

Mojave Vistas

Specific Plan Amendment No. 1

SP-05-001



City of Victorville

August 2006

Prepared by:

AEI-CASC
CONSULTING

Mojave Vistas

FINAL SPECIFIC PLAN AMENDMENT **No. 1** **SP – 05 - 001**

PREPARED FOR THE LEAD AGENCY: CITY OF VICTORVILLE
14343 Civic Drive, Victorville, California 92392

CITY COUNCIL

Mayor: Mike Rothschild

Mayor Pro-Tem: Rudy Cabriales

Council: JoAnn Almond

Council: Terry E. Caldwell

Council: Bob Hunter

PLANNING COMMISSION

Ruth Ann Metzler

Rob Kurth

Chair: Ryan McEachron

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Mojave Vistas

FINAL SPECIFIC PLAN AMENDMENT **No. 1** **SP – 05 - 001**

DEVELOPED BY:

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Mojave Vistas

APPROVALS

ORDINANCE 2204

(Specific Plan Amendment - SP-05-001/ PLN07-00014)
(ADOPTED AUGUST 7, 2007, EFFECTIVE SEPTEMBER 7, 2007)

RESOLUTION No. 06-122

(General Plan Amendment - GPA-05-004)
(ADOPTED JULY 18, 2006)

ORDINANCE 2166

(Zone Change - ZC-05-020)
(ADOPTED AUGUST 1, 2006, EFFECTIVE AUGUST 31, 2006)

ORDINANCE 2167

(Specific Plan - SP-05-001)
(ADOPTED AUGUST 1, 2006, EFFECTIVE AUGUST 31, 2006)

NEGATIVE DECLARATION

(ADOPTED JULY 18, 2006)

ORDINANCE NO. 2204

AN ORDINANCE OF THE CITY OF VICTORVILLE GRANTING SPECIFIC PLAN AMENDMENT PLN07-00014, AN AMENDMENT TO SPECIFIC PLAN 05-001 (MOJAVE VISTAS SPECIFIC PLAN), TO ADJUST THE ACREAGE OF PLANNING AREAS 7 AND 10 AND THE OPEN SPACE CONSERVATION AREA – MOJAVE VISTAS, LLC

WHEREAS, Mojave Vistas, LLC has initiated a request for Specific Plan Amendment PLN07-00014 to adjust the acreage of Planning Areas 7 and 10 and the open space conservation area on property in the City of Victorville, County of San Bernardino, State of California, particularly described as follows:

A portion of the West ½ of Section 4, Township 5 North, Range 4 West, San Bernardino Base and Meridian, in the City of Victorville, San Bernardino County, State of California, and
A 3.78 acre portion of the North ½ of the Northwest ¼ of Section 9, Township 5 North, Range 4 West, San Bernardino Base and Meridian, in the City of Victorville, San Bernardino County, State of California, and

A portion of Lot 11, Appleton Land, Water and Power Company Subdivision No. 3, in the City of Victorville, San Bernardino County, State of California, as per plat recorded in Book 19 of maps, pages 80 through 82, records of said County; and

Pursuant to Title 7, Division 1, Chapter 3 of the Government Code of the State of California, a public hearing was opened on the 28th day of February, 2007 and closed on the 27th day of June, 2007, to hear arguments for and against the Specific Plan Amendment, and after hearing all testimony offered, the Planning Commission adopted Resolution No. P-07-036, which recommended to the City Council the adoption of Specific Plan Amendment PLN07-00014.

WHEREAS, this project has been previously assessed under Specific Plan 05-001 where the City Council found that the project would not have a significant effect on the environment and therefore approved the Negative Declaration; and

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY ORDAIN AS FOLLOWS:

SECTION 1. That the amendment to Specific Plan 05-001 (Mojave Vistas Specific Plan), to adjust the acreage of Planning Areas 7 and 10 and the Open Space Conservation are on property generally located north of the I-15 Freeway, south of Rancho Road, east of Brookfield Drive and west of National Trails Highway, be adopted.

RESOLUTION NO. 06-122

A RESOLUTION OF THE CITY OF VICTORVILLE APPROVING GENERAL PLAN AMENDMENT GPA-05-004 (A), AN AMENDMENT TO THE LAND USE ELEMENT OF THE GENERAL PLAN AND ANY OTHER AFFECTED ELEMENTS TO REDESIGNATE PROPERTY FROM LOW DENSITY RESIDENTIAL TO SPECIFIC PLAN – McRAE GROUP

WHEREAS, the McRae Group, has initiated an amendment to the Land Use Element of the General Plan and any other affected elements to redesignate property from Low Density Residential to Specific Plan on property located in the City of Victorville, County of San Bernardino, State of California, particularly described as follows:

That portion of Section 4, Township 5 North, Range 4 West, San Bernardino Base and Meridian, in the City of Victorville, County of San Bernardino, State of California; and

WHEREAS, pursuant to Title 7, Division 1, Chapter 3 of the Government Code of the State of California, the Victorville Planning Commission held a public hearing on June 14, 2006, to hear arguments for and against the issue, and after hearing all testimony offered, the Commission approved Resolution No. P-05-306, which recommended approval to the City Council of the General Plan Amendment; and

WHEREAS, the City Council finds that the proposed amendment to the Land Use Element is consistent with the goals, policies and objectives of the General Plan and all other elements; and

WHEREAS, a Negative Declaration for the proposed General Plan Amendment has been presented to the Planning Commission, and each member having reviewed and considered the information contained therein, and the Planning Commission having determined that the proposed General Plan Amendment will not have a significant effect on the environment and therefore recommends adoption by the City Council,

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY RESOLVE AS FOLLOWS:

SECTION I. That after holding a public hearing and considering all the testimony offered in compliance with Section 65357 of the Government Code of the State of California, the City Council hereby approves the General Plan Amendment to the Land Use Element of the General Plan and any other affected elements to redesignate property from Low Density Residential to Specific Plan on property located north of Interstate 15, south of Rancho Road and west of National Trails Highway.

ORDINANCE NO. 2166

AN ORDINANCE OF THE CITY OF VICTORVILLE APPROVING ZONE CHANGE ZC-05-020 TO RECLASSIFY PROPERTY FROM R-1 (SINGLE-FAMILY RESIDENTIAL) AND R-1T (SINGLE-FAMILY RESIDENTIAL - TRANSITIONAL) TO SPECIFIC PLAN - MCRAE GROUP

Pursuant to Title 7, Division I, Chapter 4, Article 2 of the Government Code of the State of California, a Public Hearing was held on the 14th day of June 2006, to hear arguments for and against the issue, and after hearing all testimony offered, the Planning Commission approved Resolution No. P-05-307, which recommended to the City Council the adoption of the zone change on property in the City of Victorville, County of San Bernardino, State of California hereinafter described as:

That portion of Section 4, Township 5 North, Range 4 West, San Bernardino Base and Meridian, in the City of Victorville, County of San Bernardino, State of California; and

WHEREAS, The City Council finds that the proposed zone change is consistent with the General Plan; and

WHEREAS, The City Council finds that the site is adequate in size to accommodate the proposed land use; and

WHEREAS, The City Council finds that the proposed use will have no adverse effect upon abutting property; and

WHEREAS, a Negative Declaration for the proposed Zone Change has been presented to the Planning Commission, and each member having reviewed and considered the information contained therein, and the Planning Commission having determined that the proposed Zone Change will not have a significant effect on the environment and therefore recommends adoption by the City Council,

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY ORDAIN AS FOLLOWS:

SECTION 1. That Zone Change ZC-05-020 be adopted, reclassifying property from R-1 (Single-Family Residential) and R-1T (Single-Family Residential - Transitional) to Specific Plan on property generally located north of Interstate 15, south of Rancho Road and west of National Trails Highway.

CERTIFICATION OF ORDINANCE

The following is a true and correct copy of City of Victorville Ordinance No. 2166 which was duly adopted at a meeting of the City Council of the City of Victorville held August 1, 2006 and published pursuant to California Government Code Section 36933(c)(1)

Marcie Wolters

Marcie Wolters, Deputy City Clerk
City of Victorville

ORDINANCE NO. 2167

AN ORDINANCE OF THE CITY OF VICTORVILLE GRANTING SPECIFIC PLAN 05-001 (MOJAVE VISTAS SPECIFIC PLAN), TO ALLOW FOR THE DEVELOPMENT OF A 224-ACRE COMMUNITY OF SINGLE-FAMILY RESIDENTIAL UNITS, A 12-ACRE SCHOOL SITE, TWO 3-ACRE PARK SITES AND 30 ACRES OF CONSERVATION AREA – MC RAE GROUP

The McRae Group has initiated a request for Specific Plan 05-001 to re-designate property from Low Density Residential to Specific Plan to adopt the Mojave Vistas Specific Plan, a 224-acre community of single-family residential units, a 12-acre school site, two 3-acre park sites and 30 acres of conservation area on property in the City of Victorville, County of San Bernardino, State of California, particularly described as follows:

That portion of Section 4, Township 5 North, Range 4 West, San Bernardino Base and Meridian, in the City of Victorville, County of San Bernardino, State of California; and

Pursuant to Title 7, Division 1, Chapter 3 of the Government Code of the State of California, a public hearing was conducted on the 14th day of June, 2006, to hear arguments for and against the Specific Plan, and after hearing all testimony offered, the Planning Commission adopted Resolution No. P-05-308, which recommended to the City Council the adoption of Specific Plan 05-001.

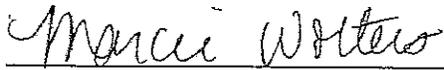
WHEREAS, a Negative Declaration for the proposed Specific Plan has been presented to the Planning Commission, and each member having reviewed and considered the information therein, and the Planning Commission having determined that the proposed Specific Plan will not have an effect on the environment and therefore recommends adoption by the City Council.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY ORDAIN AS FOLLOWS:

SECTION 1. That the Mojave Vistas Specific Plan, a 224-acre community of single-family residential units, a 12-acre school site, two 3-acre park sites and 30 acres of conservation area on property generally located north of Interstate 15, south of Rancho Road and west of National Trails Highway (Route 66), be adopted.

CERTIFICATION OF ORDINANCE

The following is a true and correct copy of City of Victorville Ordinance No. 2167 which was duly adopted at a meeting of the City Council of the City of Victorville held August 1, 2006 and published pursuant to California Government Code Section 36933(c)(1)



Marcie Wolters, Deputy City Clerk
City of Victorville

NOTICE OF DETERMINATION

To: Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Clerk of the Board of Supervisors
County of San Bernardino
385 North Arrowhead Avenue, 2nd Floor
San Bernardino, CA 92415-0130

From: City of Victorville - Planning Department
P.O. Box 5001
Victorville, CA 92393-5001

Contact: Bill Webb
Phone: (760) 955-5135

Documentary Handling Fee (\$35.00)

Receipt Number _____

Subject:

SUBJECT: Filing of Notice of Determination in Compliance with Section 21108 or 21152 of the Public Resources Code.

State Clearinghouse Number (if submitted to State Clearinghouse): 2005111004

Applicant

Project Title: General Plan Amendment GPA-05-004 (A), Zone Change ZC-05-020 &
Specific Plan 05-001

AEI-CASC Engineering

Project Location (include county): North of Interstate 15, south of Rancho Road and west of

Name
937 South Via Lata, Ste. 500

National Trails Highway (Route 66), City of Victorville, County of San Bernardino

Address
Colton, CA 92324

(480) 609-1200

Phone

Project Description: GPA-05-004 (A) - an amendment to the Land Use Element of the General

Plan and any other affected elements to re-designate property from Low Density Residential to

Specific Plan; ZC-05-020 - a change of zone to reclassify property from R-1 (Single-Family

Representative

Residential) and R-1T (Single-Family Residential - Transitional) to Specific Plan; and Specific

Plan 05-001 - a specific plan to adopt the Mojave Vistas Specific Plan to allow for the

Name

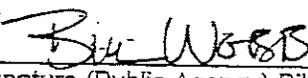
Address

Phone

This is to advise that the City Council approved the above described project on July 18, 2006 and has made the
(X) Lead Agency () Responsible Agency Date
following determinations regarding the above project.

1. The project [() will, (X) will not] have a significant effect on the environment.
2. () An Environmental Impact Report was prepared for this project pursuant to the provisions of CEQA.
(X) A Negative Declaration was prepared for this project pursuant to the provisions of CEQA.
3. Mitigation measures [(X) were, () were not] made a condition of the approval of the project.
4. A mitigation reporting or monitoring plan [() was, (X) was not] adopted for this project.
5. A Statement of Overriding Considerations [() was, (X) was not] adopted for this project.
5. Findings [() were, (X) were not] made pursuant to the provisions of CEQA.

This is to certify that the final EIR with comments and responses and record of project approval, or the Negative Declaration, is available to the General Public at: 14343 Civic Drive, Victorville, CA 92392


Signature (Public Agency) Bill Webb, AICP

July 19, 2006
Date

Director of Development
Title

Date received for filing at OPR _____

CONDITIONS OF APPROVAL
GPA-05-004(A), ZC-05-020 and S-P-05-001
June 14, 2006

PLANNING CONDITIONS:

GPA-05-004(D):
None

ZC-05-029:
None

S-P-05-001

1. Prior to issuance of a grading permit the applicant shall obtain coverage under the statewide general National Pollutant Discharge Elimination System (NPDES) permit for control of construction and post-construction related storm water. In addition, the applicant shall prepare a Storm Water Pollution Prevention Plan (SWPPP) as required in the NPDES permit and identify site-specific best management practices that will be used.
2. The applicant shall provide mitigation lands at a ratio of 1:1. These lands will be purchased in an area known to support populations of the species. The mitigation lands will be evaluated to ensure they provide habitat equal to or better than the habitat that will be lost as a result of development of the project site. In addition, CDFG approval of the mitigation lands will be obtained before acquisition is completed, and an Incidental Take Permit will be applied for as part of the overall mitigation process.
3. Appropriate Enhancement, endowment, and research fees will be provided by the project proponent as per CDFG requirements. These fees will be paid on a 1:1 basis prior to commencement of ground disturbing activities.
4. An educational brochure will be provided to all construction personnel regarding the Mohave ground squirrel prior to the start of ground disturbing activities.
5. Pre-construction surveys on the site and in the surrounding area out to 500 feet should be conducted no more than 30 days prior to ground disturbing activities. If ground disturbing activities are delayed for more than 30 days, additional surveys will be required.
6. Surveys should be conducted during the winter season between December 1 and January 31, if deemed necessary by CDFG.
7. If owls are observed on the site during future surveys, mitigations which will be required to reduce impacts to less than significant will include the following:
 - a. Occupied burrows should not be disturbed during the nesting season (February 1 through August 31) unless a qualified biologist approved by the Department verifies through non-invasive methods either: (1) the birds have not begun egg-laying and incubation; or (2) that juveniles from the occupied burrows are foraging independently and are capable of independent survival;
 - b. To offset the loss of foraging and burrow habitat on the project site, a minimum of 6.5 acres of burrowing owl habitat per pair or unpaired birds should be acquired and permanently protected;

- c. Existing unsuitable burrows should be enhanced or new burrows created at a ratio of 2:1 on the protected lands site; and
 - d. The project proponent should provide funding for long-term management and monitoring of the protected land. A monitoring plan for the protected land should be required which includes success criteria, remedial measures, and annual reports to the Department.
8. The applicant shall provide for an on-site paleontological/archaeological inspector to monitor all grading operations, or a letter from said licensed professional indicating that monitoring is not necessary during grading. Further, if disturbed resources are required to be collected and preserved, the applicant shall be required to participate financially up to the limits imposed by Public Resources Code Section 21083.2. The results of said monitoring shall be filed with the Director of Planning or his designee prior to the final approval of the development.
 9. Buffering for tracts or other development in Planning Areas 1 and 10 adjacent to the industrial use shall be subject to Development Director review and approval.
 10. The applicant shall submit, gain approval of, and record a parcel map to separate the industrial portion of APN 0478-021-17 from the Mojave Vistas Specific Plan area prior to the issuance of any building permit or recordation of any tract map. In the alternative, a Certificate of Compliance and Lot Line Adjustment may be substituted subject to City Engineer approval.
 11. The applicant shall file a Notice of Determination and pay the necessary filing fee to the County of San Bernardino pursuant to Public Resources Code Section 21089(b). This project is not effective until such time as this condition has been satisfied. The applicant shall submit evidence to the City that this condition has been satisfied. Any delay in the applicant's payment of the required fee shall not toll the lapse of approval date nor appeal period of this project.
 12. The applicant shall indemnify, protect, and hold harmless the City from any lawsuit due to the applicant's failure to pay the fee imposed by Fish and Game Code Section 711.4.

The following changes shall be made to the Specific Plan document prior to scheduling this item for City council review.

Change Section 5.5 *Conservation Easements* on page 5-7 and Section 7.9 *Maintenance*, Table 7-1 on page 7-6:

13. Include language in Section 5.5 on page 5-7 for the establishment and recordation of a Homeowners' Association for the perpetual maintenance of the conservation areas prior to recordation of the first tract.

Change the responsibility for maintenance of the conservation easements in Table 7-1 on page 7-6 from LMAD/DFAD to Homeowners' Association.

Change Section 7.2 *Implementation* paragraph "d" on page 7-1 to read as follows:

14. Planning Area 9 shall be included in phase 1 and construction of the park shall be commenced with the issuance of the first permit in phase 1, and be completed prior to the issuance of the last permit in phase 1. Prior to completion of construction, an LMAD shall be established for maintenance and the park shall be granted in fee simple to the City of Victorville.

Also change the *Phasing Plan*, figure 7-1 on page 7-4 to include Planning Area 9 in phase 1.

Change Section 7.2 *Implementation* paragraph "e" on page 7-2 to read as follows:

15. Planning Area 2 shall be included in phase 2 and construction of the park shall be commenced with the issuance of the first permit in phase 2, and be completed prior to the issuance of the last permit in phase 2. Prior to completion of construction, an LMAD shall be established for maintenance and the park shall be granted in fee simple to the City of Victorville.

Change the Phasing Plan, figure 7-1 on page 7-4 to include Planning Area 2 in phase 2.

Since Planning Area 5 may develop as a park instead of a school, add paragraph "f" to Section 7.2 *Implementation*:

16. If a school is not developed in Planning Area 5 a park shall be constructed. Prior to the recordation of the first tract map within the Specific Plan, the applicant/developer shall enter into a development agreement with the City regarding construction of the park. Prior to completion of construction, the park shall be granted in fee simple to the City of Victorville.

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1. Introduction

1.1 EXECUTIVE SUMMARY

LOCATION

The Mojave Vistas Specific Plan project includes approximately two hundred nineteen acres (219 Ac) located southwest of Historic Route 66 National Trails Highway; and east of Brookfield Drive in the City of Victorville. *(See Figures 1-1 to 1-4.)* The project site lies within the eastern portion of the City of Victorville's "Village Planning Area" as designated within the City General Plan.

The Mojave Vistas Specific Plan creates a master-planned community comprised of residential and recreational land uses. The proposed development consists of up to one hundred sixty acres (160 Ac) of single family residential development, with densities ranging from four to nine units per acre (4—9 DU/Ac). The residential land uses include single-family detached homes with minimum lot sizes of five thousand square feet to six thousand square feet (5,000 sf—6,000 sf) and Cluster style housing with up to nine (9) units per acre. The proposed Mojave Vistas Specific Plan includes approximately six acres (6.2 Ac) of developed park land, twelve acres (12.3 Ac) for an elementary school site and approximately thirty-one point four acres (31.4 Ac) of Undeveloped Open Space/Conservation Easement all of which are within walking distance of project residents. *(SPA-1/2007)*

The Specific Plan was prepared pursuant to the authority granted to the City of Victorville by the California Government Code, Title 7, Division I, Chapter 3, Article 8, Sections 6540 to 65457 et seq grant

local planning agencies the authority to prepare specific plans for any area covered by the General Plan for the purpose of establishing systematic methods of

implementation of the General Plan.

LAND USE PLAN SUMMARY

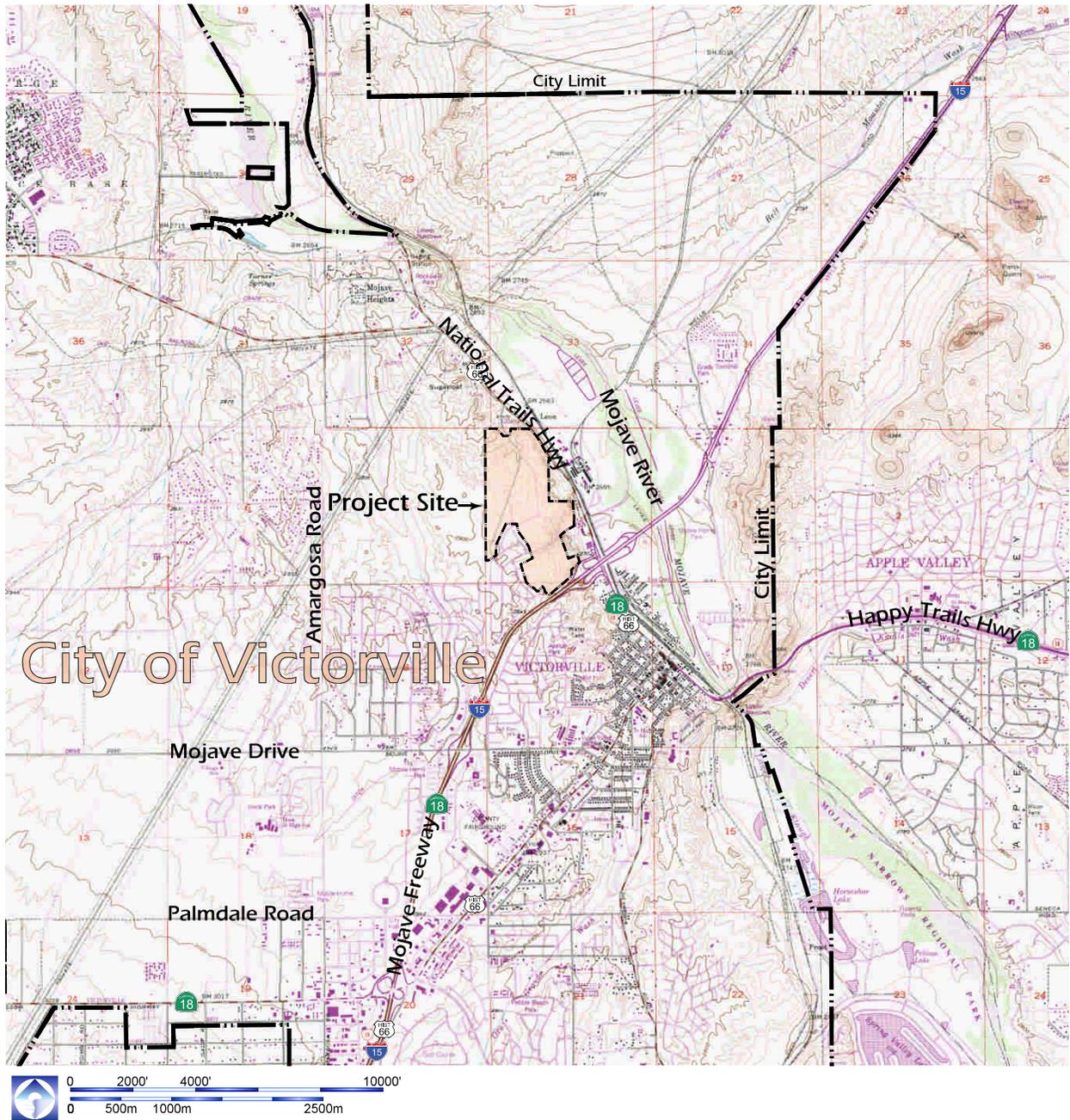
The Mojave Vistas Specific Plan creates a master-planned community comprised of residential, a school site, parks and recreation. The project has the following land uses:

- a. Up to One hundred sixty acres (160 Ac) of single family residential land providing a maximum of nine hundred seventy-two (972) homes.
- b. Six point two acres (6.2 Ac) of developed park land providing for two (2) neighborhood park sites with active recreation areas.
- c. Thirty-one point four acres (31.4 Ac) of open space/conservation easement.
- d. Twelve point three acres (12.3 Ac) of land for an elementary school site.

