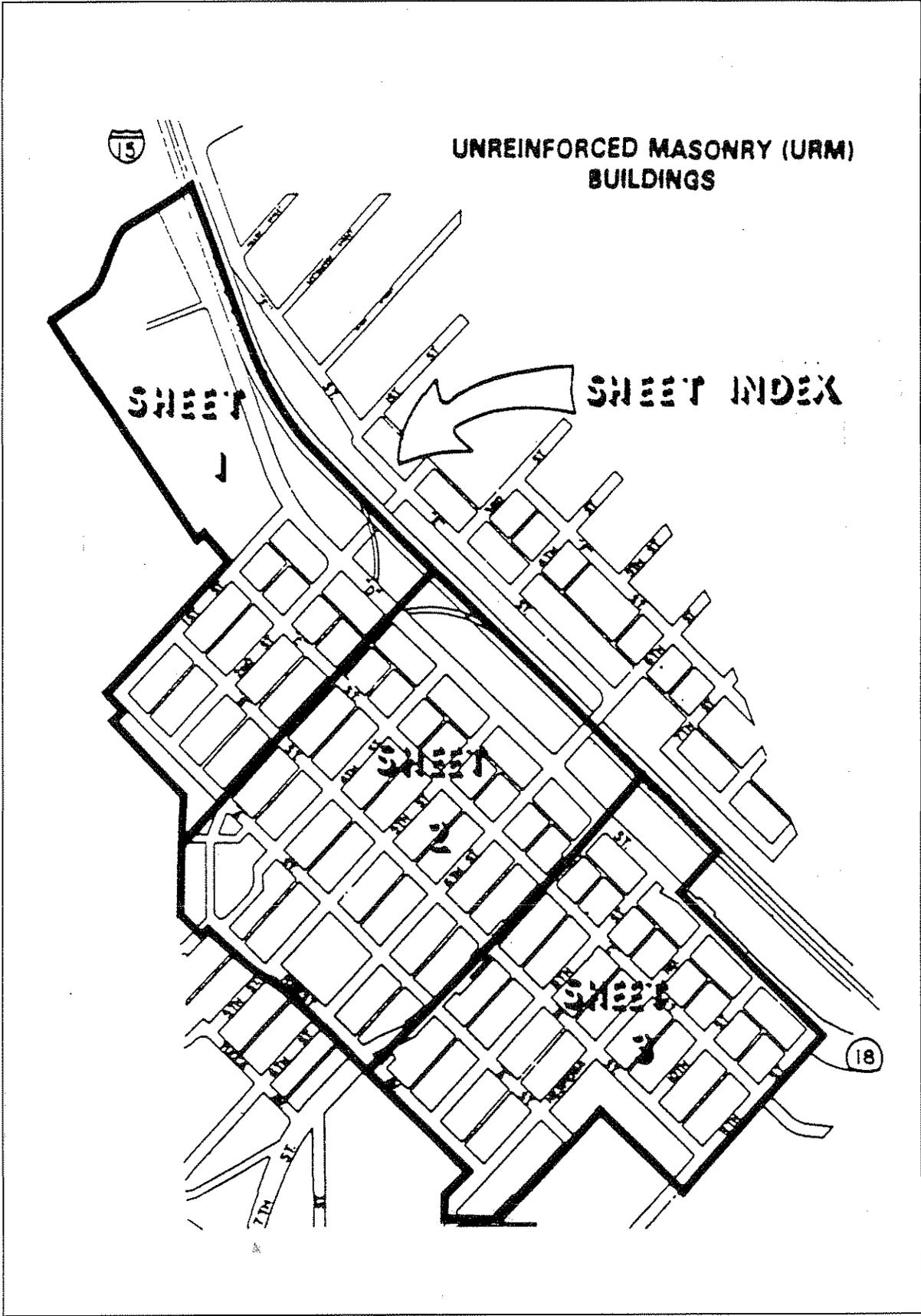
### B. Severability

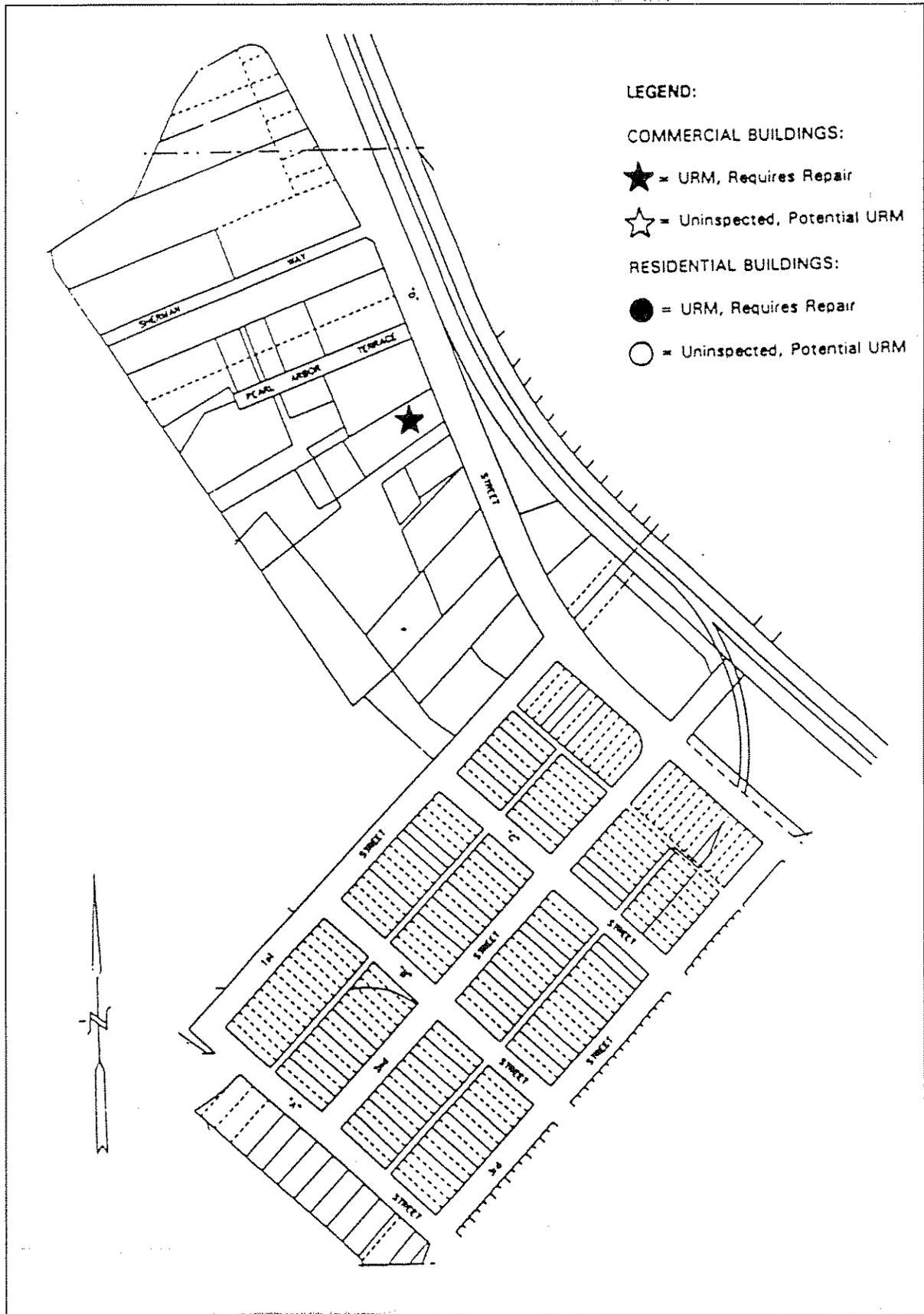
If any regulation, condition, program or portion thereof of the Specific Plan is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision and the invalidity of such provision shall not affect the validity of the remaining provisions hereof.

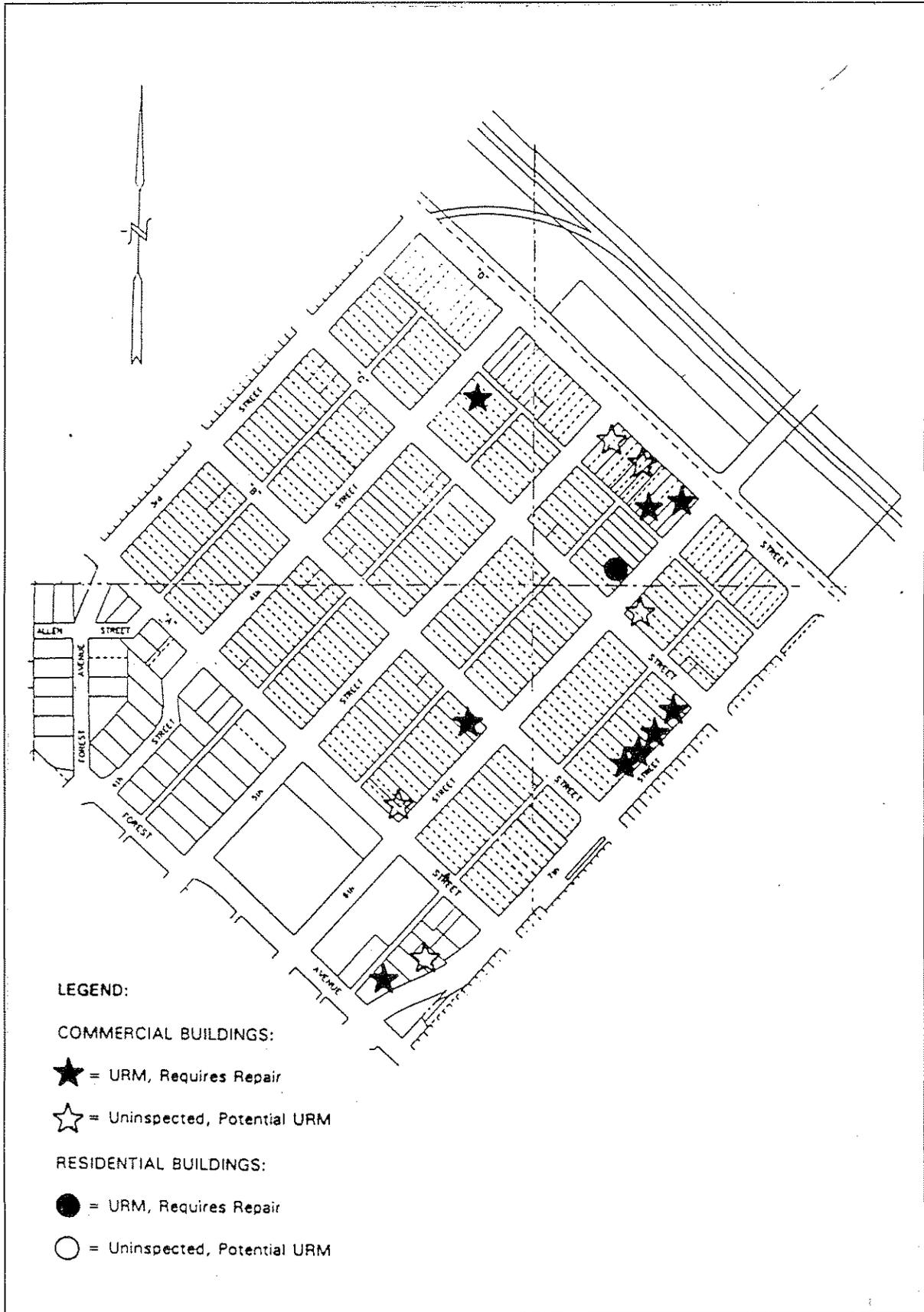
### C. Amendments to Victorville Municipal Code

Any amendments or modifications to the Victorville Municipal Code subsequent