(SPA-1/2007)

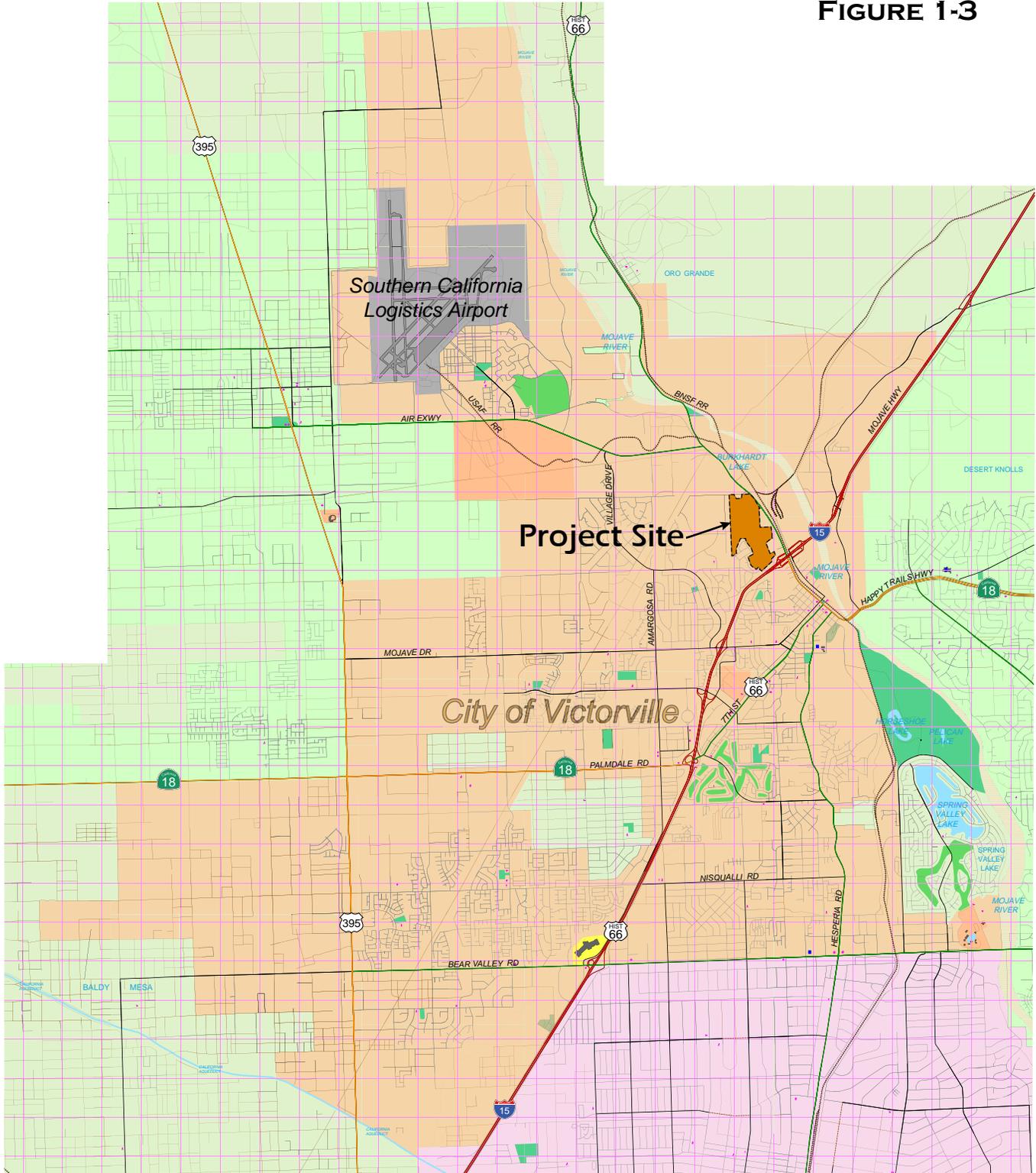
The project integrates the land uses with a circulation system that provides access to all areas of the project. The Mojave Vistas Specific Plan incorporates paseos through the project to increase the accessibility of land uses by pedestrians and cyclists.

SITE LOCATION (USGS)
FIGURE 1-2



Source: USGS 7.5 Minute Quadrangle, Victorville CA

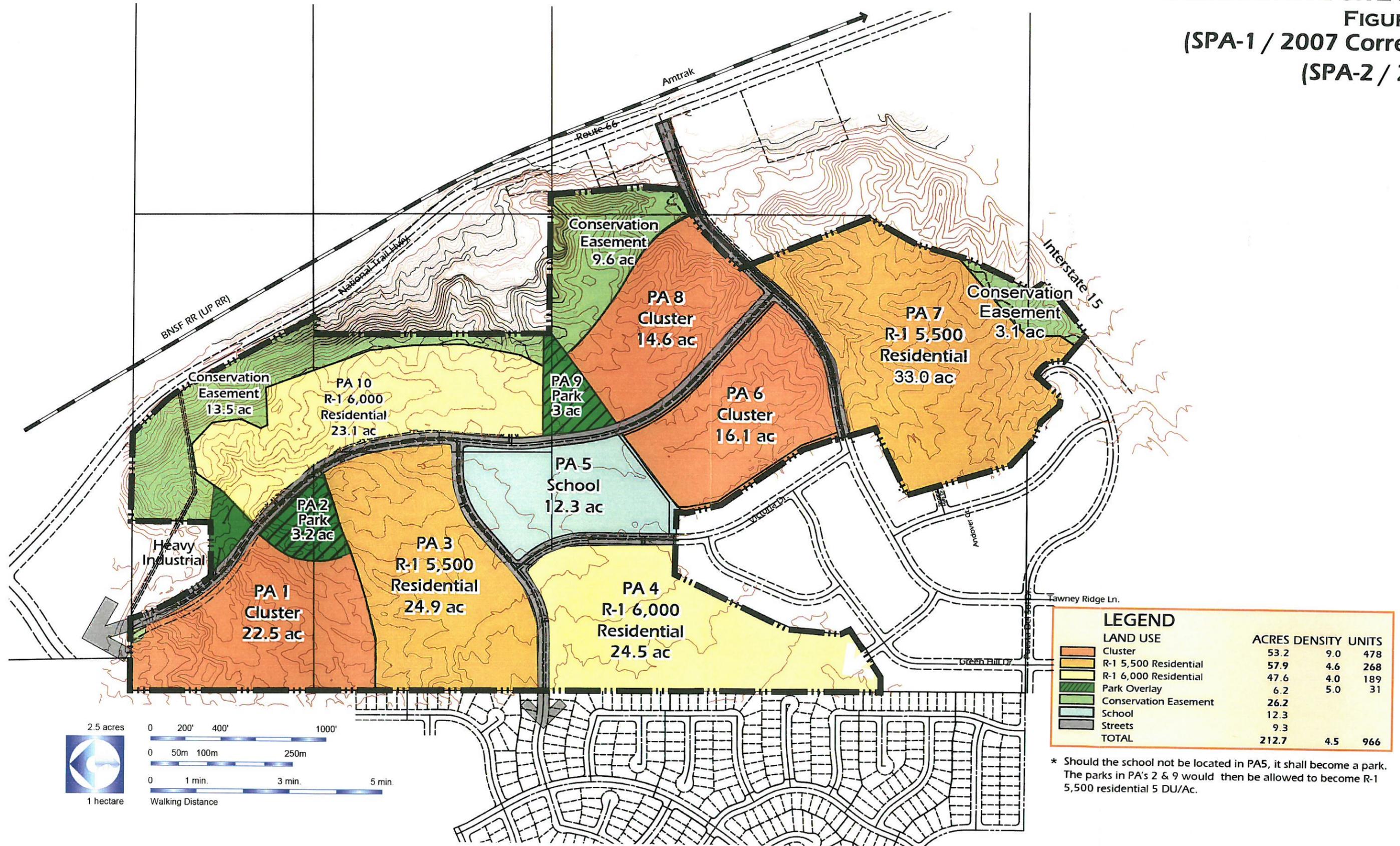
**CITY OF VICTORVILLE
& PROJECT SITE
FIGURE 1-3**



Source: The Thomas Guide 2004, San Bernardino County



ILLUSTRATIVE SITE PLAN
FIGURE 1-5
(SPA-1 / 2007 Corrected)
(SPA-2 / 2015)



1.2 PURPOSE AND GOALS

The City of Victorville's Zoning Ordinance states the purpose and intent of a specific plan is to provide superior development plans and systematic implementation of the General Plan. The City Zoning Ordinance—Title 18 will act as a supplement for those areas and issues not covered by the Mojave Vistas Specific Plan regulations for administration, review procedures, environmental review, and others.

The Mojave Vistas Specific Plan contains the detailed development standards and design guidelines that will ensure a comprehensively planned project. The Specific Plan serves as the regulatory document for the proposed development plans. Tentative maps and other plans shall be consistent with the Specific Plan in order to obtain City approval.

This Specific Plan has been prepared for the purpose of establishing guidelines for the development of the Mojave Vistas Specific Plan in the City of Victorville. This document provides the City with comprehensive plans, policies and regulations to ensure efficient, orderly development in accordance with the adopted Victorville General Plan. Although the Mojave Vistas Specific Plan is intended to provide the specific information relative to uses, siting, densities and land use, this Specific Plan is also intended to provide the flexibility to accommodate innovative developer approaches as well as changing economic and market conditions.

The Mojave Vistas Specific Plan implements the City of Victorville's General Plan by addressing the goals, policies and objectives of the General Plan. A complete discussion of the relationship between the Specific Plan and Victorville's General

Plan is found in Section 2.1.

The Goals of the Mojave Vistas Specific Plan are as follows:

- a. Create a distinctive "sense of place" unifying areas through design criteria, theming and by utilizing the natural surroundings
- b. Connectivity—Create aesthetic and functional streetscapes and trails which provide internal connections
- c. Provide a mix of housing types

The California Government Code Section 65450 et seq grants local planning agencies the authority to prepare specific plans for any area covered by a General Plan for the purpose of establishing systematic methods of implementation of the General Plan. A Specific Plan is designed to address site specific issues such as existing on-site conditions relative to topography and existing environmental concerns, site and design layout including setbacks and visual appearance as well as circulation, utility provisions and infrastructure financing alternatives.

2. Environmental

2.1 GEOPOLITICAL

Relationship to General Plan

The City of Victorville and State law require that the content of a Specific Plan include a discussion of the relationship between the Specific Plan to the goals and policies of the elements of the City General Plan. This section provides the analysis necessary to demonstrate that the Mojave Vistas Specific Plan is consistent with, and results in the implementation of, applicable goals and policies of the General Plan of the City of Victorville.

Land Use Element

Goal: Victorville as a community which provides adequate city services and infrastructure.

Consistency:

The Mojave Vistas project will provide adequate roadways and infrastructure for the project site. The developer will pay development impact fees to pay for necessary public services for the project.

Goal: Victorville as an aesthetically pleasing community with development standards which reflect community needs.

Consistency:

The Mojave Vistas Specific Plan will provide design standards and guidelines to provide for cohesion throughout the project. There are landscape standards, architectural guidelines and development standards that insure that the project will be aesthetically pleasing.

Circulation Element

Goal: Victorville with an efficient transportation system.

Consistency:

The Mojave Vistas circulation system will

be reviewed by City staff to ensure that the roadway widths will function in an efficient manner.

Goal: Victorville which requires that circulation infrastructure be constructed in an orderly and fiscally efficient manner.

Consistency:

The Mojave Vistas project will provide adequate roadways and infrastructure for the project site in a timely manner.

Housing Element

Goal: Victorville as a community encourages the provisions of a wide range of housing by location, type of unit, and price to meet the existing and future housing needs in Victorville.

Consistency:

The Mojave Vistas Specific Plan allows for the opportunity of a wide variety of housing unit types varying from cluster units to R-1 6,000 single family homes. The proposed plan includes fifty-three point two acres (53.2 Ac) of cluster housing, fifty-nine point two acres (59.2 ac) of R-1 5,500 sf minimum residential, and forty-seven point six acres (47.6 Ac) of R-1 6,000 sf minimum residential. These housing types will allow for a wide range of price, type of product and lot size. [\(SPA-1/2007\)](#)

Noise Element

Goal: Victorville as a community which is sensitive to and identifies significant noise sources.

Consistency:

Mojave Vistas proposes implementation of the above-stated policy through project design and by providing mitigation of noise impacts with setbacks and solid perimeter walls where required.

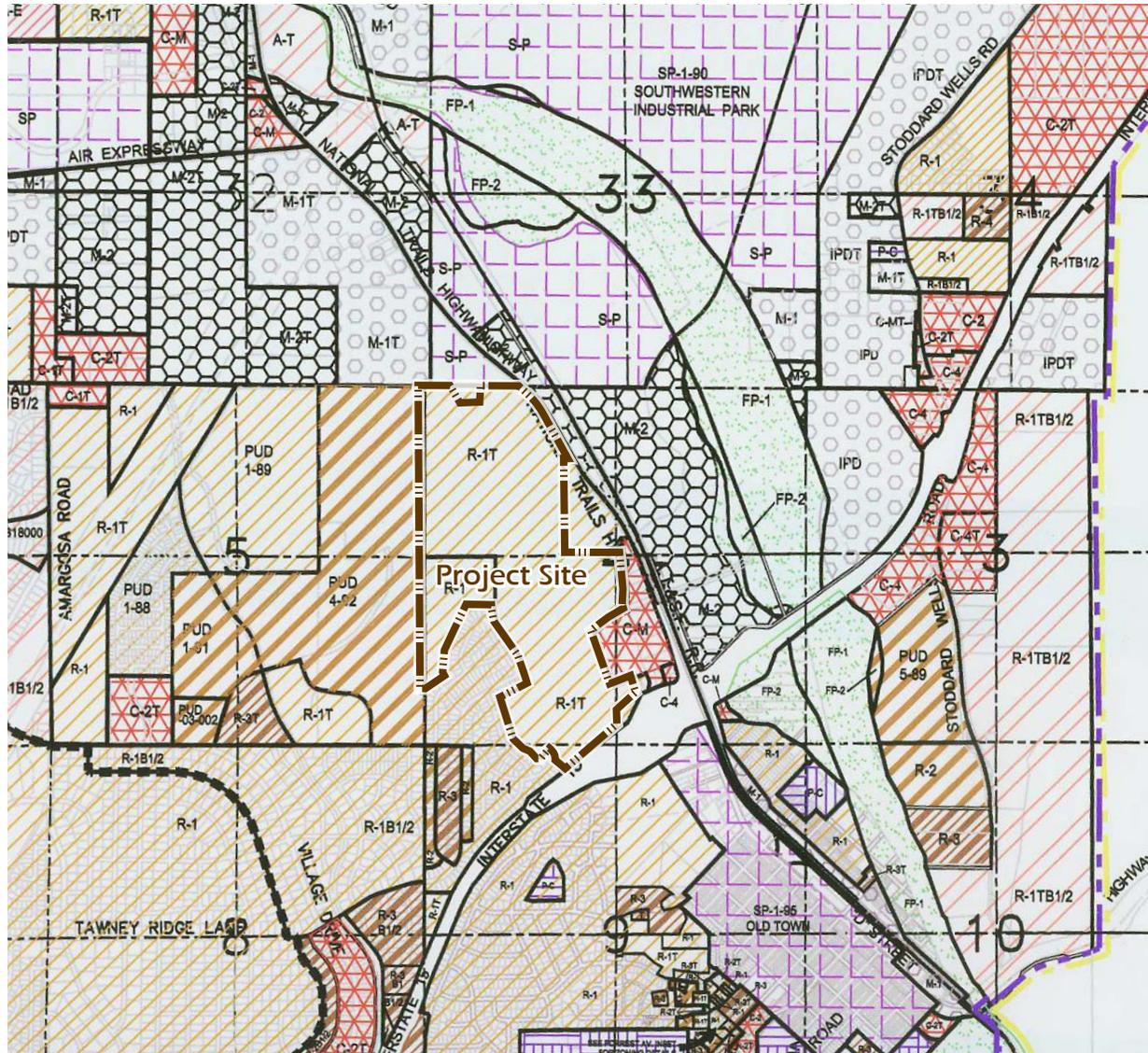
Safety Element

Goal: Victorville as a community which integrates public health and safety issues into its planning and development policies.

EXISTING CONDITIONS/ SURROUNDING LAND USE

FIGURE 2-1





General Plan Legend

-  Rural Residential (1 DU/5AC)
-  Low Density Residential (5 DU/AC)
-  Medium Density Residential (8 DU/AC)
-  High Density Residential (15-20 DU/AC)
-  Office Professional

-  Commercial
-  Light Industrial
-  Heavy Industrial
-  Public/Institution
-  Open Space
-  Specific Plan

Zoning Legend

- Residential:**
 - S-R Suburban Residential
 - R-1 Single Family
 - R-2 Medium Density
 - R-3 High Density
 - R-4 Very High Density
 - MDR Mixed Density
 - RMPD Mobile Home Planned Unit Development
- Industrial:**
 - IPD Industrial Park District
 - M-1 Light Industrial
 - M-2 Heavy Industrial
- Agricultural:**
 - AE Exclusive Agricultural
 - A Agriculture

- Commercial:**
 - C-1 Neighborhood Retail
 - C-2 General Commercial
 - C-4 Highway & Service Commercial
 - C-A Administrative Professional Offices
 - C-M Commercial Manufacturing
 - P Parking
- Other:**
 - F-P Conservancy & Flood Plain
 - H Historic
 - P-C Public & Civic
 - P-P Precise Plan
 - PUD Planned Unit Development
 - SLP Slope Protection
 - S-P Specific Plan
 - T Transitional

Consistency:

Mojave Vistas proposes to avoid development within the open space conservation easement and will assure adequate emergency service access to the entire project area. The developer will work with the Fire Department on locating a new Fire Station potentially within the project.

Resource Element

Goal: Victorville as a community which continues to identify and manage resources in coordination with its growth and development.

Consistency:

The Mojave Vistas Specific Plan establishes the project's storm water management system including the provision of detention basin areas as necessary. The plant palette for Mojave Vistas has been designed to be compatible with the climate and reduce/minimize water use.

2.2 GEOLOGY / TOPOGRAPHY

The Mojave Vistas Specific Plan lies within the Victor Valley area which is primarily composed of alluvium and undifferentiated older alluvial sediments. The San Andreas Fault lies approximately twenty miles (20 mi) to the southwest of the project area as depicted in the Victorville General Plan. The project is not in any fault zones or Alquist-Priolo Special Studies Zone.

Topography

The project site is comprised of rolling desert topography with an one hundred eighty feet (180') elevation difference. The highest elevation at the southeast corner is approximately 2,720 feet above mean sea level (MSL) trending toward the west corner to approximately 2,900 feet MSL. The southern portion of the site is separated from the northern portion by a canyon that crosses to the northeast from the east end of Tawney Ridge Lane to National Trails Highway. See Figure 2-3.

2.3 HYDROLOGY

The Mojave Vistas Specific Plan is not located within a flood hazard area identified by the Federal Emergency Management Agency (FEMA). The site does lie within the Mojave River Ground Water Basin Area, Alto sub-basin with a supply of groundwater approximately two hundred feet (200') below ground level. No jurisdictional "blue-line" streams or other "wetlands" areas are designated on the site. Flows off-site will be maintained at current levels, there will not be any additional flows off-site after completion of the project.

2.4 BIOLOGY

The site is currently undeveloped, with numerous unimproved roads and trails from use of off-road recreational vehicles.

There are no known sensitive plant species or animals such as: Desert Tortoises, Sharp-shinned hawks,

loggerhead shrike's, Mojave ground squirrels or Burrowing Owls on site. *Desert Tortoises* do not occur on the property or within the immediate area as determined by field surveys conducted in April 2005, and it is unlikely that tortoises will move onto the site in the near future due to the low population levels in the immediate area.

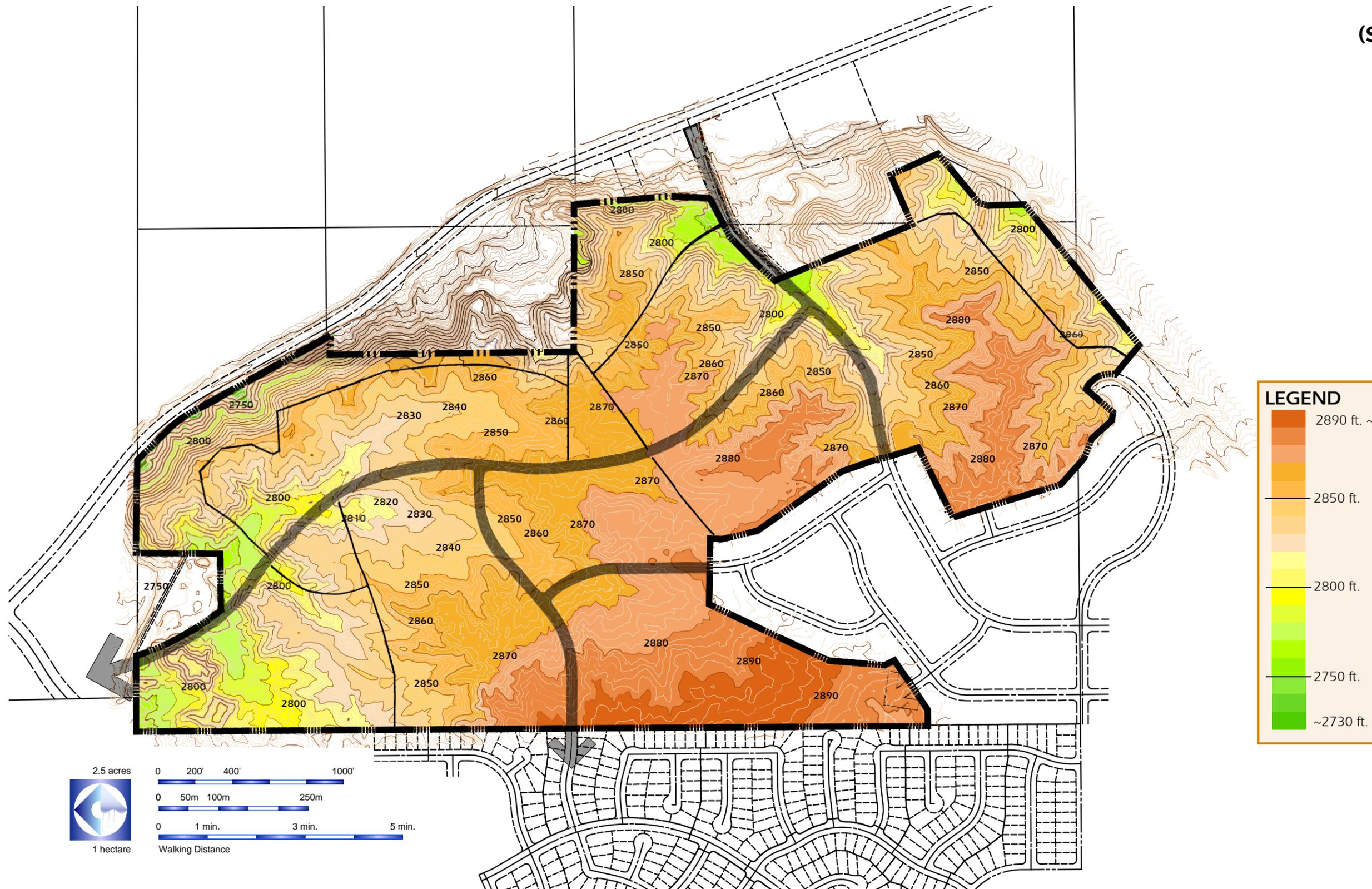
Sharp-shinned hawks and Loggerhead Shrikes were not observed on the property or within the immediate area.