to the establishment of this Specific Plan shall apply to the Specific Plan where referenced.

**APPENDIX A**

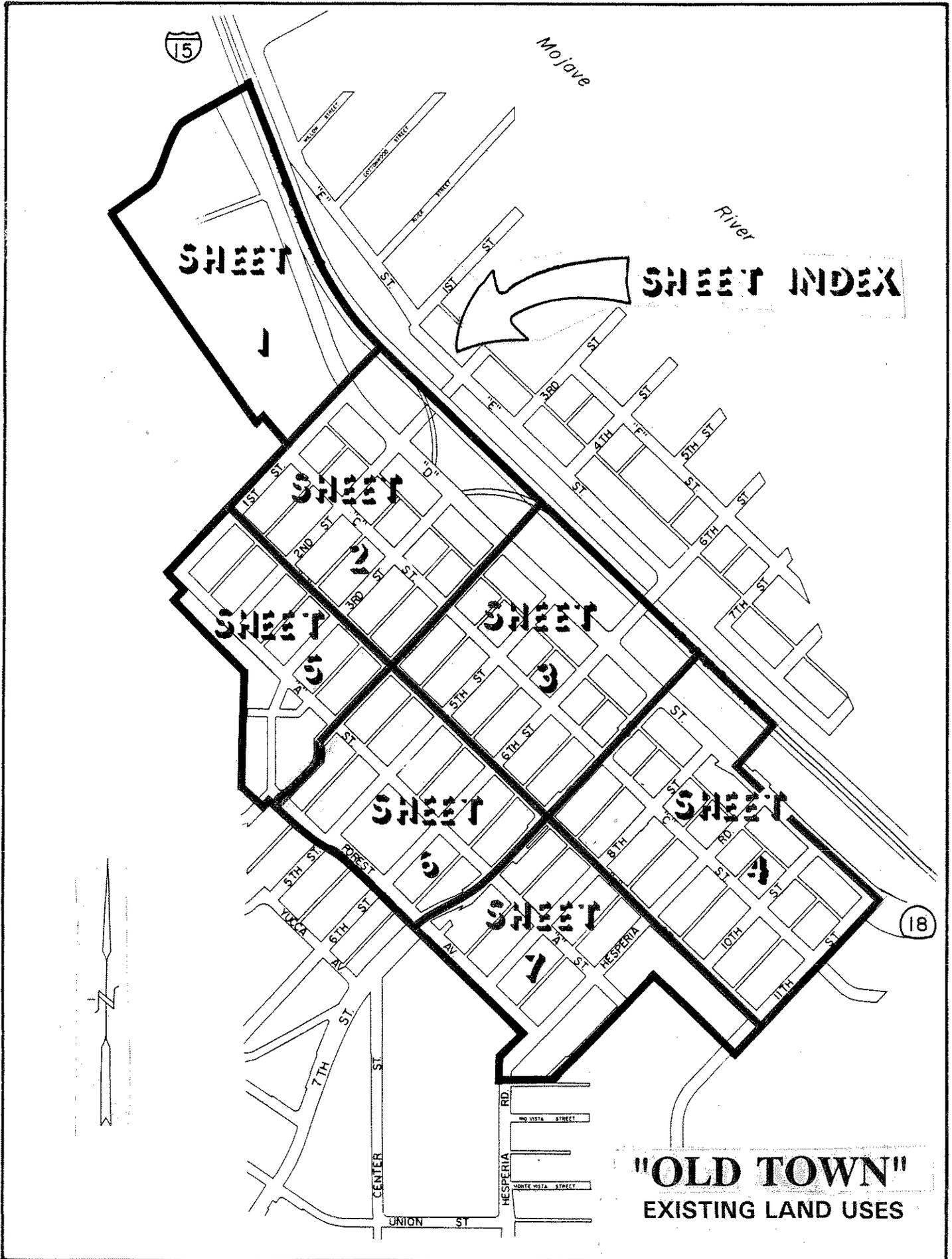