Mohave Ground Squirrels, the site supports native vegetation, including winterfat and spiny hop-sage plants, which could be potential habitat for the Mohave Ground Squirrel.

Burrowing Owls, the surveys did not identify any owls on the site; however, potential owl burrows were observed on the property and in the surrounding area. Should any of the above listed species be observed during future development activities California Department of Fish and Game (CDFG) and U.S. Fish and Wildlife Service (USFWS) should be contacted to discuss potential mitigations which may be required by the agencies.

The biological information above was provided in the Biological Survey prepared on April 25, 2005 by RCA Associates, Inc. Additional biological studies may be conducted as required prior to grading of the project site.

**TOPOGRAPHY
FIGURE 2-3
(SPA-1 / 2007)**



3. Land Use Plan

3.1 DESIGN

The Mojave Vistas Specific Plan is being developed as a Master Planned Community incorporating residential, school, open space and park uses into a walkable community. The proposed project will comprehensively develop the approximately two hundred nineteen acres (219 Ac). The land uses will be integrated together through the use of landscape, architecture and theming to create a sense of community. A diversity of residential product types are situated within walking distance of the school, parks and open space trails. The project encourages the use of alternate modes of transportation such as walking and biking within the community.

3.2 LAND USE PLAN

The project incorporates the goals and objectives of the City of Victorville's General Plan. The land use for Mojave Vistas is designed to integrate with adjacent development and create an interface to future development around the site.

Single Family Residential Planning Areas 1, 3, 4, 6, 7, 8, & 10

The range of housing types within the Mojave Vistas Specific Plan includes a variety of single family dwelling types, cluster, R-1 5,500 residential and R-1 6,000 residential incorporated into seven (7) planning areas. The single family areas are composed of five thousand square feet (5,000 sf) lot minimums, five thousand five hundred square feet (5,500 sf) lot minimums, and six thousand square feet (6,000 sf) minimum lots. The overall project proposes a maximum of nine hundred seventy-two units (972 DU)

for an average density under four point four units per acre (4.4 DU/Ac).

The single family residential will incorporate three (3) minimum lot sizes to allow for a variety of single family detached residences within the proposed community. Planning areas 1, 6 and 8 are Cluster products on five thousand square feet (5,000 sf) minimum lots on approximately of fifty-three point two acres (53.2 Ac) with a maximum of four hundred seventy-eight units (478 DU) for a density of nine units per acre (9 DU/Ac). Planning areas 3 and 7 will be R-1 5,500 residential on five thousand, five hundred square feet (5,500 sf) minimum lots on approximately fifty-nine point two acres (59.2 Ac) with a maximum of two hundred seventy-four units (274 DU) and a maximum density of five units per acre (5.0 DU/Ac). Planning areas 4, and 10 will be R-1 6,000 residential on six thousand square feet (6,000 sf) lot minimums on approximately forty-seven point six acres (47.6 Ac) with a maximum of one hundred eighty-nine (189 DU) homes for a maximum density of four and one half units per acre (4.5 DU/Ac). In addition, should the School not be developed in Planning Area 5 it shall revert to Park and the two (2) parks that totaling approximately six acres (6.2 Ac) shall become R-1 5,500 residential with a maximum density of five units per acre (5 DU/Ac), for a total of thirty-one (31) units. *(SPA-1/2007)*

School Planning Area 5

A twelve point three acre (12.3 Ac) school site is proposed across the street from one (1) of the neighborhood park sites. The school site is centrally located to allow school children to walk safely to and from school.

Should the school not be located within the Mojave Vistas Specific Plan, the twelve point three acre (12.3 Ac) site shall become a park. [\(SPA-1/2007\)](#)

Parks Overlay

Planning Areas 2, & 9

Within the project, approximately six point two acres (6.2 Ac) of developed park space are proposed. One (1) neighborhood park is located near the northern project entry and will provide both a visual amenity and a recreation area for the project residents. The second neighborhood park is located east of the school site adjacent to and providing connectivity to the conservation easement/open space area. The parks will include active recreation facilities. Paseos (with concrete paths) and enhanced parkways have been proposed through the project in order to simplify access from all planning areas within the Specific Plan. The parks, school and neighborhoods will be connected with paseos, enhanced parkways and/or sidewalks. [\(SPA-1/2007\)](#)

Should the school site in planning area 5 revert to a park the two (2) parks listed above may revert to R-1 5,500 residential for a maximum of five units per acre (5 DU/Ac).

Open Space/Conservation Easement

Within the project there are approximately Thirty-one point four acres (31.4 Ac) of open space/conservation easement proposed. The open space/conservation easement will allow for hillside hiking opportunities and scenic views. The Conservation easement area shall be maintained as open space (natural conservation area is approximately twenty-nine point six acres (29.6 ac) with approximately one point eight acres (1.8 ac) of slopes that may be graded and revegetated), water

detention/retention or other water quality or flood control facilities maybe located within the easement. Service access shall be provided to the Conservation easement to allow for maintenance and/or emergency service vehicles. [\(SPA-1/2007\)](#)

**LAND USE
STATISTICAL SUMMARY
(SPA-2 2015)
TABLE 3-1**

LAND USE	PLANNING AREAS	ACRES	DENSITY	UNITS
Cluster	1, 6 & 8	53.2	9.0	478
R-1 5,500 Residential	3 & 7	57.9	4.6	268
R-1 6,000 Residential	4, & 10	47.6	4.0	189
Parks (Overlay) Med. Density*	2, & 9	6.2	5.0	31
School	5	12.3		
Open Space/Conservation		26.2		
Streets		9.3		
TOTAL		212.7	4.5	966

(SPA-1/2007)
(SPA-2/2015)

**DETAILED LAND USE
STATISTICAL SUMMARY
(SPA-2 / 2015)**

TABLE 3-2

LAND USE	PLANNING AREAS	ACRES	DENSITY	UNITS
Cluster	1	22.5	9.0	202
Parks (Overlay) Med. Density*	2	3.2	5.0	16
R-1 5,500 Residential	3	24.9	5.0	124
R-1 6,000 Residential	4	24.5	4.4	109
School	5	12.3		
Cluster	6	16.1	9.0	145
R-1 5,500 Residential	7	33.0	4.4	144
Cluster	8	14.6	9.0	131
Parks (Overlay) Med. Density*	9	3.0	5.0	15
R-1 6,000 Residential	10	23.1	3.5	80
Open Space/Conservation/Basins		26.2		
Streets		9.3		
TOTAL		212.7	4.5	966

* Should the school district choose not to build a school in PA 5 this site will be a park site. In addition, the two (2) active park sites will be allowed to be constructed as R-1 5,500 residential at 5 DU/Ac.

(SPA-1/2007)

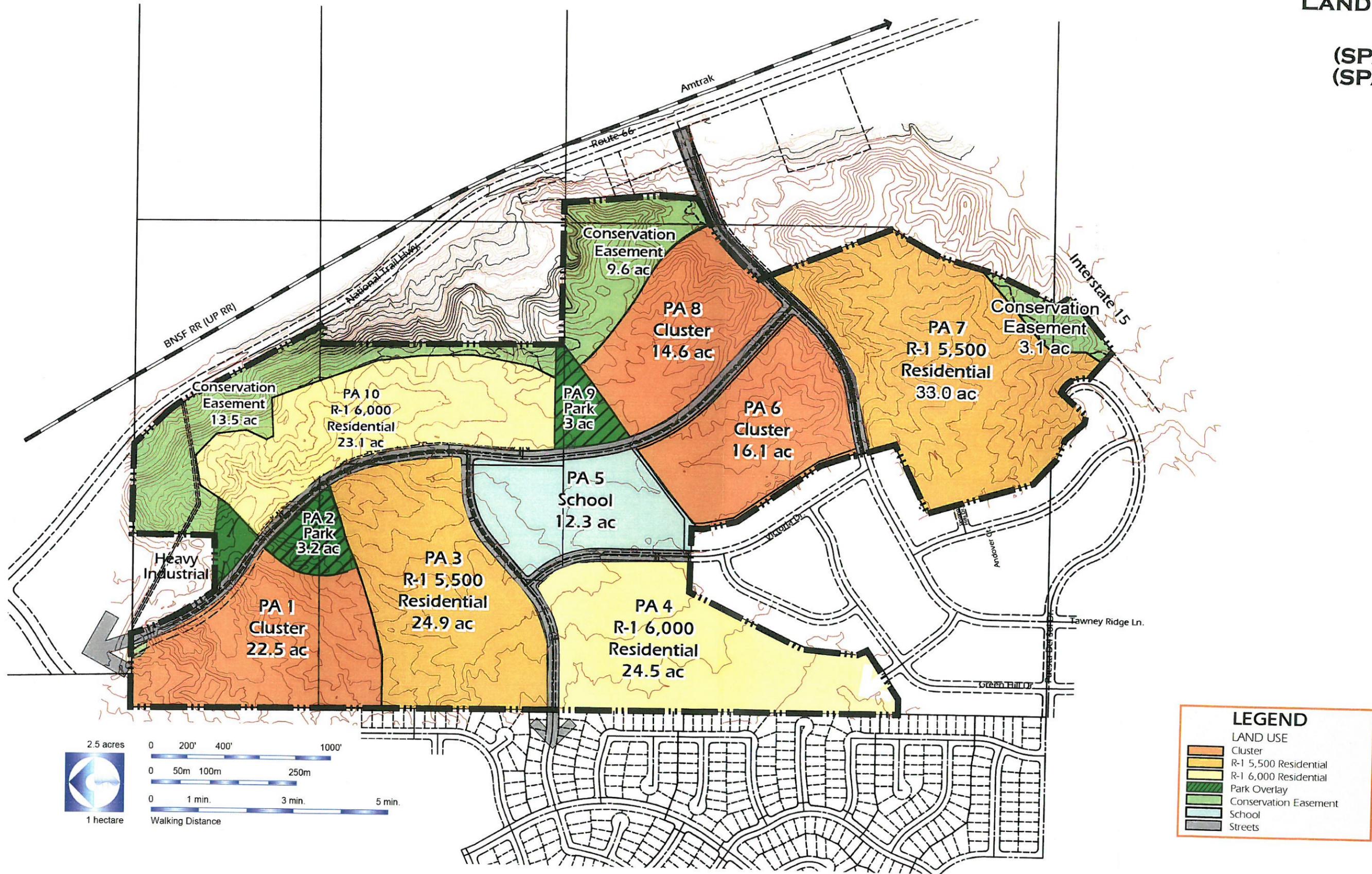
(SPA-2/2015)

**DETAILED
OPEN SPACE / CONSERVATION
SUMMARY
TABLE 3-3**

Planning Area	ACRES
PA 7 - Conservation Area	7.5
PA 7 - Graded/Revegetated Area	0.8
PA 8 - Conservation Area	9.3
PA 8 - Graded/Revegetated Area	0.3
PA 10 - Conservation Area	12.8
PA 10 - Graded/Revegetated Area	0.7
<i>Total Conservation Area</i>	<i>29.6</i>
<i>Total Graded/Revegetated</i>	<i>1.8</i>
<i>Grand Total Open Space / Conservation</i>	<i>31.4</i>

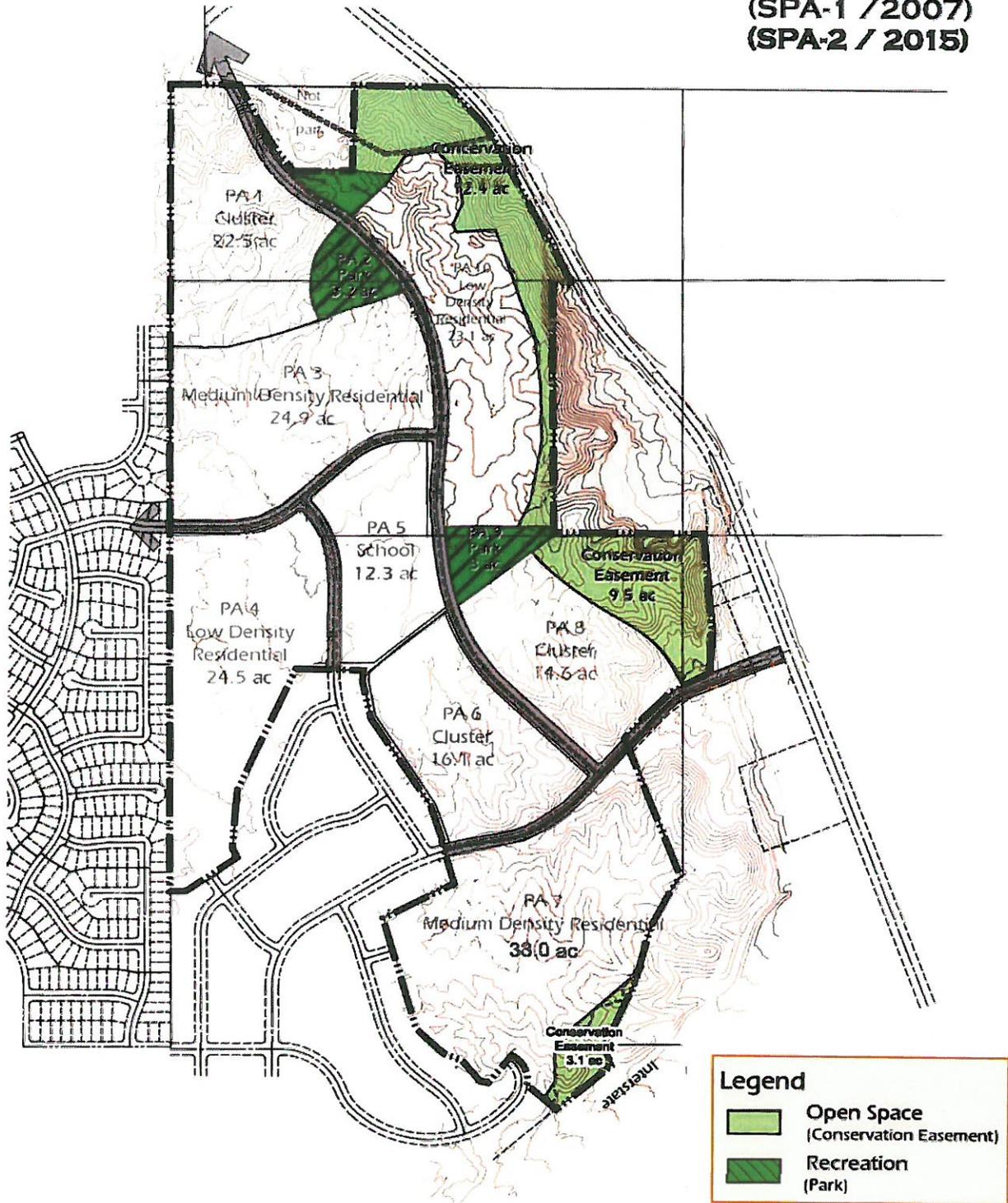
(SPA-1/2007)

**LAND USE PLAN
FIGURE 3-1
(SPA-1 / 2007)
(SPA-2 / 2015)**



OPEN SPACE/RECREATION

**FIGURE 3-2
(SPA-1 / 2007)
(SPA-2 / 2015)**



4. Infrastructure Plan

4.1 CIRCULATION

Project Circulation

The Circulation Plan for Mojave Vistas emphasizes the attractive design and usable streetscapes which balance the needs of pedestrians, bicyclists and vehicles. Another objective of the circulation plan is to provide direct access to parks, and open space from the residential areas within the project.

Vehicular Circulation

The primary vehicular access to the project is provided from National Trail Highway at Tawney Ridge Lane crossing the site from east to west. The north to south access to the site will be from Tawney Ridge Lane.

Figure 4-1 depicts the planned area-wide circulation system established in the Circulation Element of the General Plan. The street right of way and designations for the surrounding roadways are as follows:

National Trails Highway (Route 66)-
Major Arterial
One hundred foot right of way
(100' R/W)

Note: Mojave Vistas Drive as shown in the General Plan Circulation Element is located slightly to the west of the proposed alignment within the Mojave Vista's specific plan. The proposed alignment has moved east due to an existing half-width section of Mojave Vistas Drive, which was previously not constructed along the section line.

Internal roadways are classified as follows:

Tawney Ridge Lane / Collectors -
Sixty-four-foot right of way
(64' R/W)

Local Streets -
Sixty foot right of way
(60' R/W)

Figure 4-2 illustrates a circulation plan that will provide access to the site as well as the internal backbone system that will complete the local circulation network of the project. See figure 4-3 street cross sections. Enhanced landscape setback areas will be incorporated through the project adding landscaping beyond the right of way making the streetscapes pleasing and welcoming to motorists and pedestrians. See Section 6.5 Landscape Architecture.

Pedestrian And Bicycle Circulation

The tree lined, pedestrian routes along the streets within the project will be supplemented with a trail system. The trail system is a network of roads, multi-purpose trails, enhanced parkways and paths working together to provide convenient linkages to destinations within the community. The enhanced landscape areas along the right of ways create a feeling that is inviting for pedestrians and cyclists. Bike routes are located along National Trails Highway and 7th Street, off-site from the project.

Proposed Traffic Mitigation

As a part of the Mojave Vistas project, Tawney Ridge Lane is proposed to be constructed to National Trails Highway. With the construction of Tawney Ridge Lane, it is recommended that the ultimate intersection improvements for the intersection of Tawney Ridge Lane and National Trails Highway be constructed. The traffic generated by the project in itself will not require this traffic signal to be installed at the intersection. However, as development occurs along Blue

Canyon Road, specifically by other projects, traffic volumes will increase such that the traffic signal installation will be justified. The following measures are recommended improvements for the project per the July 22, 2005 Traffic Impact Analysis performed by VVCE, Inc.

1. Install a traffic signal at Tawney Ridge Lane and National Trails Highway and construct a north to west left turn lane, an additional northbound and southbound through lanes
2. Construct a north to west left turn lane and an additional northbound and southbound through lane at the intersection of National Trails Highway and Rancho Road.

4.2 WATER & SEWER

Water

The Mojave Vistas Specific Plan is within the Victor Valley Water District's (VVWD) service area. VVWD has indicated that service will be provided for this project by means of existing services as well as services that will be required to be constructed as part of this project. Currently there is an eight inch (8") water main located in Tawney Ridge Lane, Victoria Drive and Brookfield Drive. In addition, there is a fourteen inch (14") line in National Trails Highway bordering the east side of the project. We should be able to connect into the future tracts to our north and west. Victor Valley Water District (VVWD) prepared a Water Assessment Report to properly determine the extent of the infrastructure water needs for this project.

There has been no indication from VVWD of a possible Reclaimed or Recycled water system to be utilized for irrigation or other non-potable uses.

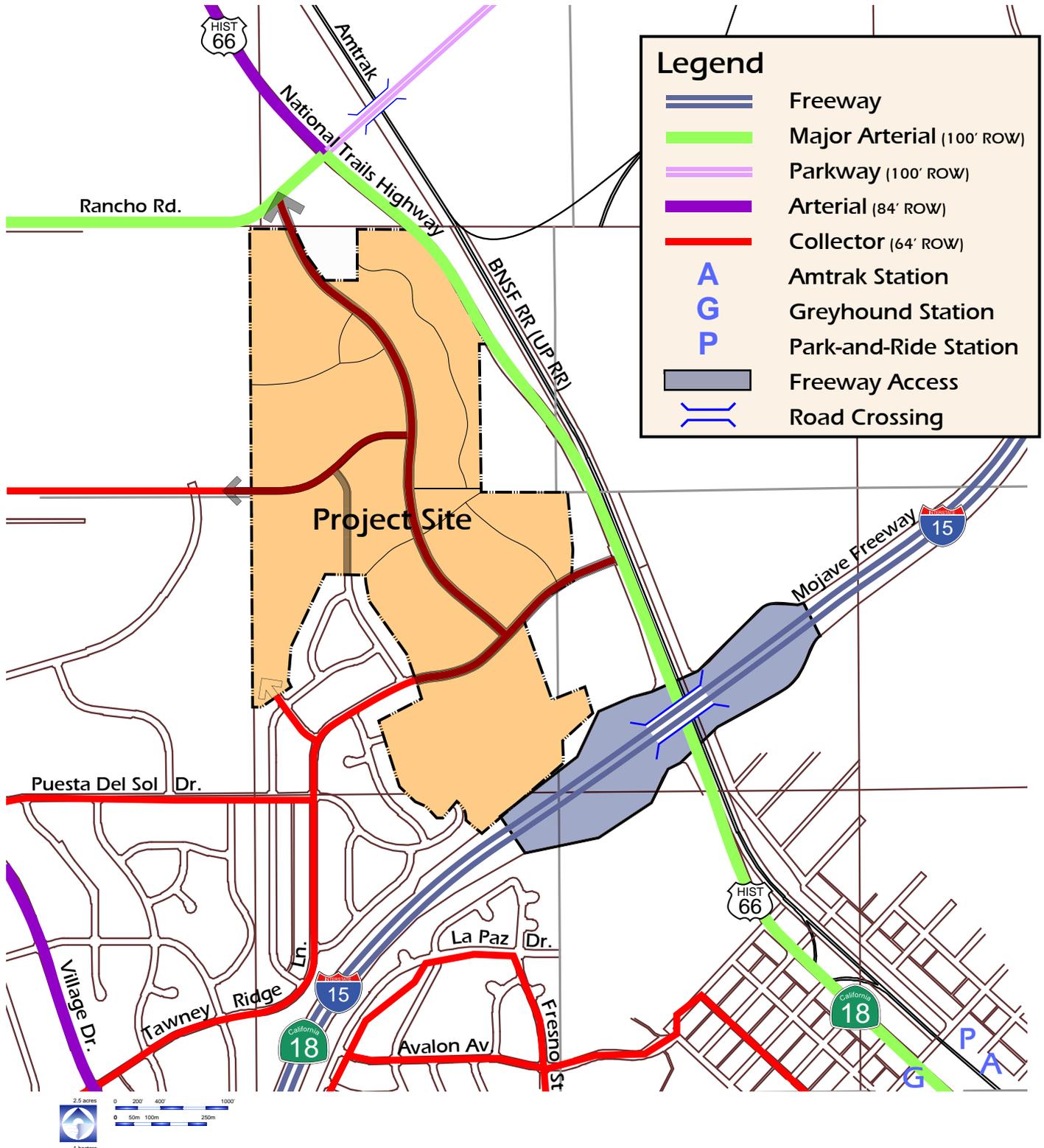
See Figure 4-4 conceptual water plan

Sewer

3. The Mojave Vistas Specific Plan is within the City of Victorville service area. Currently there is a ten inch (10") trunk sewer installed within the future alignment of Tawney Ridge Lane which runs easterly through the south half of project. Due to the topography of the site, the southern portion of the project will be able to be serviced by this system. The remaining portion will be serviced by a sewer main that is being planned as part of the Tract 14863 located along the westerly boundary. The project may be phased so that the southern portion is constructed first, allowing the northern portion to be built after the infrastructure for Tract 14863 is in place. A conceptual master sewer plan for the project site is illustrated in Figure 4-5. A phasing plan is illustrated in Figure 7-1.

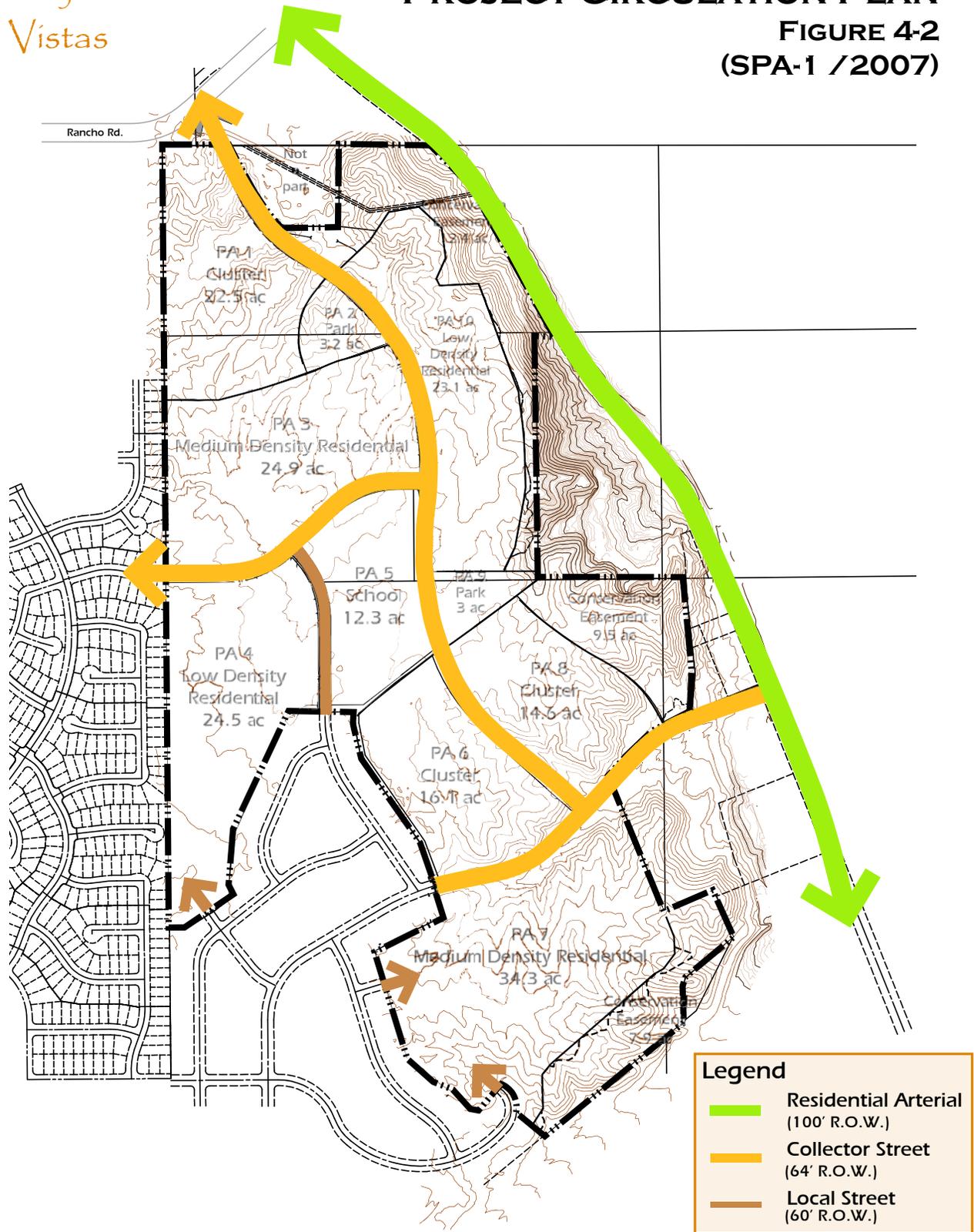
GENERAL PLAN CIRCULATION

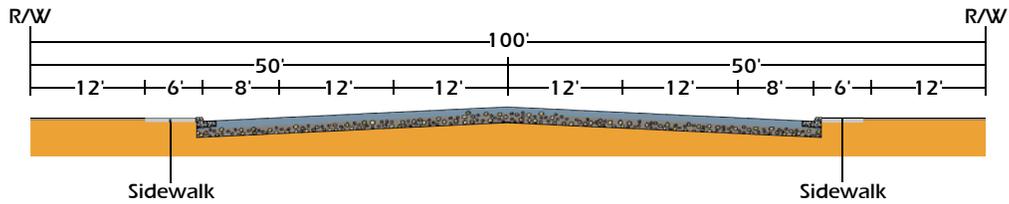
FIGURE 4-1



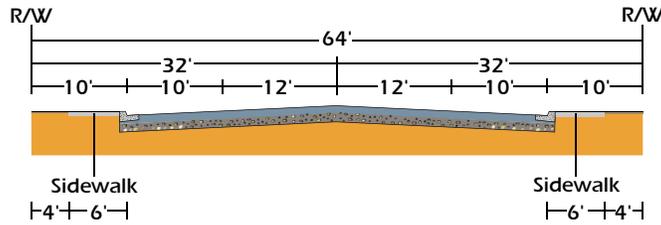
PROJECT CIRCULATION PLAN

FIGURE 4-2
(SPA-1 / 2007)

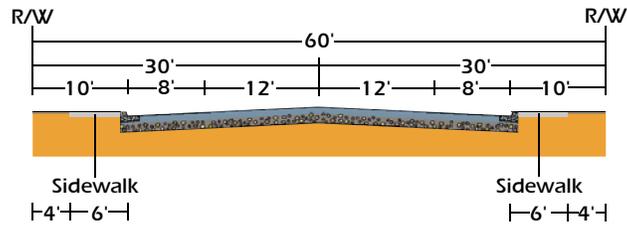




Major Arterial
(National Trails Highway/off-site)



Collector
(Tawney Ridge Lane and Internal Collectors)



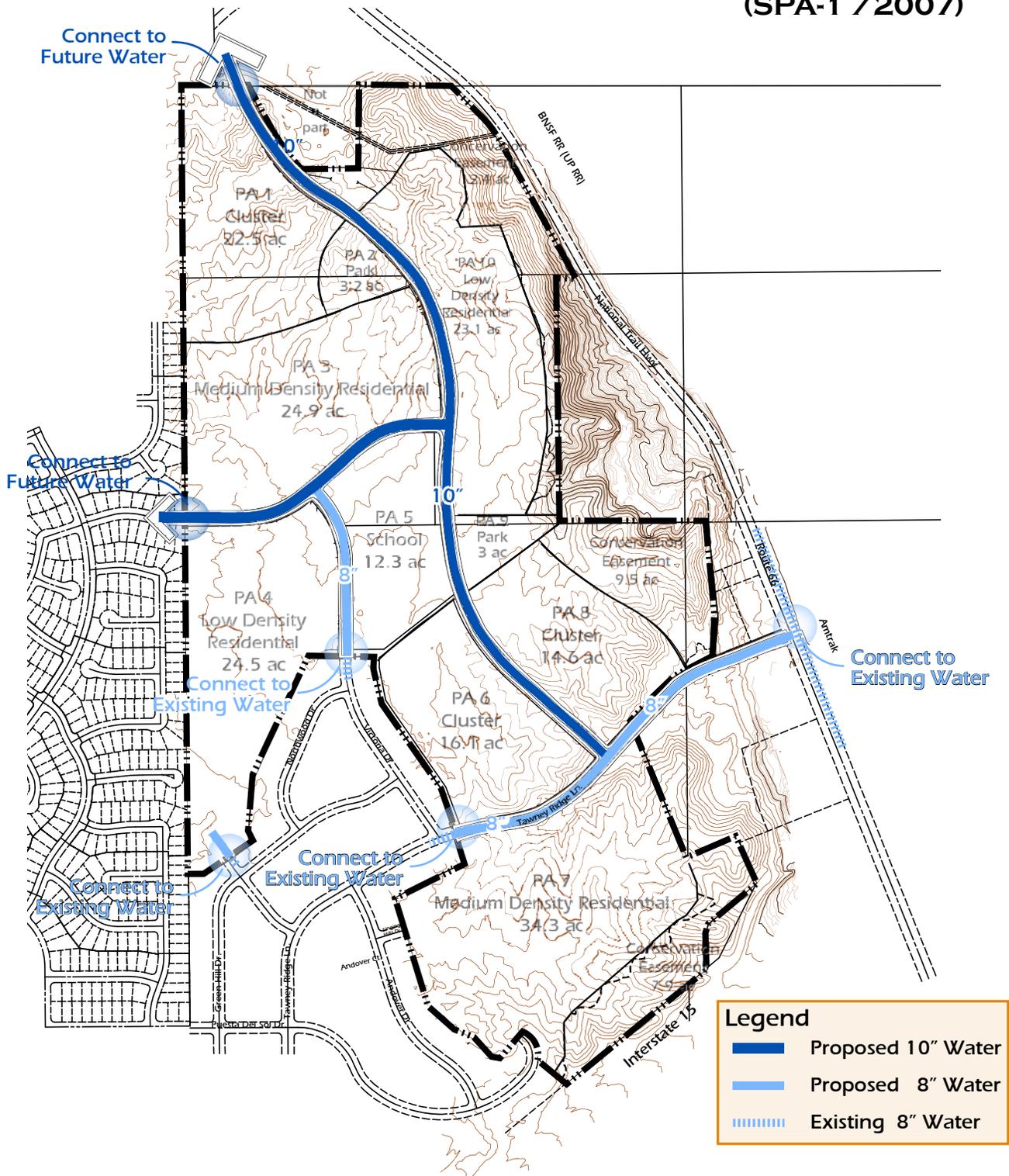
Local
(Neighborhood Streets)

4.3 DRAINAGE Drainage Plan

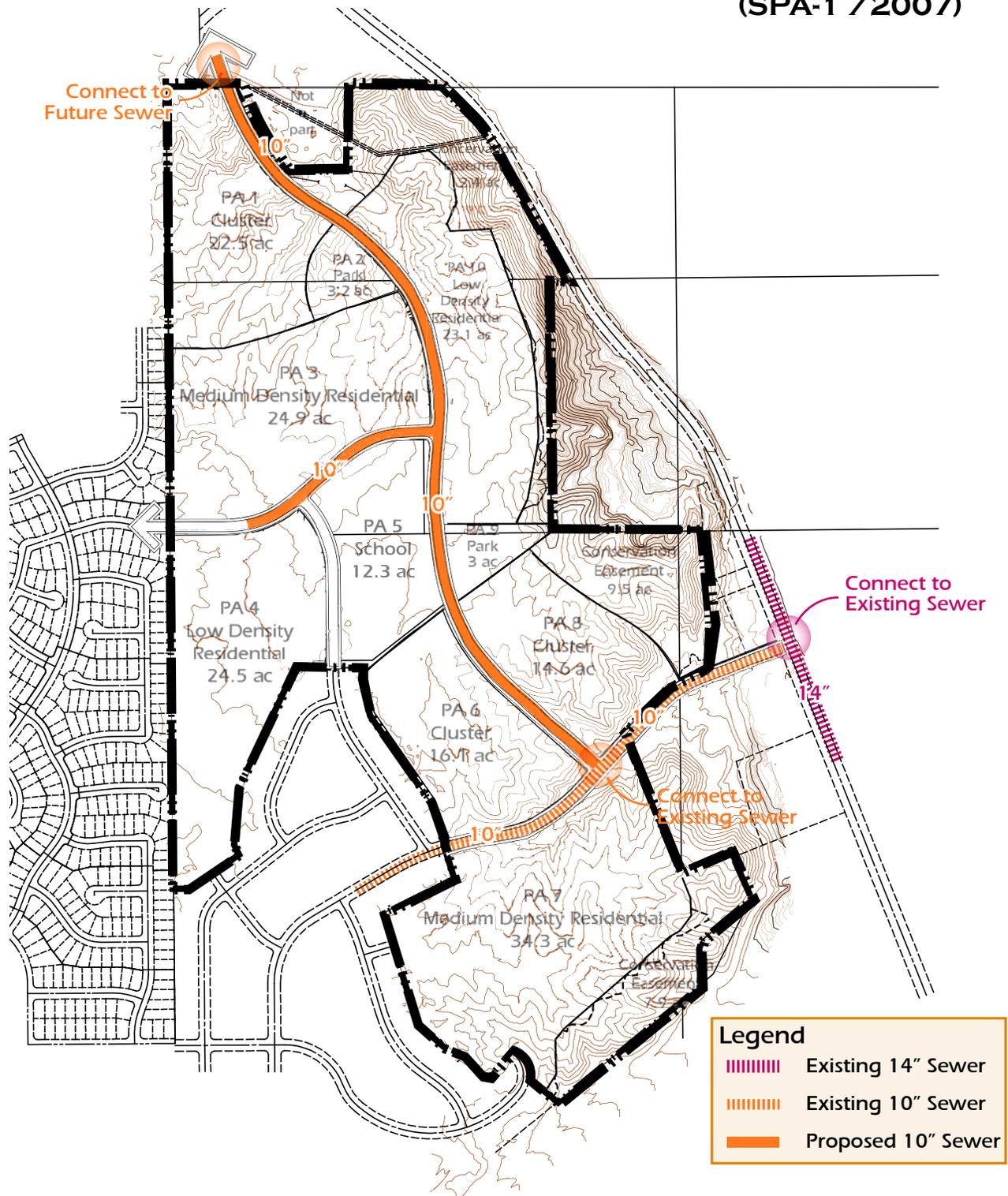
The proposed project will include a total of ten (10) planning areas that consists of residential, school, park and open space land use types. The proposed project will provide flood control facilities to intercept and convey off-site and on-site drainage areas to existing drainage facilities located within National Trail highway/Route 66. The contours indicate that the general flow direction is in the easterly direction. The runoff emanating from the project site ultimately discharges into the Mojave River located immediately east of the project site. The existing flow rates off-site will be maintained, no additional off-site flows will result from this project .

Planning Areas 1-5 and 9-10 will drain to the detention basin prior to being discharged to the adjacent property located northeast of the project site. The runoff will be conveyed to the existing water course that discharges into the Mojave River. Planning Areas 6—8 will be collected within subsurface storm drain facilities. The proposed storm drain will be discharged into the existing storm drain located on the east side of National Trail highway/Route 66. The existing facility is multiple-box crossing that traverse the railroad right-of-way. On the east side of the railroad right-of-way the multiple-box crossing discharges into an earthen channel that discharges into the Mojave River.

Figure 4-6 shows the proposed infrastructure alignments that will be required for the project site. In addition, the exhibit shows the location of one proposed detention basin. The exhibit also shows the existing storm drain facilities within the area. Currently the reconnaissance study performed for the project indicated that there is a



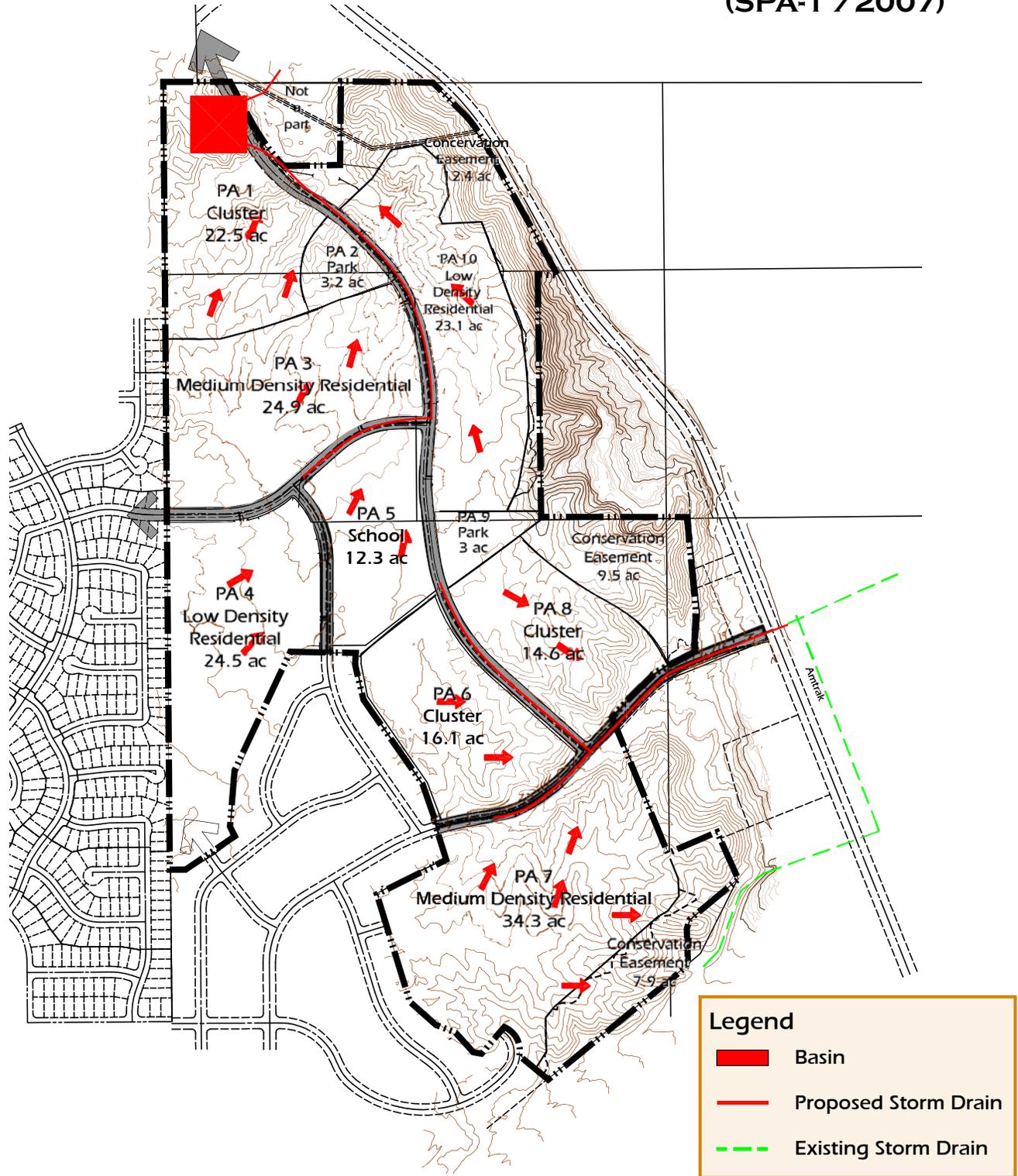
SEWER PLAN
FIGURE 4-5
(SPA-1 / 2007)



DRAINAGE PLAN

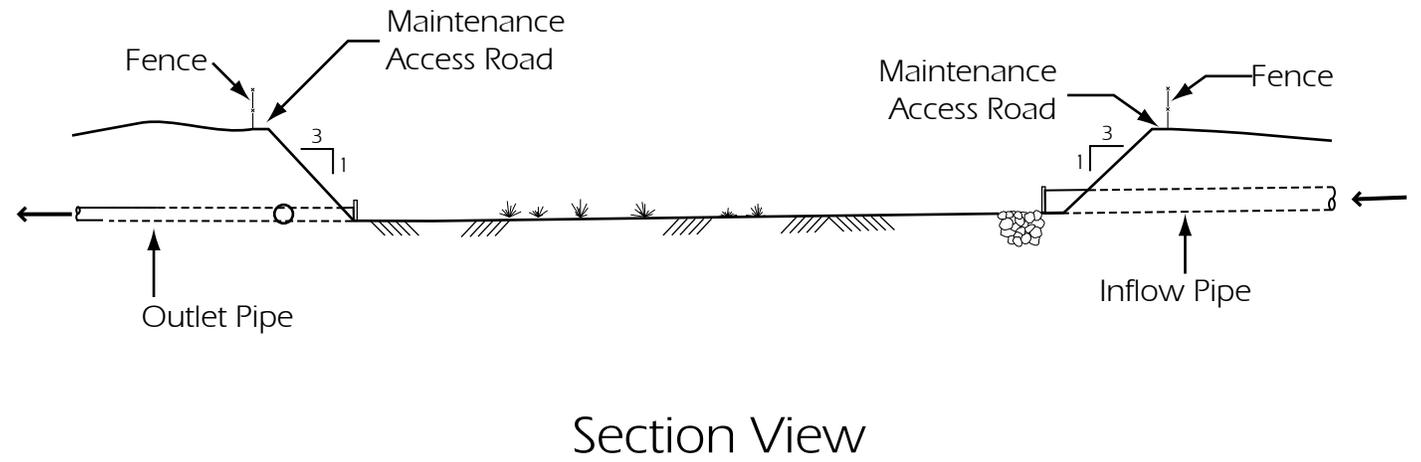
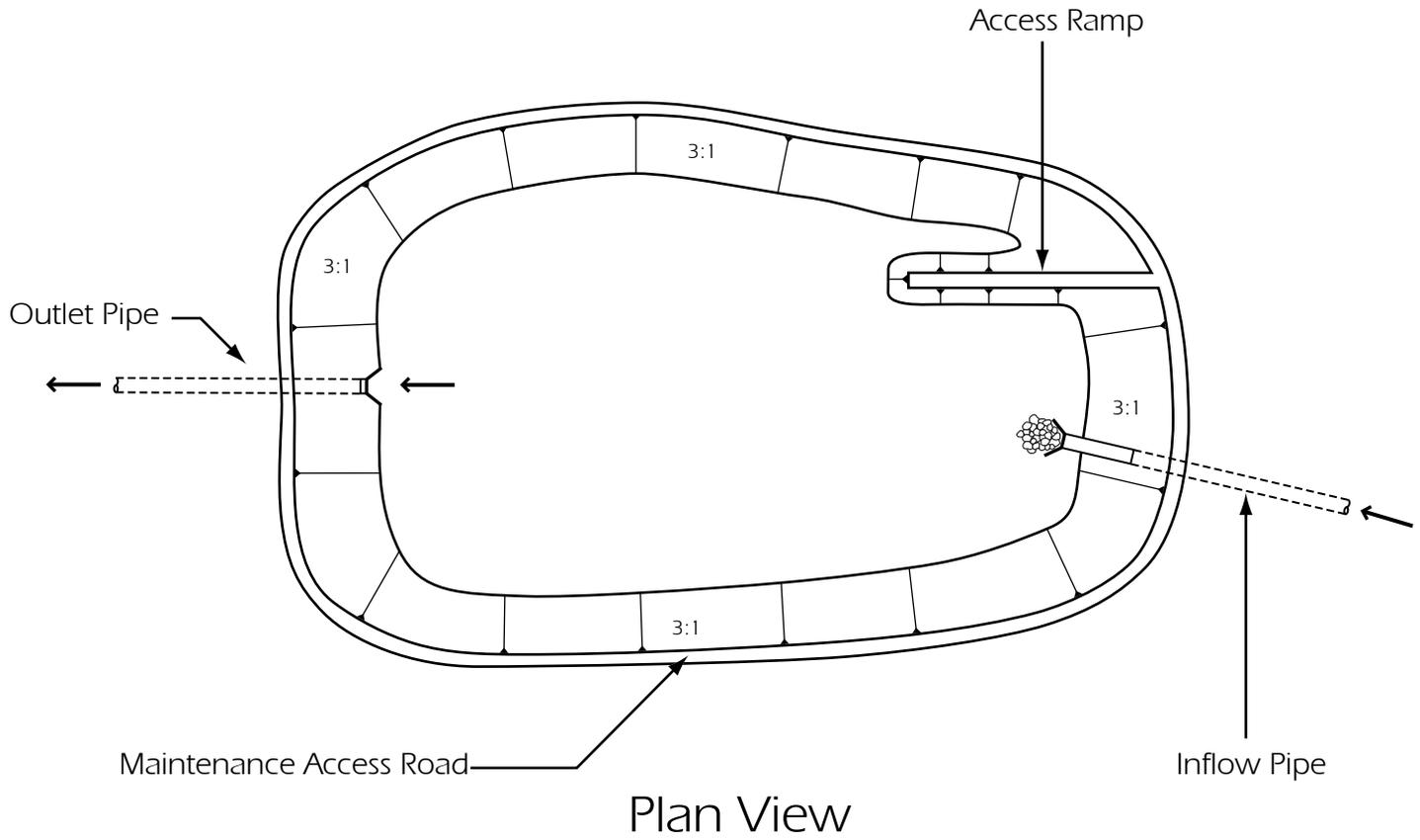
FIGURE 4-6

(SPA-1 / 2007)



CONCEPTUAL DETENTION BASIN

FIGURE 4-7



subsurface and channel system along Interstate 15 that intercepts runoff from the southerly limits of the project site. A major channel system is located on the east side of National Trail highway/Route 66. The proposed project will utilize these existing facilities.