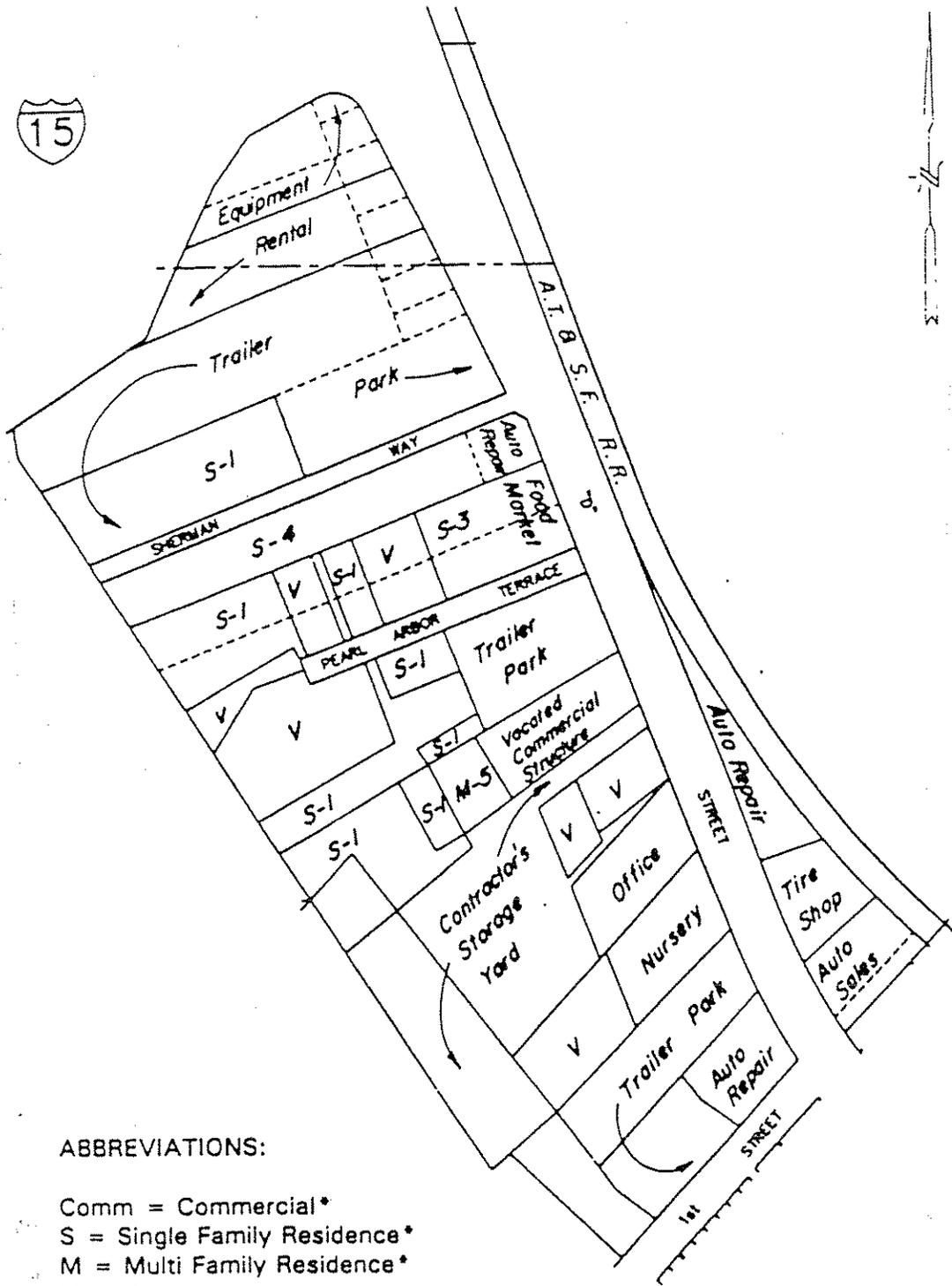




**APPENDIX B**



**"OLD TOWN"**  
EXISTING LAND USES



**ABBREVIATIONS:**

- Comm = Commercial\*
- S = Single Family Residence\*