The proposed project is not located within a flood hazard area identified by the Federal Emergency Management Agency (FEMA).

Pursuant to requirements of the State Water Resources Board, a state-wide construction permit will apply to all construction activities. The developer or builder shall obtain the appropriate NPDES construction permit prior to commencing grading activities. All development within the Specific Plan boundaries shall be subject to future requirements adopted by the City/County to implement the NPDES program.

4.4 GRADING

The grading concept is designed to minimize grading onsite and to accommodate drainage, utility and road circulation systems that comply with city standards. All grading shall be done in compliance with the City of Victorville's grading standards. Prior to any development within any Planning Area of the Specific Plan, an overall grading plan for the area shall be submitted and processed through the City of Victorville for approval. Grading procedures and Best Management Practices shall be employed, where feasible, to limit erosion and sedimentation as well as to limit source pollution onsite. Prior to grading or ground disturbing activities exceeding one acre (1 Ac), the required NPDES permit coverage shall be obtained.

See Figure 4-8 conceptual grading plan.

4.5 UTILITIES

Utilities to the site will be provided by the following companies:

Electric: Southern California Edison

Gas: Southwest Gas Corporation

Television: Charter Cable

Telephone: Verizon

All service lines, conduits, cabling and piping shall be located underground and within the public rights of way, private streets or in recorded easements.

4.6 PUBLIC FACILITIES AND SERVICES

The following information is a summary of the public services to be provided to the Mojave Vistas Specific Plan.

Solid Waste and Recycling

The project area's solid waste pick up and recycling is provided by Victorville Disposal. Curbside recycling will be required for the project to reduce the amount of solid waste.

Police and Fire

Police: The City of Victorville contracts with the County of San Bernardino Sheriff's Department for law enforcement services. The Sheriff's station is located approximately four to five (4 -5) miles south of the project site.

Fire: The City of Victorville Fire Department provides fire protection services to the project area. City of Victorville's ideal ratio is one (1) firefighter per one thousand (1,000) persons with a five (5) minute response time. The closest fire station to the project area is located at the County Fairgrounds three to four (3 - 4) miles from the project site across I-15. A fire station site approximately one half acre (1/2 Ac) in size will be

provided within the Mojave Vistas community, the exact location will be determined at a later date and incorporated into the appropriate Tentative Tract Map.

Public Schools

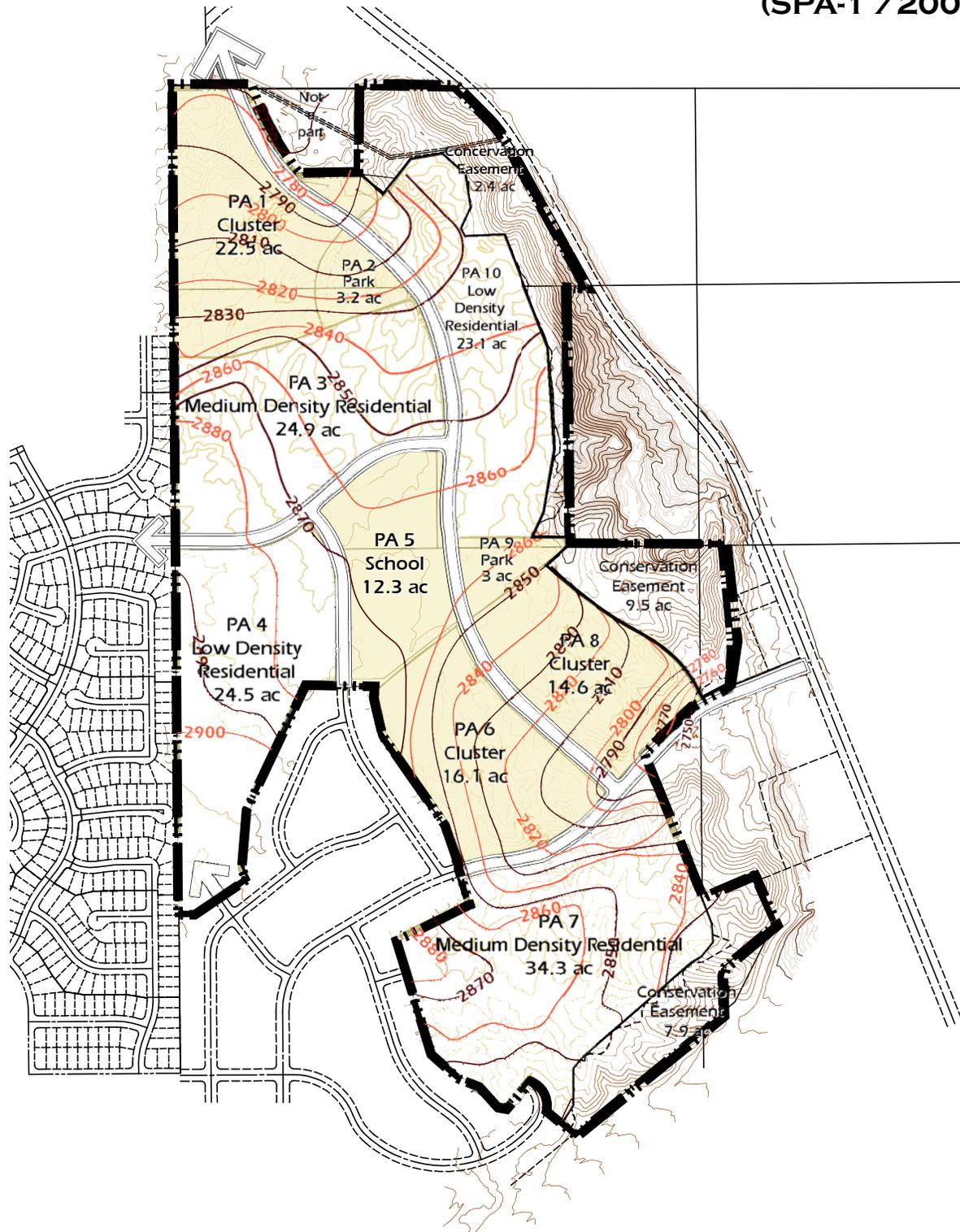
The project site is within the Victor Elementary School District (VESD) and the Victor Valley Union High School District (VVUHSD). The project is proposing to provide a twelve point three acre (12.3 Ac) elementary school site. (Planning Area 5) *(SPA-1/2007)*

Paseos and Enhanced Parkway Connections

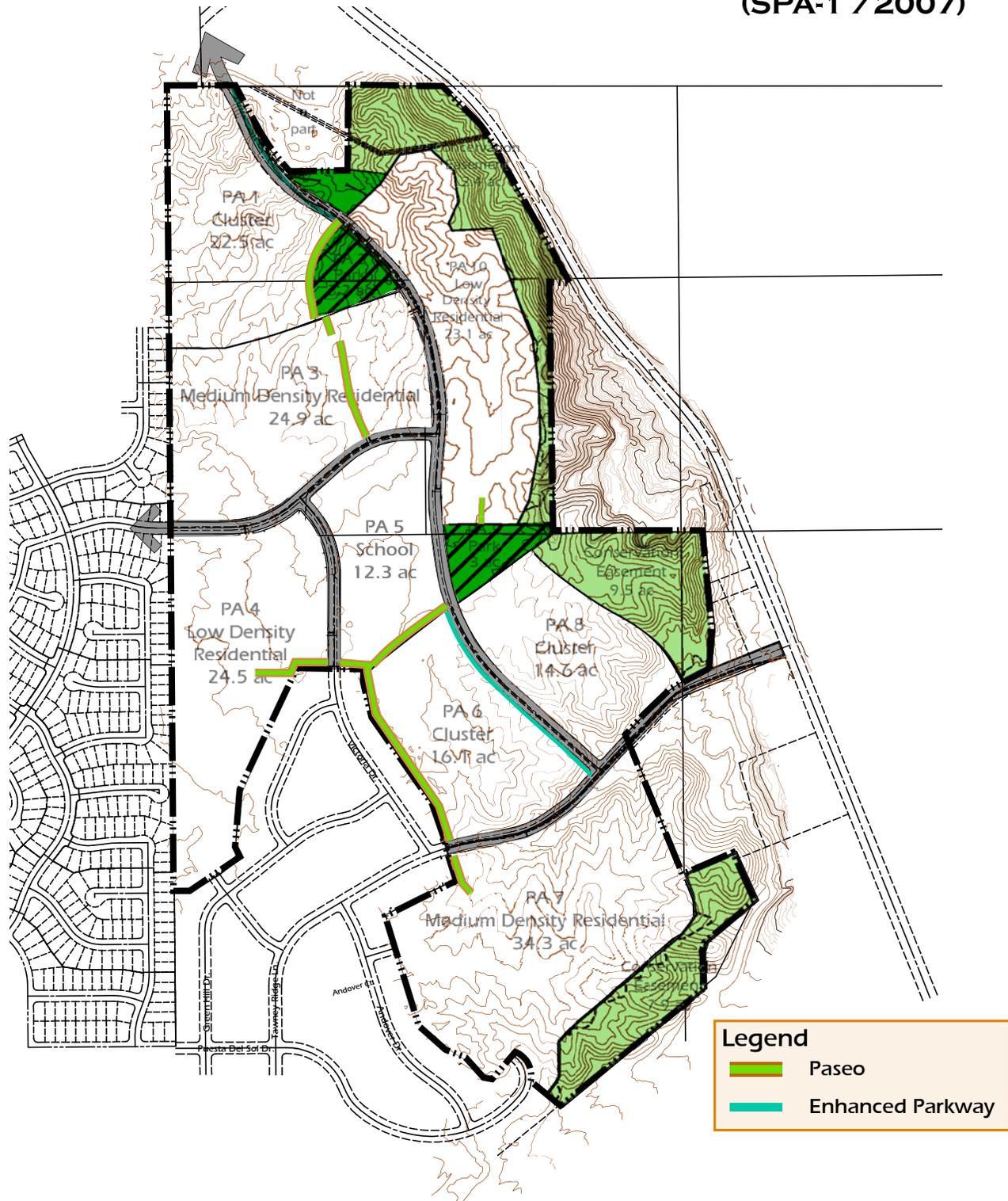
The Specific Plan incorporates paseos (with concrete paths) and enhanced parkways that provide for pedestrian access through the project. The paseos and enhanced parkways link the residential neighborhoods with the parks, school and open space areas. Sidewalks along streets will provide pedestrian connections where paseos and enhanced parkways are not feasible. See Figures 4-9 and 4-10.

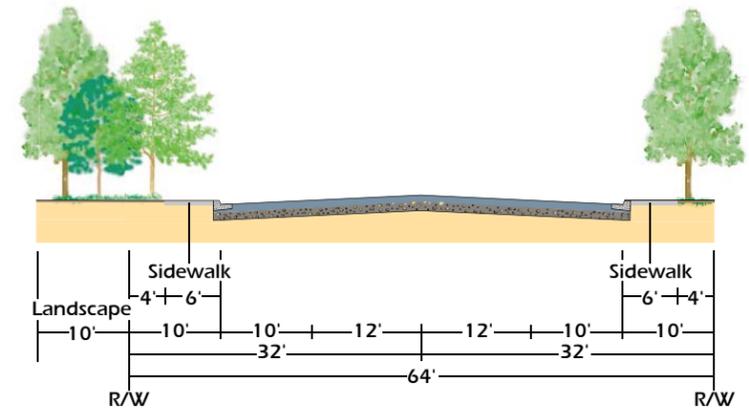
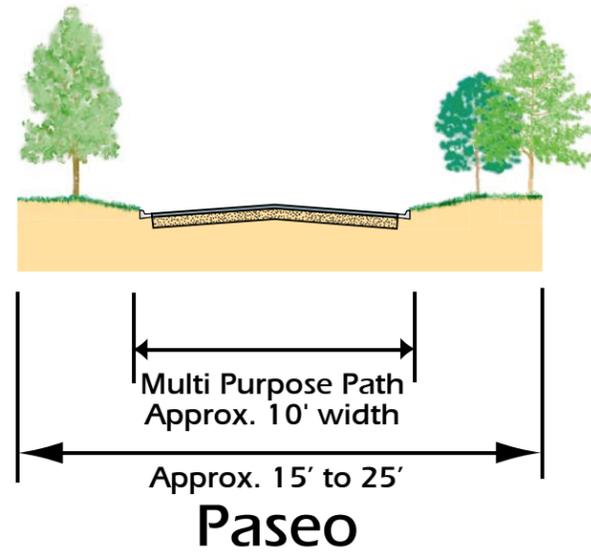
CONCEPTUAL GRADING PLAN

FIGURE 4-8
(SPA-1 / 2007)

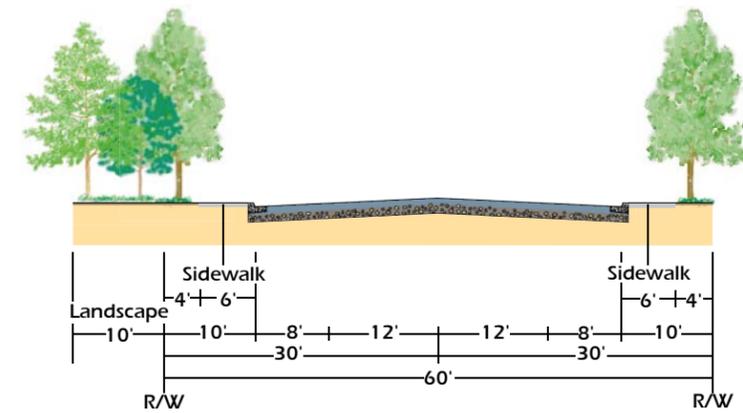
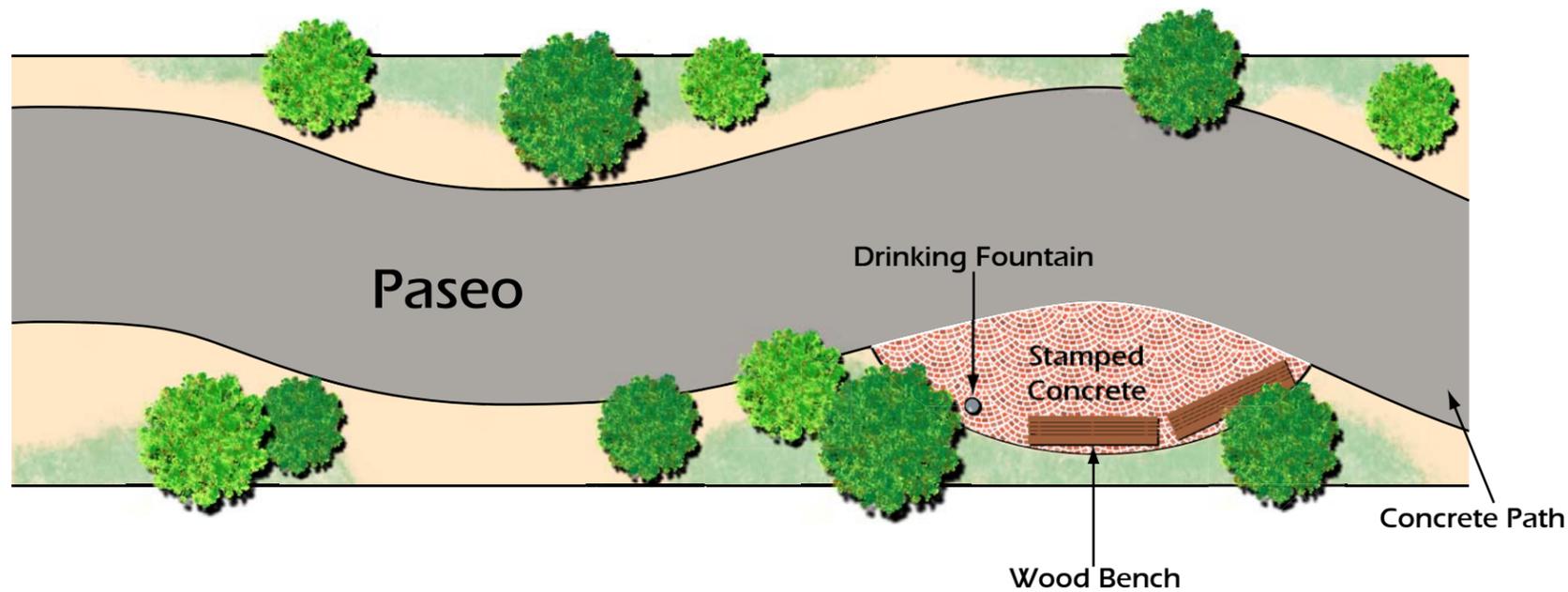


PASEO/TRAIL SYSTEM
FIGURE 4-9
(SPA-1 / 2007)





Collector with Enhanced Parkway



Local with Enhanced Parkway

5. Development Standards

5.1 PURPOSE AND OBJECTIVES

The Mojave Vistas Specific Plan conforms to the City of Victorville Specific Plan Zone (SP) requirements. The Zoning Ordinance of the City of Victorville describes the purpose and objectives as follows:

The purpose of this section is to establish land use and development standards to be used within the Mojave Vistas Specific Plan. The Specific Plan accommodates residential, park, school and open space land uses. It is the intent of these regulations to be specific enough to establish a long term level of standards for the project, and to accommodate the changing community needs, which allows for an innovative community design and neighborhood mix. The regulations within the Specific Plan shall replace the base zoning and the applicable development standards and take precedence over the City of Victorville Zoning Ordinance. Where the Specific Plan is silent regarding a standard within the Zoning Ordinance, the Zoning Ordinance standard shall apply.

The objectives of the regulations are to:

- a. *Promote and protect public health, safety and welfare*
- b. *Provide flexibility in site design, density and housing options*
- c. *Achieve interest, individuality and character among residential neighborhoods*
- d. *Ensure the timely provision of public services and facilities consistent with the demand for such services*
- e. *Appropriately direct new growth and development in the process of implementing the General Plan*

5.2 RESIDENTIAL

The single family residential (planning areas 1, 3, 4, 6, 7, 8, and 10), will be devoted to single family detached residential development for entry-level, move up, seniors and other housing markets.

5.2.1 Planning Areas 4, & 10 Permitted Uses

The following uses are permitted in the R-1 6,000 Planning areas 4, & 10:

- a. Single family dwellings detached
- b. Child care not to exceed the child limits of a large family day care as specified in Title 22 of the California Administrative Code and licensed by the California Department of Social Services
- c. Flood control facilities
- d. Open space (conservation areas)
- e. Public and private neighborhood or community non-commercial recreation centers and facilities including, but not limited to swimming pools, tennis courts, clubhouse, and trails
- f. Recreation center, park playground, unlighted game court, swim club
- g. Uses and structures customarily incidental or necessary for residential uses including, but not limited to garages, public and private parks, trails, greenbelts and common areas.

Conditional Uses

The following uses are permitted in the R-1 6,000 residential area with a Conditional Use Permit:

- h. Churches
- i. Micro antennas, cellular phones and the like (mounted to light standards)
- j. Public facilities (i.e. fire / police stations
- k. Public utilities facilities

I. Schools private and public

Development Standards

1. Lot Area

The minimum lot area shall be six thousand square feet (6,000 sf).

2. Lot Width

The minimum lot width shall be sixty feet (60'), sixty-five feet (65') for corner lots, thirty-five feet (35') on knuckles and cul-de-sacs, and forty-five feet (45') at building setback for curvilinear streets. The width of such lots shall be sixty feet (60') measured on a line tangent to the required yard.

3. Lot Depth

The minimum lot depth shall be ninety feet (90').

4. Front Yard Setback

The minimum front yard setback for living areas shall be fifteen feet (15') to living area.

5. Interior Side Yard Setback

- a. The minimum interior side yard setback shall be five feet (5') each side.
- b. Design shall incorporate privacy for all homeowners.
- c. Minimum distance between structures of ten feet (10').