- M = Multi Family Residence\*
- V = Vacant

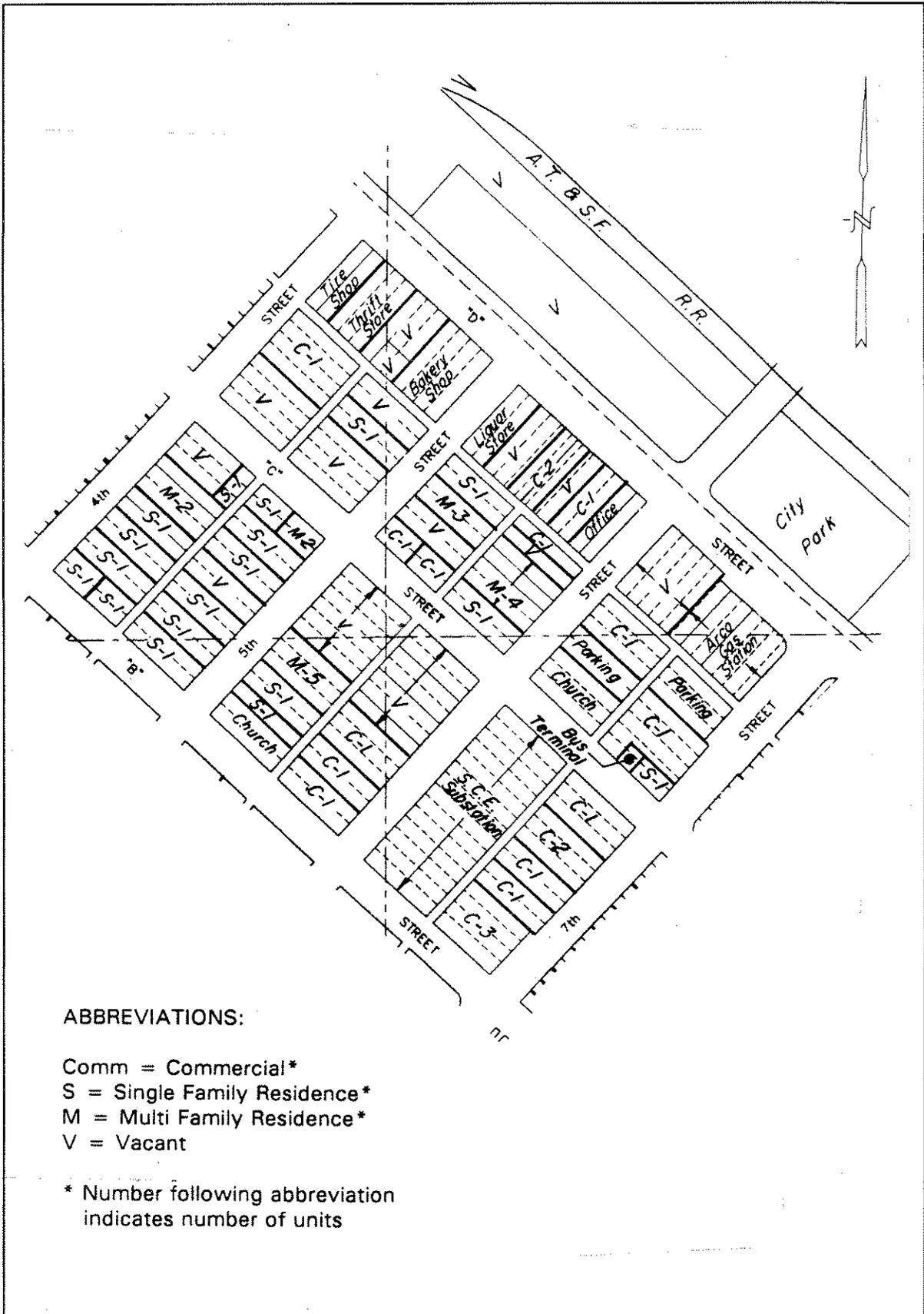
\* Number following abbreviation indicates number of units