6. Street Side Yard Setback

The minimum street side yard setback shall be ten feet (10').

7. Front or Side Entry Garage Setback

The minimum front or side entry garage setback with roll-up garage doors, shall be seventeen feet (17') to the garage.

8. Rear Yard Setback

The minimum rear yard setback shall be fifteen feet (15') measured from lot line. Encroachment of patios, trellises, balconies, etc into the rear yard setback should be no more

than nine feet (9').

9. Personal Recreation Area

There should be a minimum of fifteen hundred square feet (1,500 sf) of recreational living area per lot. Personal Recreation Area includes: front, side and rear yard areas that are a minimum of five feet (5') that are non-paved or concrete. Balconies, porches or roof decks may be considered usable open space when properly developed for work, play or outdoor living areas.

10. Maximum Lot Coverage

The maximum lot coverage shall be fifty percent (50%).

11. Height Limit

The maximum height limit shall be thirty-five feet (35') or two (2) stories measured from graded pad.

12. Density

The maximum density for Planning Areas 4, and 10 shall not exceed four and one half units per acre (4.5 DU/Ac).

13. NOTE

A buffer has been placed between Planning Area 10 and the adjacent heavy industrial land use utilized by Service Rock. The buffer will consist at a minimum of a conservation easement approximately one hundred feet (100') deep, and may include water detention /retention facilities, landscaping or natural vegetation. The exact width and type of buffer will be determined at the Tentative Map stage, the buffering shall be subject to Director of Development review and approval. Should elevational changes between the two (2) uses provide a natural separation/buffer as determined by the City additional buffering will not be necessary. Planning areas 1 and 10 are located approximately twenty to fifty feet (20—50') above the "Stathis" property.

5.2.2 Planning Areas 3 & 7 Permitted Uses

The following uses are permitted in the R-1 5,500 Planning areas 3 & 7:

- a. Single family dwellings detached
- b. Child care not to exceed the child limits of a large family day care as specified in Title 22 of the California Administrative Code and licensed by the California Department of Social Services
- c. Flood control facilities
- d. Public and private neighborhood or community non-commercial recreation centers and facilities including, but not limited to swimming pools, tennis courts, clubhouse, and trails
- e. Recreation center, park playground, unlighted game court, swim club
- f. Uses and structures customarily incidental or necessary for residential uses including, but not limited to garages, public and private parks, trails, greenbelts and common areas.

Conditional Uses

The following uses are permitted in the R-1 5,500 residential area with a Conditional Use Permit:

- g. Churches
- h. Micro antennas, cellular phones and the like (mounted to light standards)
- i. Public facilities (i.e. fire / police stations)
- j. Public utilities facilities
- k. Schools private and public

Development Standards

1. Lot Area

The minimum lot area shall be five thousand five hundred square feet (5,500 sf).

2. Lot Width

The minimum lot width shall be fifty feet (50'), sixty feet (60') for corner lots, thirty feet (30') on knuckles and cul-de-sacs, and forty feet (40') at

building setback for curvilinear streets. The width of such lots shall be fifty feet (50') measured on a line tangent to the required yard.

3. Lot Depth

The minimum lot depth shall be ninety feet (90').

4. Front Yard Setback

The minimum front yard setback for living areas shall be fifteen feet (15').

5. Interior Side Yard Setback

- a. The minimum interior side yard setback shall be five feet (5') each side.
- b. Design shall incorporate privacy for all homeowners.
- c. Minimum distance between structures of ten feet (10').

6. Street Side Yard Setback

The minimum street side yard setback shall be ten feet (10').

7. Front or Side Entry Garage Setback

The minimum front or side entry garage setback with roll-up garage doors, shall be seventeen feet (17') to the garage.

8. Rear Yard Setback

The minimum rear yard setback shall be fifteen feet (15') measured from lot line
Encroachment of patios, trellises, balconies, etc into the rear yard setback should be no more than nine feet (9').

9. Personal Recreation Area

There should be a minimum of one thousand three hundred fifty square feet (1,350 sf) of recreational living area per lot. Personal Recreation Area includes: front, side and rear yard areas that are a minimum of five feet (5') that are non-paved or concrete. Balconies, porches or roof decks may be considered usable open space when properly developed for work, play or outdoor

living areas.

10. Maximum Lot Coverage

The maximum lot coverage shall be fifty percent (50%).

11. Height Limit

The maximum height limit shall be thirty-five feet (35') or two (2) stories measured from graded pad.

12. Density

The maximum density shall not exceed five units per acre (5.0 DU/Ac).

13. Slopes

Along PA 7 (Tawney Ridge Lane) 2:1 slopes may be required that will be landscaped and designed equivalent with or superior to the design guidelines contained herein. Please refer to exhibit 6-8. *(SPA-1/2007)*

5.2.3

Planning Areas 1, 6 & 8 Permitted Uses

The following uses are permitted in the Cluster Development in Planning areas 1, 6 & 8:

- a. Single family dwellings attached
- b. Single family dwellings detached
- c. Condominium developments
- d. Townhomes for-sale or for-rent
- e. Child care not to exceed the child limits of a large family day care as specified in Title 22 of the California Administrative Code and licensed by the California Department of Social Services
- f. Multiple dwellings
- g. Flood control facilities
- h. Open space (conservation areas)
- i. Public and private neighborhood or community non-commercial recreation centers and facilities including, but not limited to swimming pools, tennis courts, clubhouse, and trails
- j. Recreation center, park playground, unlighted game court, swim club
- k. Uses and structures customarily

incidental or necessary for residential uses including, but not limited to garages, public and private parks, trails, greenbelts and common areas.

Conditional Uses

The following uses are permitted in the R-1 5,500 residential area with a Conditional Use Permit:

- l. Churches
- m. Micro antennas, cellular phones and the like (mounted to light standards)
- n. Public facilities (i.e. fire / police stations)
- o. Public utilities facilities
- p. Schools private and public

Development Standards

1. Lot Area

The minimum lot area shall be five thousand square feet (5,000 sf).

2. Lot Width

The minimum lot width shall be forty-five feet (45'). Minimum lot width (in the event of horizontal property regimes, "lot" shall refer to the width of the structure and exclusive use area.)

3. Lot Depth

None, except it shall be ninety feet (90') if adjacent to a major arterial or collector.

4. Perimeter Building Setback

The minimum perimeter building setback; Street (front, rear or side): shall be fifteen feet (15') in addition to landscape setback; Property line (rear) fifteen feet (15') 1 story, twenty feet (20') 2 story; Property line (side) ten feet (10') 1 story, fifteen feet (15') 2 story.

5. Interior Building Setback

- a. Front—ten feet (10')
- b. Rear—none
- c. Street side—ten feet (10')
- d. Sides—none

6. Building Separation

Development Standards 5-4

None

7. Garage Setback

The minimum garage setback with roll-up garage doors, shall be eighteen feet (18') for front loaded garages. Ten feet (10') from property line for side loaded garages.

8. Common Areas

Common areas should be a minimum of five percent (5%) of the gross area.

9. Maximum Lot Coverage

The maximum lot coverage shall be fifty percent (50%).

10. Height Limit

The maximum height limit shall be thirty-five feet (35') or two (2) stories measured from graded pad.

11. Density

The maximum density shall not exceed nine units per acre (9.0 DU/Ac).

12. Parking

Two (2) spaces per unit ,plus one (1) non-exclusive space per unit to be located within one hundred fifty feet (150') of the cluster as measured from curb line at the intersection of the public street or private accessway and the shared drive. Minimum of three (3) total spaces per unit.

13. NOTE

An enhanced parkway with an additional ten feet (10') of landscaping will be provided along Mojave Vistas Drive immediately adjacent to Planning Area 1. This enhanced parkway will provide a landscaped buffer to the residences in Planning Area 1 from the heavy industrial site run by Service Rock located to the east. The buffering for Planning Area 1 shall be subject to Director of Development review and approval.

**SINGLE FAMILY RESIDENTIAL
DEVELOPMENT STANDARDS**

TABLE 5-1

Planning Area(s)	1, 6, & 8	3 & 7	4 & 10
Minimum Lot Area	5,000 sq.ft. Clusters	5,500 sq.ft.	6,000 sq.ft.
Lot Width	45' minimum	50' minimum, 60' corner lots, 30' knuckles and cul-de-sacs, 40' curvilinear streets*	60' minimum, 65' corner lots, 35' knuckles and cul-de-sacs, 45' curvilinear streets*
Lot Depth	None, 90' minimum if adjacent to major arterial or collector	90' minimum	90' minimum
Front Yard (Living Area) Setback	(perimeter building setback) Street or Rear Property line: 15' minimum: Side Property line: 10'	15' minimum	17' minimum
Interior Side Yard Setback	(Interior building setback) Front 10': Rear and side none	Total of 10' minimum 5' each side	Total of 10' minimum 5' each side
Street Side Yard Setback	10' Minimum	10' Minimum	10' Minimum
Front or Side Entry Garage Setback	18' front loaded, 10' side loaded	15' minimum, average 18' requires roll-up garage	18' minimum, average 20' requires roll-up garage
Rear Yard Setback Measured from lot line	15' Minimum	15' Minimum	15' Minimum
Recreational Living Area	Common area 5% of gross area	1,350 sf	1,500 sf
Maximum Lot Coverage	50%	50%	50%
Height Limit	35' max. from graded pad	35' max. from graded pad	35' max. from graded pad
Density	9.0 DU	5.0 DU	4.5 DU

* minimum at building setback for curvilinear streets

5.3 SCHOOL Planning Area 5

The Elementary School within the Mojave Vistas project is centrally located to be within walking distance for students.

Permitted Uses

The following uses are permitted in the school area:

- a. Schools, public or private
- b. Library
- c. Accessory uses as required for schools determined by the Victor Elementary School District.

Conditional Uses

The following uses are permitted in the School area with a Conditional Use Permit:

- d. Community center, including interim sales and real estate information facilities
- e. Museums and nature study centers
- f. Retention / detention basins
- g. Pedestrian and bicycle trails
- h. Public and private parks, greenbelts and common areas
- i. Public facilities (i.e. fire / police stations)
- j. Utility transmission lines, and switching facilities

Development Standards

1. Lot Area

The minimum lot area shall be twelve acres (12 Ac) for an elementary school.

2. Maximum Lot Coverage

The maximum lot coverage shall be fifty percent (50%).

3. Off- Street Parking

The parking shall be developed in accordance with the Victorville Municipal Code.

4. Lighting

All lighting, exterior and interior,

shall be designed and located to minimize power consumption and to minimize off-site light spillage.

5. Trash and Storage Areas

All storage, including cartons, containers and trash, shall be shielded from view within a building or area enclosed by a block wall not less than six feet (6') in height and must be covered to prevent animal intrusion.

5.4 PARKS OVERLAY

Planning Areas 2 & 9

The parks within the Mojave Vistas project shall be dedicated to the Community Services Department (Parks) serving the local community. The active parks will enhance Mojave Vista's sense of community, by creating areas for residents to gather and enjoy the outdoors. Public park areas may include but are not limited to a minimum of two (2) or more of the following amenities:

Soccer fields
Baseball fields
Softball fields
Open or "free play" area
Paved multi-purpose courts (i.e. basketball and/or handball)
Picnic areas and shade structures
Play apparatus area (i.e. tot lots, climbing structures)

Permitted Uses

The following uses are permitted in the parks Planning Areas 2 & 9:

- a. Nature study area
- b. Public and private parks, greenbelts and common areas
- c. Pedestrian, bicycle trails
- d. Rest stop
- e. Restroom facilities
- f. Public utilities facilities
- g. Flood control facilities
- h. Trails (Hiking, walking)
- i. Single Family Residential—R-1 5,500 overlay (The maximum

density for this site shall not exceed five units per acre (5 DU/Ac.) *This would only be allowed, In the event the school district does not require the school site, the school site would then be utilized for a City park and the two (2) active parks would revert to residential uses. The residential for these planning areas would be per the development standards of the R-1 5,500 residential in Planning areas 3, &7.(A Specific Plan Amendment would be required to allow additional units above the number of total units approved in the Mojave Vistas Specific Plan.)*

Conditional Uses

The following uses are permitted in the Park areas with a Conditional Use Permit:

- j. Public facilities (i.e. fire / police stations)

Development Standards

Subject to review by the City of Victorville at the time of submittal.

5.5 CONSERVATION EASEMENTS

The conservation easement areas within the Mojave Vistas project area shall be dedicated as open space. The open space may provide opportunities for hiking trails, benches, view points, water quality or flood control facilities and natural or revegetated open space. Access will be required to allow for emergency services and /or maintenance of the conservation areas. [\(SPA-1/2007\)](#)

Conservation areas will be maintained by an entity acceptable to the City of Victorville including but not limited to a Landscape Maintenance Assessment District (LMAD), Drainage Facilities Assessment District (DFAD), a

Mojave Vistas—Specific Plan

August 2006

Community Facilities District (CFD), private ownership or Home Owners Association (HOA). Prior to recordation of individual tract's a Homeowners' Association or similar entity per above will be established and recorded for the purpose of perpetual maintenance of the adjoining conservation easement areas, subject to City review and approval.

Permitted Uses

The following uses are permitted in the Conservation Easement areas:

- a. Natural open space
- b. Graded/Revegetated open space
- c. Hiking trails
- d. Seating areas, benches
- e. Scenic view points
- f. Landscape buffers

[\(SPA-1/2007\)](#)

Conditional Uses

The following uses are permitted in the Conservation Easement areas with a Conditional Use Permit:

- g. Public and private parks, greenbelts and common areas
- h. Detention/retention basins
- i. Flood control/water quality facilities

[\(SPA-1/2007\)](#)

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6. Design Guidelines

6.1 COMMUNITY DESIGN

☞ Landscape plans See Chapter 7 Implementation Plan.

6.1.2 Concept

Mojave Vistas will be a contemporary southwest, master-planned residential community with distinct neighborhoods and scenic vistas, centered around an elementary school and connected via a pedestrian system of paseos and trails.

Lifestyle Features Include:
Master-Planned Community

- a. Thematic Architectural Neighborhoods
- b. Master-Planned Landscape Design
- c. Walkable Community via sidewalks and trails
- d. Mojave Vistas Elementary School
- e. Neighborhood Parks—two (2)

6.1.2 Theme

The Project will have a Contemporary Southwest theme based on four distinct styles:

- a. Prairie
- b. California Ranch
- c. Pueblo
- d. Modern

Mojave Vistas will have distinctive architectural styles, landscape design and entry statements to create a sense of place.

6.1.3 Implementation

Prior to the issuance of Building Permits the Builder will prepare and submit detailed architectural plans for City review and approval by the Director of Development. The submittal will include but not be limited to the following:

- ☞ Floor plans, elevations
- ☞ Color and Materials board



Mojave Vistas

The photographs and illustrations included in the Mojave

Vistas Design

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6.2 DEVELOPMENT DESIGN

6.2.1 Goals and Objectives

Development Design:

- Ensure that new homes are constructed in neighborhoods that are interesting and varied in appearance
- Utilize building materials and enhanced landscaping to promote a look of quality, both at the time of initial occupancy, for years to come
- Encourage efficient use of land while creating high quality neighborhoods that will maintain their economic value and long-term desirability as places to live
- Incorporate conveniently located neighborhood parks, trails and open space

6.2.2 Residential Design Standards

- Varied setbacks of the building footprint in a random fashion along the residential street to create interest in the streetscene.
- Architectural design features (e.g. windows, columns, offset roof lines, etc.) shall be used to both vertically and horizontally articulate elevations. These design features shall also be executed on the rear facades and sides of homes to promote continuity of design and attractiveness of views from back yards and exterior roadways.
- Houses and garages shall be arranged in a manner that creates a harmonious, varied appearance of building heights and setbacks. The visual impact of garages shall be reduced by the use of additional setback from the curb face where garage doors face the street, and the use of rear garages (including

detached garages), and/or porte cocheres is encouraged.



Enhanced Streetscape



Neighborhood park and open space



Articulation of building facades

Mojave Vistas

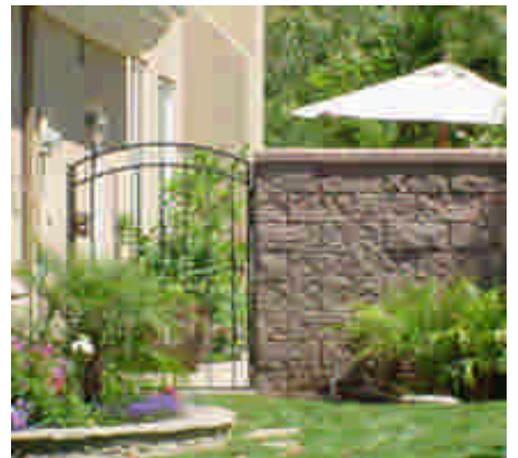
- d. Single story residences should be located on corner lots to improve views.
- e. Exterior elevations of the various plans shall include use of different exterior materials, e.g. stucco, stone, and siding to create diversity, consistent with the architectural style.
- f. Adjacent lots, structures with the same or similar colors of stucco and/or roofs are discouraged. A scheme of color values on all exterior elements, including roofing material, shall be distinct from one (1) house to the next, with deeper tones encouraged to promote variations.
- g. Front yard return walls shall be constructed of masonry (slump stone or material of similar appearance, maintenance and structural durability) and shall be a minimum of five feet (5') in height. Side yard gates are required on one (1) side of front yard and shall be constructed of wrought iron, or tubular steel or as otherwise approved by the Planning Department.
- h. Projects which will include forty (40) or more residential lots shall have a minimum of three (3) distinct floor plans, not including reversed plans. A minimum of one (1) floor plan shall be provided for each additional one hundred fifty (150) lots, or fraction thereof. Each plan shall be designed and constructed with a minimum of three (3) distinct elevations. Adding or deleting false shutters or similar types of minimal design changes shall not suffice as one (1) of the required distinct elevations.
- i. Landscaping shall be consistent with the provisions of Chapter 13.60 of the City of Victorville Municipal Code titled 'Water Conservation'.
Residential garages shall be provided with roll-up (i.e. on tracks) garage doors (either sectional steel or one-piece steel.



Porte Cocheres



Side Entry Garage



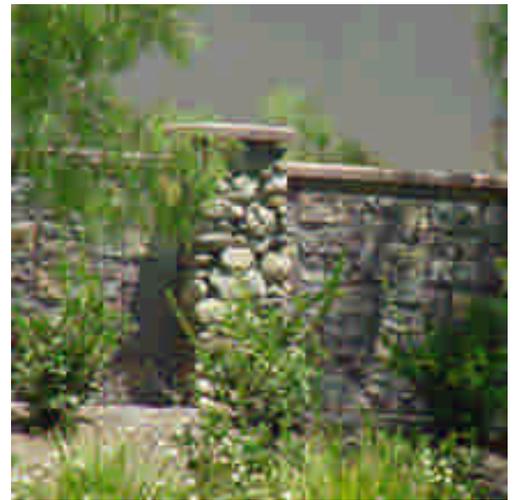
Return Wall with Gate

Mojave Vistas

A minimum of twenty-five percent (25%) of the garage doors in any development shall provide windows.



Roll-up Garage Door



Textured Block with Stone Pilaster



Slump stone Wall

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6.3 ARCHITECTURE

6.3.1 Prairie Style

The prairie style started in Chicago in the early 20th century suburbs. The style was wide spread in the early 20th century suburbs through the country. Most Prairie style was built between 1905 and 1915, the style disappeared after World War I. These buildings are characterized by very low pitched usually hipped roofs extending far beyond the eaves. They can be one or two story structures with covered porches. The style emphasizes horizontal lines, arranged in an outward direction rather than upward. The Mojave Vistas Specific Plan interpretation of this style includes the following elements:

Form

- a. Asymmetrical, outward
- b. Horizontal lines

Roof

- c. Hipped
- d. Low pitch
- e. Extended overhangs

Doors & Windows

- f. Casement-type windows
- g. Strips of windows
- h. Small window panes
- i. Double-hung windows
- j. Window boxes
- k. Entry doors usually on side under porte-cochere
- l. Entry doors rarely front on street

Walls

- m. Stuccoed
- n. Brick banding on stucco
- o. Horizontal board-and-batten siding

Details

- p. Stickwork or brick banding outlining stuccoed walls
- q. Low massing
- r. Square porch supports
- s. Broad flat chimneys



Prairie Style



Low Pitched-Hip Roof
Extended Overhangs



Strips of Windows
Horizontal Board and Batten Siding

- t. Contrasting caps on porch and balcony railings
- u. Contrasting wood trim between stories

6.3.2 California Ranch Style

The Ranch style is also known as American Ranch, Western Ranch, or California Rambler. Although Ranch style homes are traditionally one-story, Raised Ranch (or Split Level) homes may have two levels of living space. Ranch style housing evolved from several other twentieth century ideas:

- ∞ Prairie School
- ∞ Bungalow
- ∞ Cottage
- ∞ Spanish

Traditional Ranch homes reflect a hard-working, simple life and are often considered an expression of the informality of Western culture.

The Mojave Vistas Specific Plan variation on this style includes the following elements:

Form

- a. Asymmetrical, multi-planed surfaces
- b. Squared bays
- c. Horizontal, rambling layout
- d. Long, narrow, and low to the ground
- e. Rectangular, L-shaped, or U-shaped design

Roof

- f. Low pitched gable roof
- g. Collar beams
- h. Cutout brackets
- i. Deep-set eaves

Doors and Windows

- j. Grouped windows
- k. Hipped-roof dormers
- l. Large windows: double-hung, sliding and picture
- m. Sliding glass doors leading out to a patio



Square Porch Supports



Ranch Style



Grouped Windows

Walls

- n. Clapboards
- o. Wood shingle siding

Details

- p. Battered porch piers
- q. Posts
- r. Decorative shutters
- s. Porch-roof supports

6.3.3 Pueblo Style

The Pueblo Style has been popular from 1910 to present day in the Southwest. This architectural style has a flat roof with parapeted wall above, the wall and roof parapet usually have irregular rounded edges. Typically the style includes projecting wooden roof beams (vigas) extending through walls, with stucco wall surfaces in earthtones. The style has the appearance of being hand-built. The Mojave Vistas Specific Plan variation on this style includes the following elements:

Form

- a. Squared

Roof

- b. Flat
- c. Parapet wall above
- d. Irregular rounded edges
- e. Projecting wooded beams (vigas)
- f. Stepped back roof line is often used

Doors and Windows

- g. Multi-pane
- h. Square or rectangular
- i. Lintels
- j. Grouped

Walls

- k. Irregular stuccoed textures
- l. Earth tones

Details

- m. Corners are blunted or rounded
- n. Rough-hewn vigas
- o. Porch supports hand-built appearance



Stepped Roof Line
Rounded Corners



Irregular Stuccoed Textures

6.3.4 Modern Style

The Modern Style was popular from 1935 to Present. The Modern style is typically one story and spread out horizontally. The Modern style has flat or sometimes very slight single pitched roof lines with floor-to-ceiling glass in living areas. The Mojave Vistas Specific Plan variation on this style includes the following elements:

Form

- a. Single story
- b. horizontal

Roof

- c. Flat
- d. Very low single pitch
- e. Asymmetrical
- f. Wide eave overhangs

Doors and Windows

- g. Floor-to-ceiling windows in living areas
- h. Horizontal strips of windows
- i. Main Entry doorway generally from carport into kitchen or utility room
- j. Floor-to-ceiling glass sidelight next to door

Walls

- k. Stone / Brick (limited)
- l. Flush-sided vertical clapboarding
- m. Horizontal siding

Details

- n. Stone chimney
- o. Natural colors
- p. Open floor plans

Implementation

Prior to the issuance of Building Permits the Builder will prepare and submit detailed architectural plans for City review and approval by the Director of Development. The submittal will include but not be limited to the following:

- ☞ Floor plans, elevations
- ☞ Color and Materials board



Modern Style



Floor to Ceiling windows



Brick walls/ chimney

Mojave Vistas

The photographs and illustrations included in the Mojave

Vistas Design

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Mojave Vistas project. The actual architecture, landscape and details may vary from those shown.

See Chapter 7 Implementation Plan.

6.4 LANDSCAPE ARCHITECTURE

Master Plan

The Mojave Vistas contemporary southwest landscape design will capture the four (4) unique design themes: Prairie, California Ranch, Pueblo, and Modern, to create a distinct, master-planned community. The rich and sustainable landscaping will guide pedestrians and motorists alike along picturesque streets and paths on errands of work or play. Well situated parks encourage healthy activity with easy access.

6.4.1 ENTRY TREATMENTS

Through combinations of mass and scale, entry treatments derive a hierarchy that assists in intuitive geographical reference and navigation. The Mojave Vistas Specific Plan provides a hierarchy of entry treatments to reinforce this concept. By creating a consistent hierarchy of entries, visitors (and residents) may readily locate their destinations.

Primary Entry Treatment

The primary entry treatments will architecturally compliment the chosen themes with deliberate attention to color, texture and proportion. Natural earthen and plant colors and textures will be captured and highlighted to harmonize the beauty of the living materials as well as the built features creating a dynamic entry that celebrates the seasons on vertical and horizontal planes. (Textured, colored paving treatment at the intersection shall be integrated with the overall entry design. See Figure 6-2.) Project signage will convey a immediate recognition and sense of arrival. Specimen plantings

combined with hearty groundcovers, shrubs, and trees completes the picture.

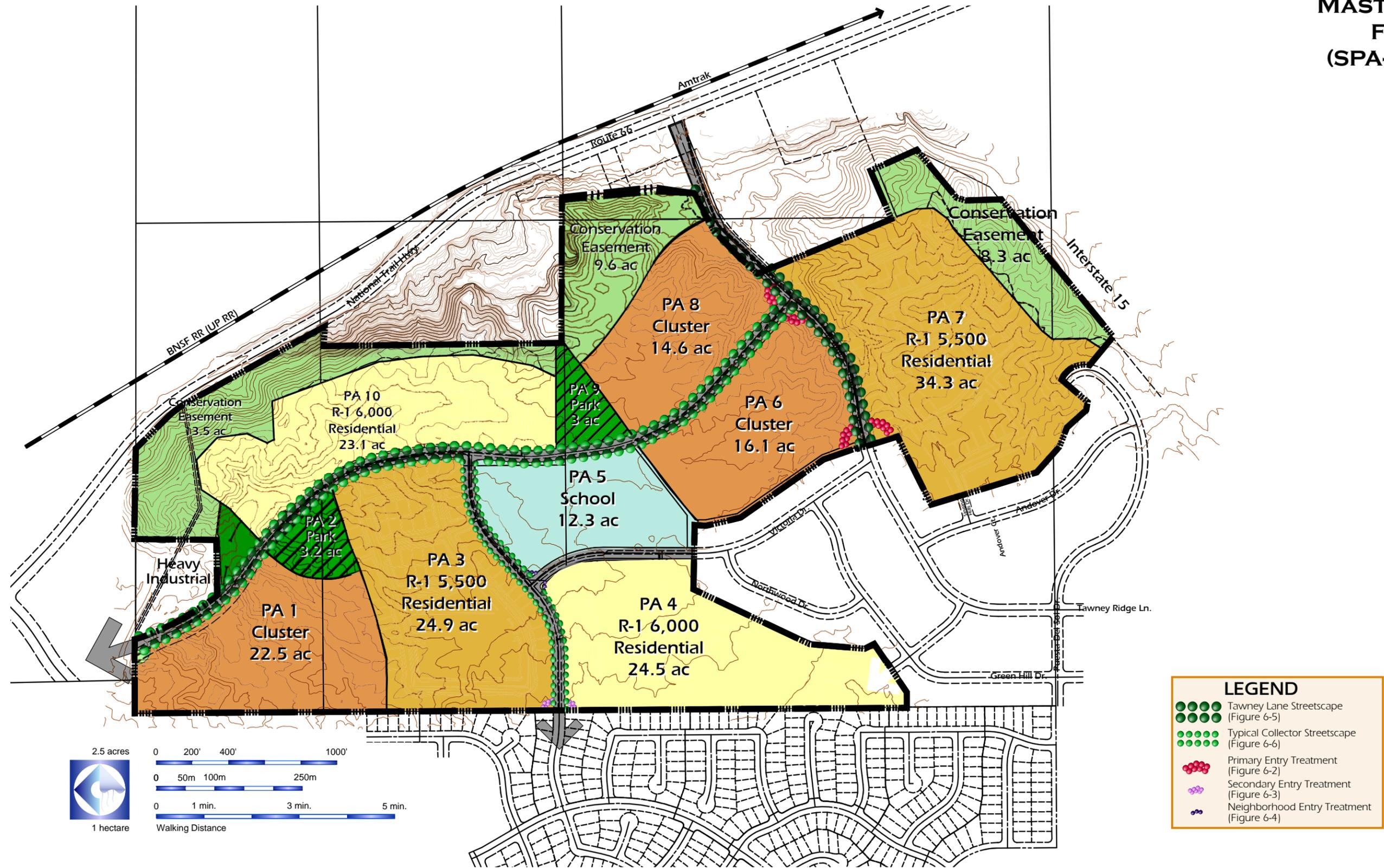


Landscaped Sidewalk



Landscaping and formally spaced trees

**CONCEPTUAL LANDSCAPE
MASTER PLAN
FIGURE 6-1
(SPA-1 /2007)**



Secondary Entry Treatment

The Secondary Entry Treatment shares a kinship to the Primary Entry Treatment, but on a more intimate scale, greeting passers-by with a neighborly hello. The plant materials shall remain the same with a corresponding reduction in scale. See Figure 6-3.

Intersections and Roundabouts

Intersections within the tract for collector streets shall also have design treatments similar to Secondary Entries, and the intersection shall have a complementary paving treatment. Where an 'island' or 'roundabout' is proposed, the interior landscaping shall conform to safety requirements for lines of sight and turning radii. Decorative paving shall complement the design of the roundabout and assist in delineating pedestrian crossings.

Neighborhood Entry Treatment

Each neighborhood shall have an entry treatment that continues the Mojave Vistas sense of place. This shall be accomplished through compatible landscape treatments and signage that includes the Mojave Vistas name/logo at entrances to residential projects. See Figure 6-4.



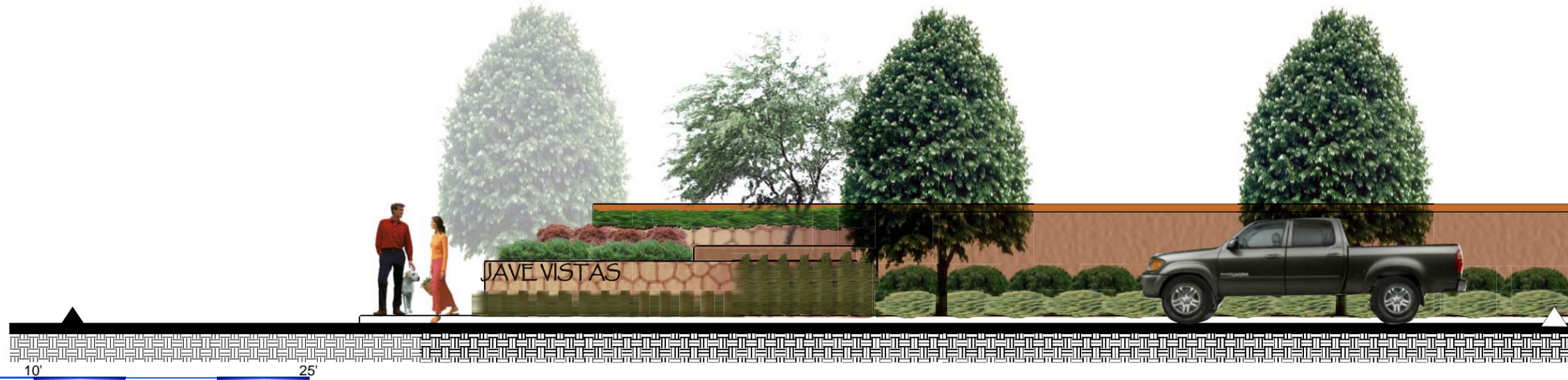
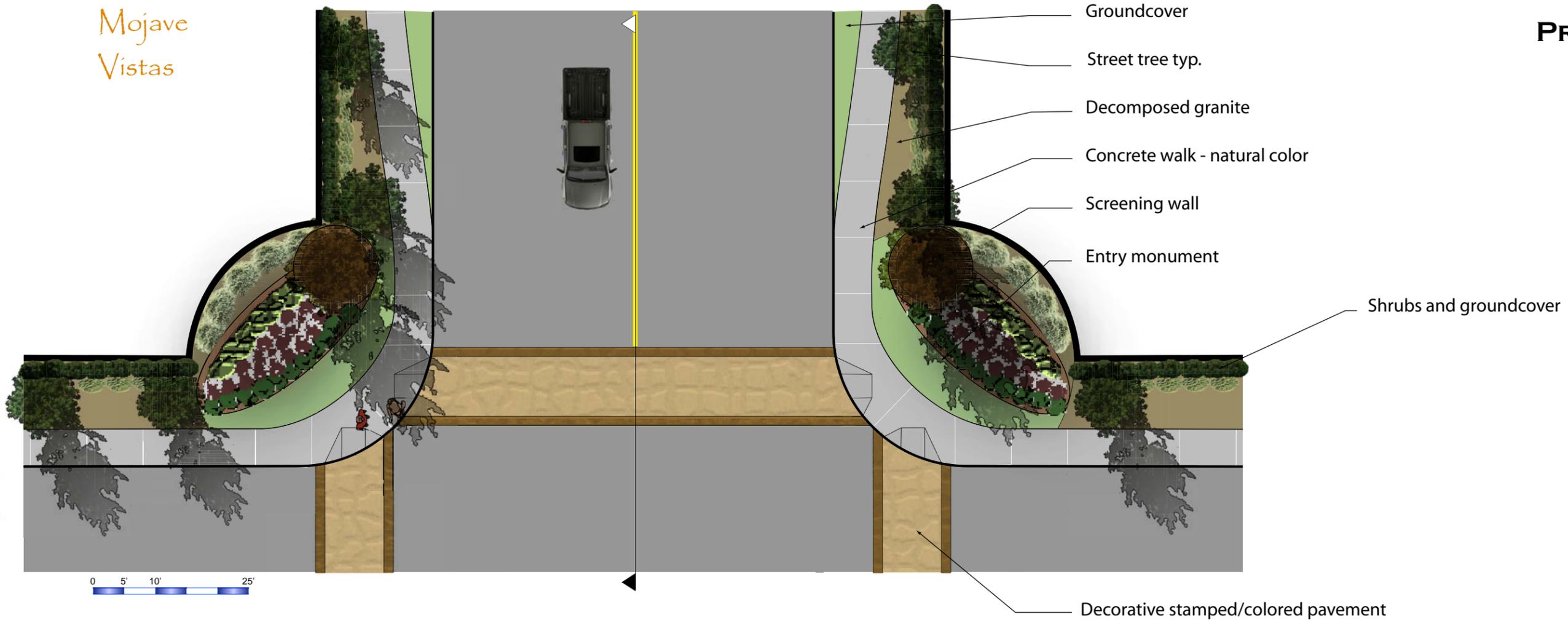
Entry Treatment- Mix of living materials and built



Roundabout with crosswalk

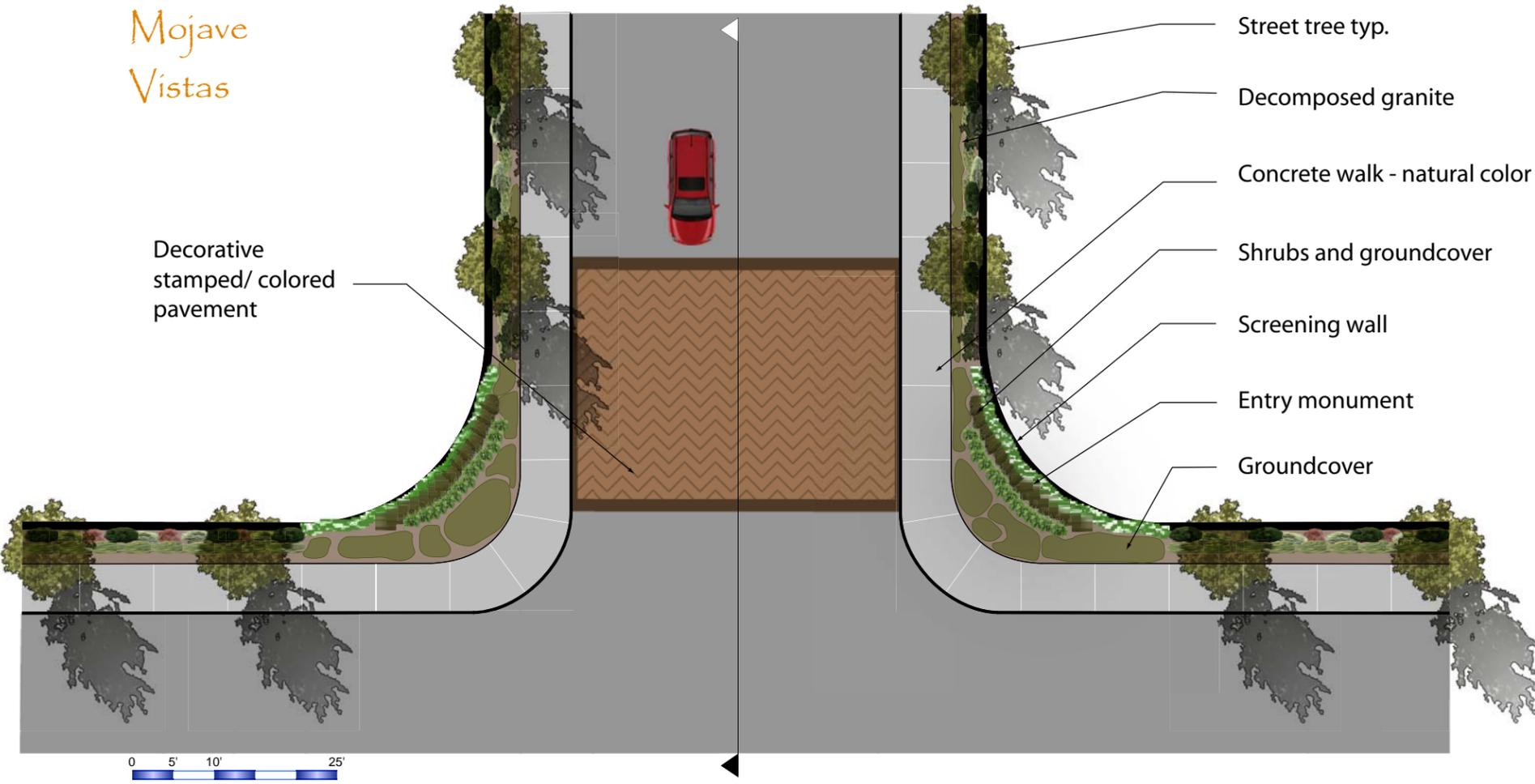
Mojave
Vistas

**PRIMARY ENTRY
TREATMENT
FIGURE 6-2**



Mojave
Vistas

SECONDARY ENTRY
TREATMENT
FIGURE 6-3



6.4.2 STREETSCAPES

As with the entry treatments, a hierarchy of consistent streetscapes promotes a quality sense of place.

Tawney Ridge Lane

Tawney Ridge Lane provides the major east/west corridor for the Mojave Vistas project. Tawney Ridge Lane is a sixty-four feet right of way (64' R/W), collector street with formally spaced columnar trees will provide the classic "boulevard" appearance appropriate for this City gateway. Tree selection shall be from the Mojave Vistas Specific Plan plant palette and coordinated with the City Public Works Department.

Internal Collector Streets

Internal collector streets with sixty-four feet right of way (64' R/W) shall have formally spaced trees and uniformly planted shrubs reflecting the peripheral street designs similar to the internal secondary streetscape. See Figure 6-5.

Local Neighborhood Streets

Internal streets with a right of way of sixty feet (60') or less shall have formal or informal tree spacing depending on the desired character of the individual neighborhood. See Figure 6-6.



Acacia baileyana



Magnolia grandiflora



Morus alba

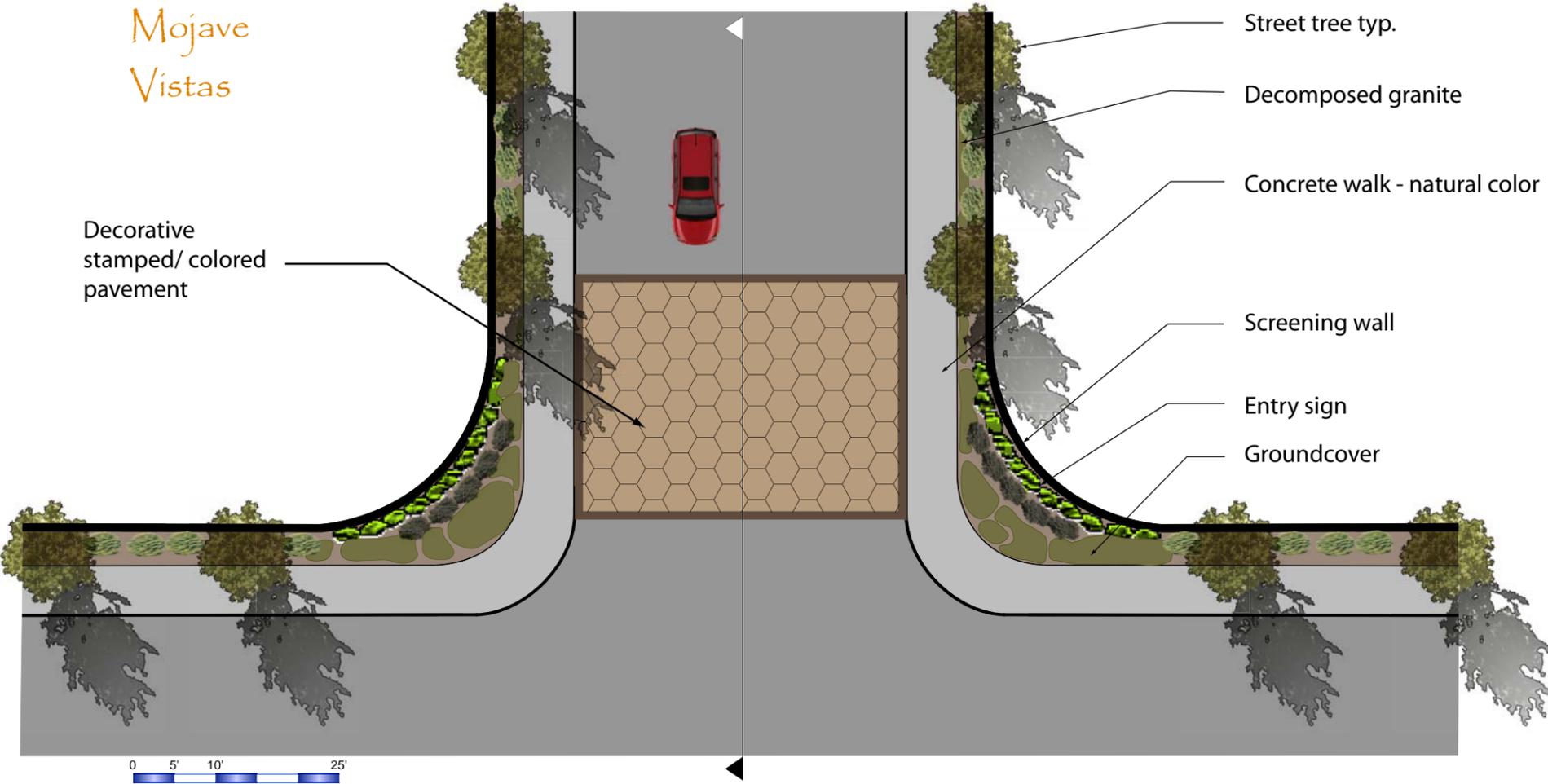
Mojave
Vistas

NEIGHBORHOOD ENTRY
TREATMENT
FIGURE 6-4

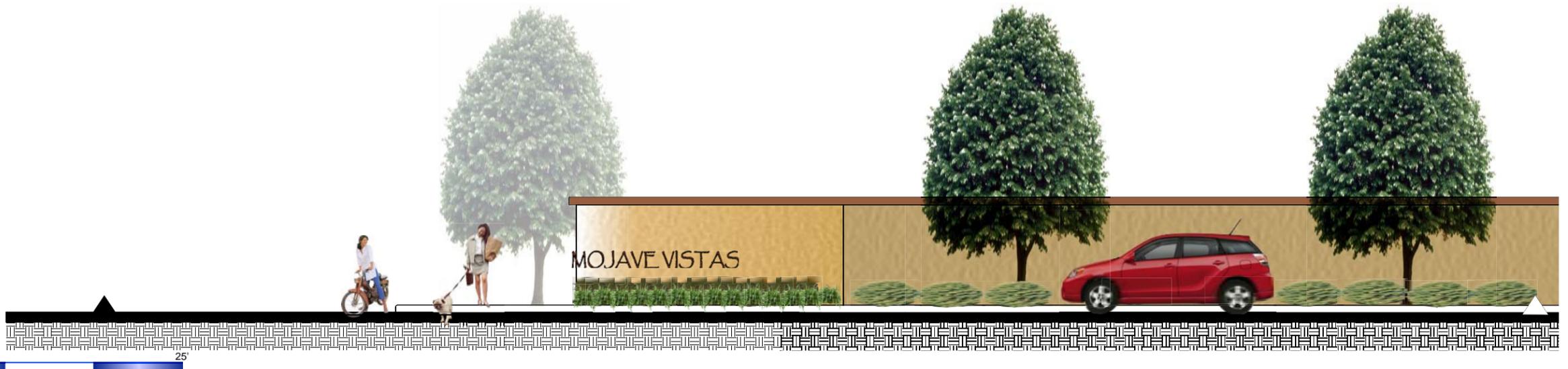
Decorative
stamped/ colored
pavement

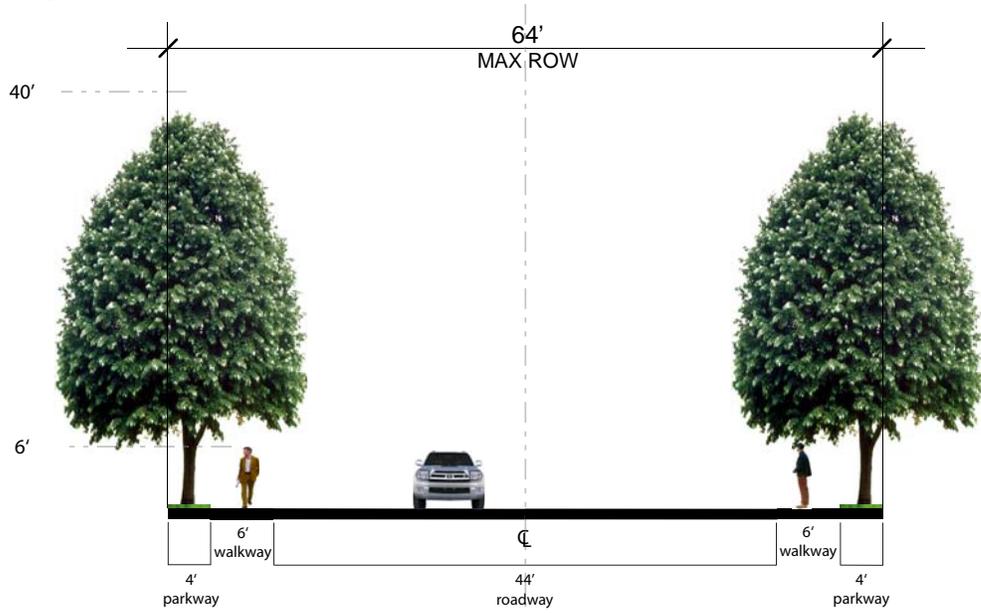
- Street tree typ.
- Decomposed granite
- Concrete walk - natural color
- Screening wall
- Entry sign
- Groundcover

0 5' 10' 25'



0 5' 10' 25'





6.4.3 PLANT PALETTE

The plant palette is per the City of Victorville's Ordinance 2114 'Water Conservation' approved October 2005. These are drought tolerant plants approved for use in the City of Victorville. This palette serves as a guide. Varieties may be substituted within each species, if they are more appropriate for this design and/or climate. Minor modifications to the plant palette may be made by the Director of Development [see Implementation Plan].