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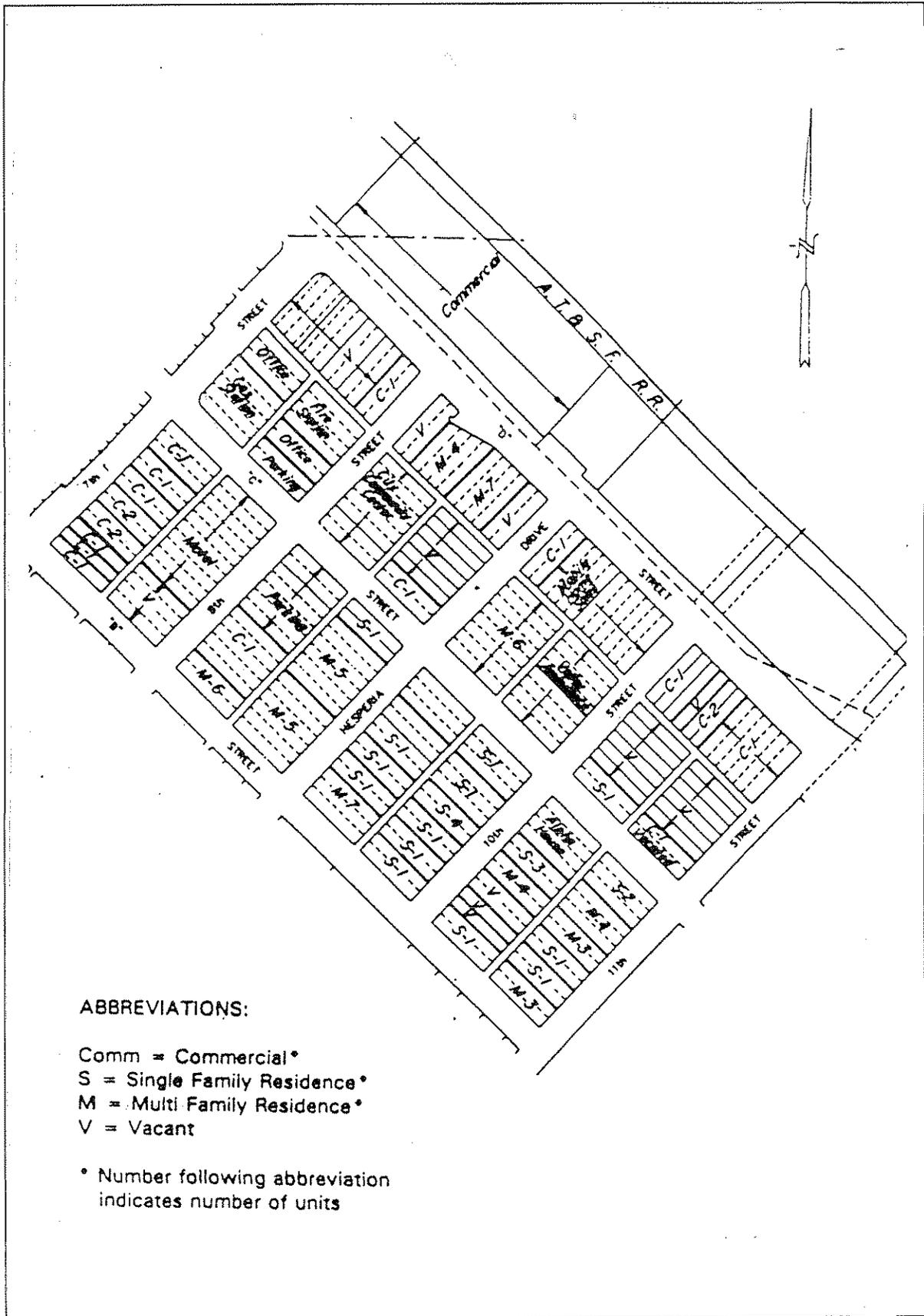
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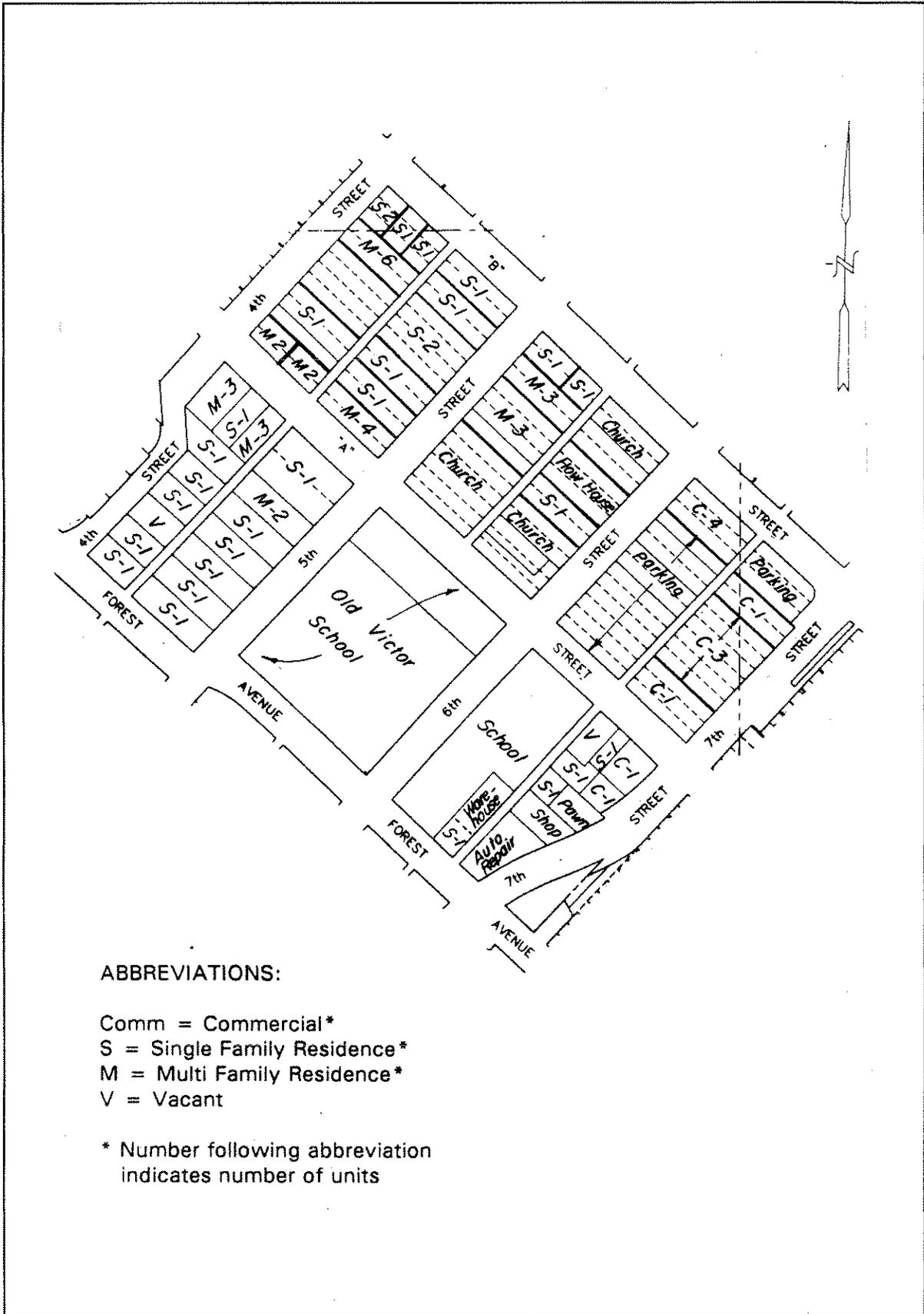
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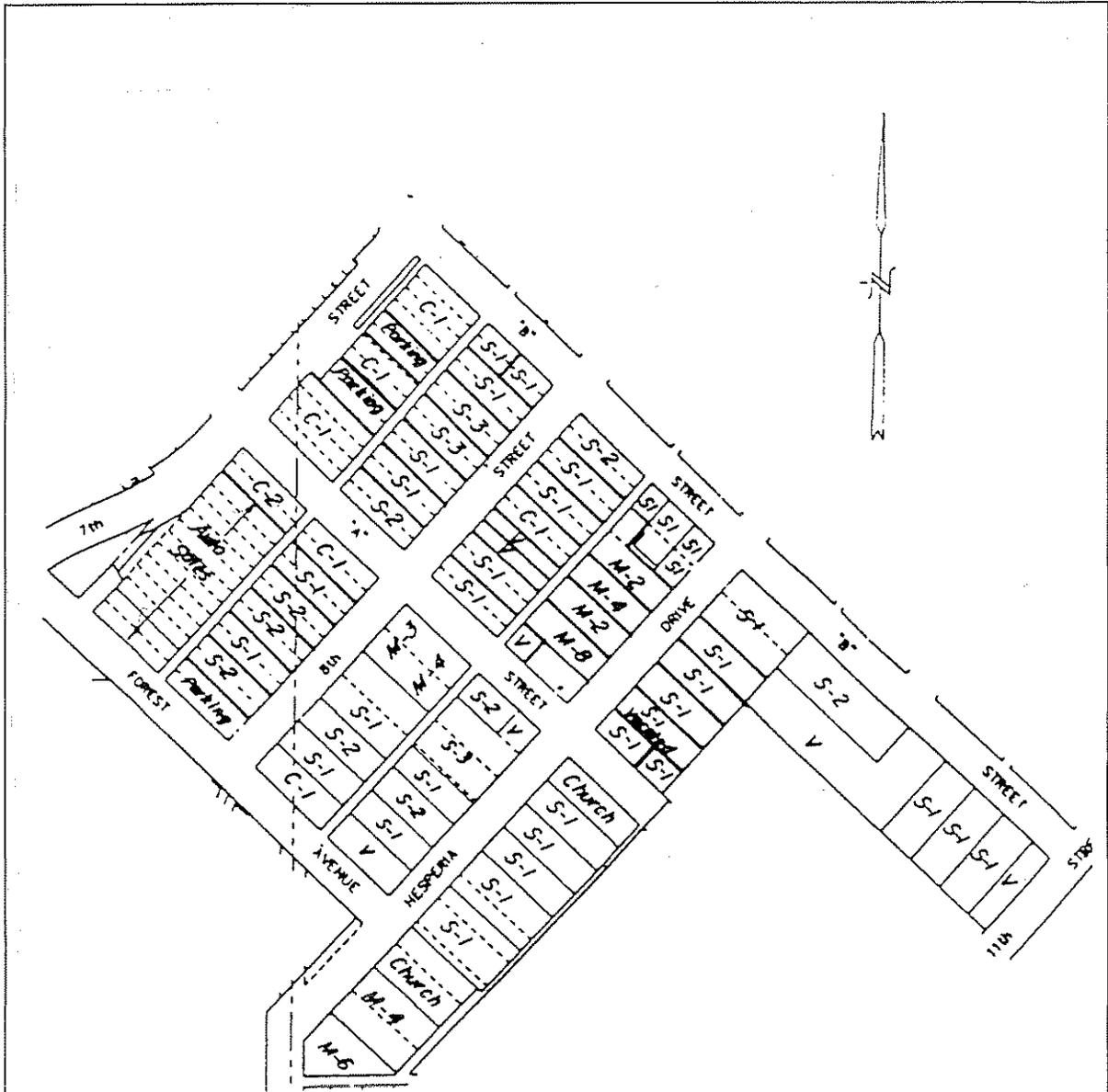
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