Trees

6.4.3.1 Evergreen

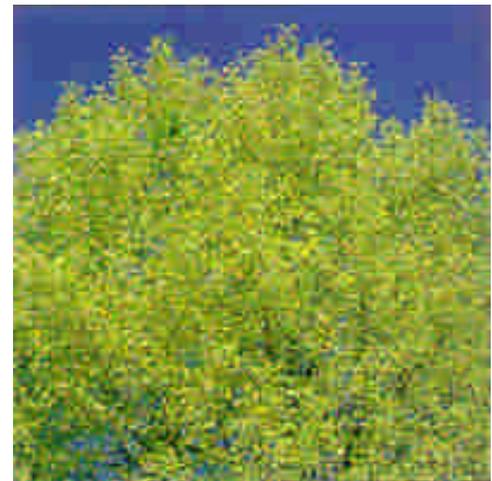
- a. *Eucalyptus camaldulensis (rostrata)*, Red River
- b. *Eucalyptus microtheca*, Coolibah
- c. *Pinus eldarica*, Eldarica Pine, Afghan Pine, Russian Pine
- d. *Pinus halepensis*, Aleppo Pine
- e. *Pinus pinea*, Italian Stone Pine
- f. *Cedrus deodara*, Deodar Cedar
- g. *Calocedrus decurrens*, Incense Cedar
- h. *Heteromeles arbutifolia*, Toyon
- i. *Sophora secundiflora*, Texas Mountain Laurel
- j. *Arbutus unedo*, Strawberry Tree
- k. *Pithecellobium flexicaule*, Texas Ebony

6.4.3.2 Deciduous

- a. *Albizia julibrissin*, Silk Tree, Mimosa
- b. *Chilopsis linearis*, Desert Willow, 'Burgundy'
- c. *Chitalpa tashkentensis*, Pink Dawn, Morning Cloud
- d. *Parkinsonia floridum*, Blue Palo Verde
- e. *Parkinsonia microphyllum*, Littleleaf Palo Verde
- f. *Parkinsonia aculeata*, Mexican Palo Verde
- g. *Fraxinus angustifolia*, 'Raywood' (Raywood Ash)
- h. *Fraxinus velutina*, Arizona Ash



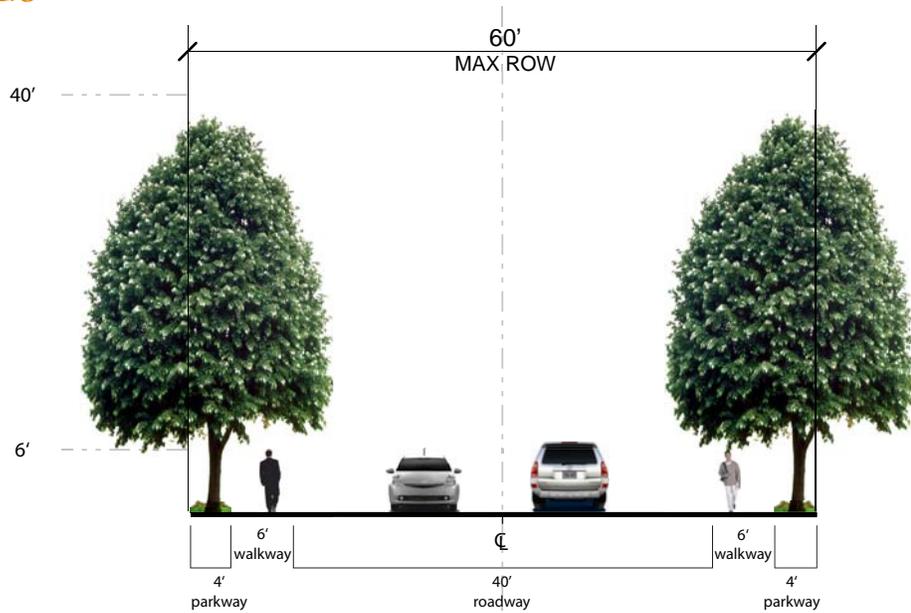
Sophora japonica



Liriodendron tulipifera



Albizia julibrissin



Mojave Vistas

- i. *Fraxinus velutina*, Modesto' (Modesto Ash)
- j. *Prosopis chilensis*, Chilean Locust
- k. *Prosopis glandulosa*, Honey Mesquite
- l. *Prosopis pubescens*, Screw Bean Mesquite
- m. *Gleditsia triacanthos*, Honey Locust
- n. *Pistacia chinensis*, Chinese Pistache
- o. *Vitex agnus-castus*, Chaste Tree, Monk Tree

6.4.3.3 Accents

- a. Agave Species, *A. Americana*, (Century Plant), *A. parryi huachucensis*, *A. victoriae-reginae*
- b. *Dasyliirion Wheeleri*, Desert Spoon
- c. *Nolina microcarpa*, Bear Grass
- d. *Hesperaloe parviflora*, Red Yucca
- e. *Kniphofia uvaria*, Red-Hot Poker, Torch Lily
- f. Species, *Y. aloifolia*, Spanish Bayonet, *Y. baccata*, Banana Yucca, Datil, *Y. brevifolia*, Joshua Tree, *Y. elata*, Soaptree Yucca

6.4.3.4 Palms

- a. *Chamaerops humilis*, Mediterranean Fan Palm
- b. *Trachycarpus fortunei*, Windmill Palm
- c. *Washingtonia filifera*, California Fan Palm

6.4.3.5 Vines

- a. *Campis radicans*, Trumpet Vine
- b. *Gelsemium sempervirens*, Carolina Jessamine
- c. *Ipomoea alba*, Moonflower
- d. *Lonicera species*, Honeysuckle
- e. *Passiflora alatocaerulea*, Passion Vine
- f. *Trachelospermum jasminoides*, Star Jasmine
- g. *Wisteria species*, Wisteria



Rhampholepis



Gelsemium sempervirens



Wisteria species

Grasses

6.4.3.6 Ornamental

- a. *Muhlenbergia rigens*, Deer Grass
- b. *Muhlenbergia capillaris*, Regal Mist
- c. *Muhlenbergia lindheimeri*, Autumn Glow
- d. *Festuca ovina glauca*, Blue Fescue
- e. *Bouteloua gracilis*, Blue Grama
- f. *Nassella tenuissima* (*Stipa tenuissima*), Mexican Feather Grass

6.4.3.7 Turf

- a. *Buchloe dactyloides*, Buffalo Grass (Legacy)
- b. *Buchloe dactyloides*, Buffalo Grass (UC Verde)

6.4.3.8 Warm Season Grasses (winter dormant)

- a. *Zoysia*, Zoysia Grass
- b. *Stenotaphrum secundatum*, St. Augustine Grass

6.4.3.9 Cool Season Grasses (year round)

- a. *Festuca arundinacea*, Tall Fescue
- b. *Lolium perenne*, Perennial Ryegrass
- c. *Poa pratensis*, Kentucky Bluegrass

6.4.3.10 Ground covers

- a. *Oenothera berlandieri*, Mexican Evening Primrose
- b. *Santolina chamaecyparissus*, Lavender Cotton
- c. *Cerastium tomentosum*, Snow-in-Summer
- d. *Gazania*, Most varieties
- e. *Sedum*, Most varieties
- f. *Thymus*, Most varieties
- g. *Verbena peruviana*, *V. pulchella*
- h. *Dalea greggii*, Trailing Indigo Bush
- i. *Rosmarinus officinalis* 'Prostratus'
- j. *Phlox*, Most varieties

6.4.3.11 Perennial Flowers

- a. *Coreopsis*, Most varieties
- b. *Penstemon ambiguus*, *P. barbatus*, *P. centranthifolius*, *P. eatonii*, *P. palmeri*, *P. parryi*, *P. pinifolius*, *P. pseudospectabilis*,

P. strictus

- c. *Cosmos*, Most varieties
- d. *Convolvulus cneorum*, Bush Morning Glory
- e. *Perovskia*, Russian Sage or Blue Spire
- f. *Berlandiera lyrata*, Chocolate Flower
- g. *Gaura lindheimeri*, 'Whirling Butterflies', 'Siskiyou Pink'
- h. *Hemerocallis*, Daylily most varieties
- i. *Rosmarinus officinalis*, most prostrate and upright varieties
- j. *Verbena gooddingii*, *V. peruviana*, *V. rigida*

3.4.3.12 Shrubs

- a. *Salvia greggii*, Red Sage, Autumn Sage
- b. *Salvia clevelandii*, Blue Sage, Cleveland Sage
- c. *Salvia chamaedryoides*, Germander Sage
- d. *Fallugia paradoxa*, Apache Plume
- e. *Leucophyllum frutescens*, Texas Ranger species, several varieties
- f. *Leucophyllum laevigatum*, Chihuahuan Sage
- g. *Baccharis 'Centennial'*, Coyote Bush
- h. *Baccharis pilularis*, Dwarf Coyote Bush
- i. *Artemisia*, 'Powis Castle'
- j. *Cotoneaster horizontalis*, Rock Contoneaster
- k. *Photinia fraseri*
- l. *Gravillea 'Noellii'*

Implementation

Prior to the issuance of Building Permits the Builder will prepare and submit detailed architectural plans for City review and approval by the Director of Development. The submittal will include but not be limited to the following:

- ☞ Floor plans, elevations
- ☞ Color and Materials board
- ☞ Landscape plans

See Chapter 7 Implementation Plan.

6.4.4 WALLS AND FENCES

The walls and fences should be used to reinforce the project theme, reflecting the characteristics of the project monumentation in terms of configuration and materials. Where such elements are viewed from public streets or view corridors, they shall appear consistent in style, material, and height, therefore serving as a unifying element throughout the Mojave Vistas community.

6.4.4.1 General Guidelines:

- a. View fencing should be provided along view corridors.
- b. Long stretches of unrelieved walls and fences should be broken up with varied setbacks and recesses for plantings.
- c. Solid walls and fences should be used when they will not detract from accessibility to open space.
- d. Walls should end in a pilaster. The design of the pilaster should reflect the shape of the supports used in the monumentation. Specific use of materials may vary from those used in the monumentation; however emphasis is on use of the same natural (in appearance) materials of rock, stone, masonry or as otherwise approved by the Director of Development in a different configuration.
- e. All interior lot lines will require walls with materials approved by the Director of Development. The walls shall have a masonry or natural stone, rock cap.
- f. All community and perimeter walls and fencing are to be provided by the individual project builders at the time of development.
- g. If retaining walls are necessary they should be terraced and not to exceed a six feet (6') height limit per terrace and decorative if visible from a street.
- h. When changes in pad elevations occur, the wall or fence should be stepped in equal vertical

intervals. No step should exceed eighteen inches (18") in height.

- i. Gates visible to public view, (i.e. pedestrian gates), may be vinyl, wrought iron, tubular steel or similar materials.
- j. All metal or iron fencing material should be powder coated.
- k. Except as otherwise provided herein, a solid decorative type masonry wall, landscaped earthen berm or any combination thereof, totaling not less than six feet (6') in height shall be provided along and immediately adjacent to the site boundary line of any single family development abutting any Major arterial. The height of any such wall and/or berm shall be measured from the highest finished grade level of the building pad of the dwelling units located nearest any such abutting boundary.

6.4.4.2 Solid Walls:

These walls will provide community identity, security, privacy and as needed sound buffering for residential units.

- a. Wall materials should consist of masonry construction finished with fieldstone, stucco, masonry, stone, or rock. Pilasters should incorporate the use of special accent materials such as rock and natural stone or as otherwise approved by the Director of Development.
- b. The horizontal mass of the walls shall be interrupted by pilasters, landscape plantings, and vines.
- c. All block walls shall be capped with a masonry or natural stone cap.

6.4.4.3 View Fences:

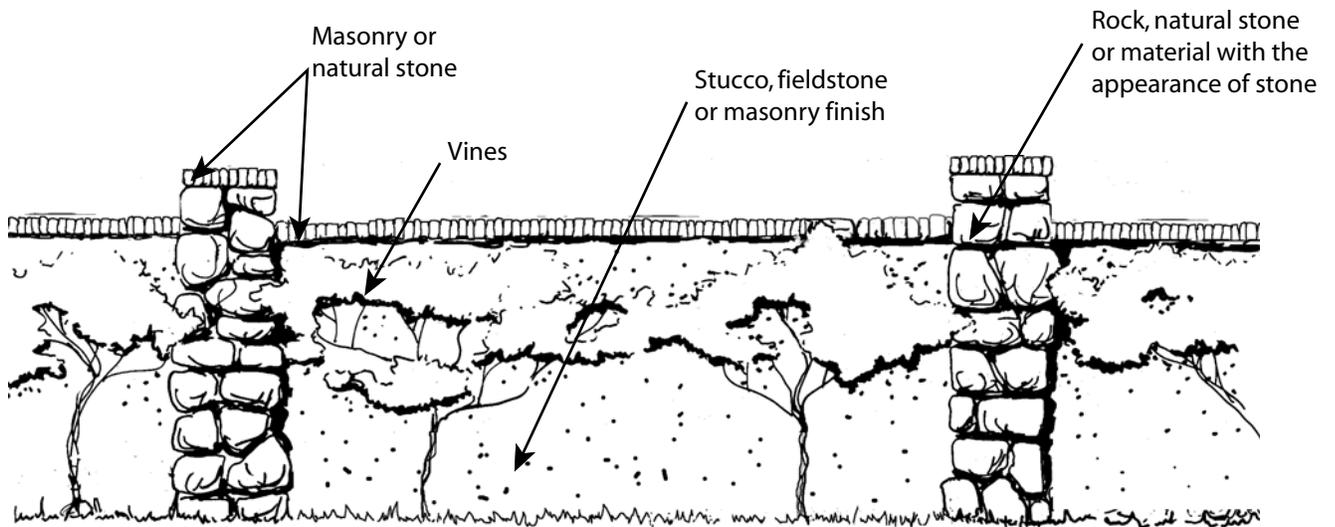
View fences are intended to allow views into open space/recreation areas and other uses that do not require privacy. View fences should be used to increase a sense of openness in rear yards adjacent to open space and recreational amenities.

- a. View fence panels should be interrupted by pilasters of natural stone, rock, masonry or stucco with decorative accent material.
- b. A natural stone, stucco, rock, masonry, or similar materials shall be used for the lower two feet (2'), or as otherwise approved by the Director of Development.
- c. View fences should be powder coated and designed to withstand 100 mph winds.

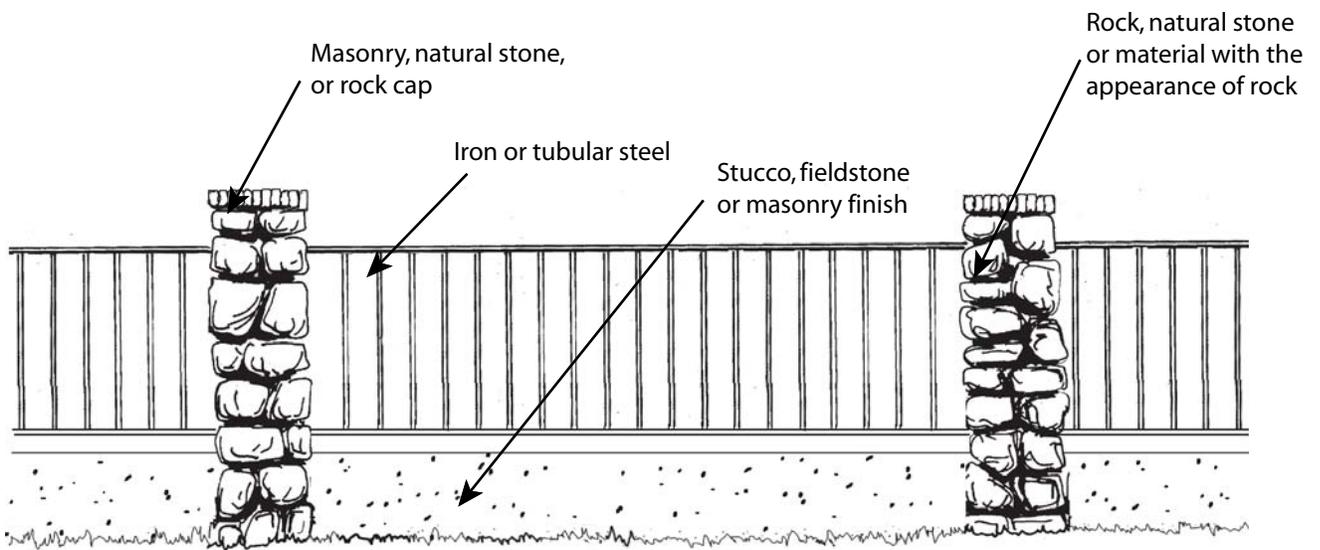
6.4.5 Slopes:

The proposed project anticipates the need for some 2:1 slopes along project right-of-ways such as Tawney Ridge Lane, similar slopes may be required at additional locations that have yet to be determined. The 2:1 slopes will have equivalent or superior design to the standards contained herein. These slopes will fall within the proposed Landscape Lighting and Maintenance District's area of responsibility. Refer to Figure 6-8. ([SPA-1/2007](#))

COMMUNITY WALLS/FENCING FIGURE 6-7

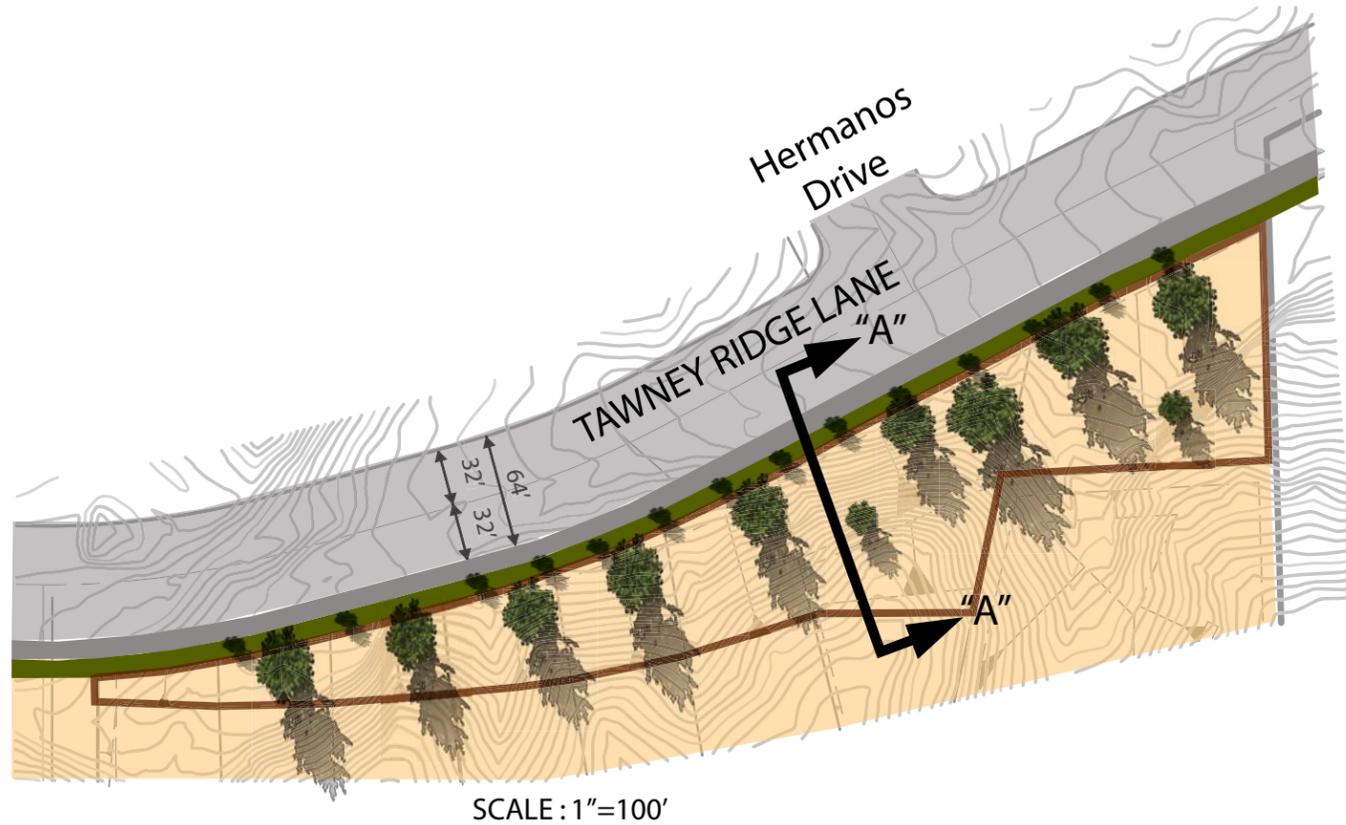


Community Wall

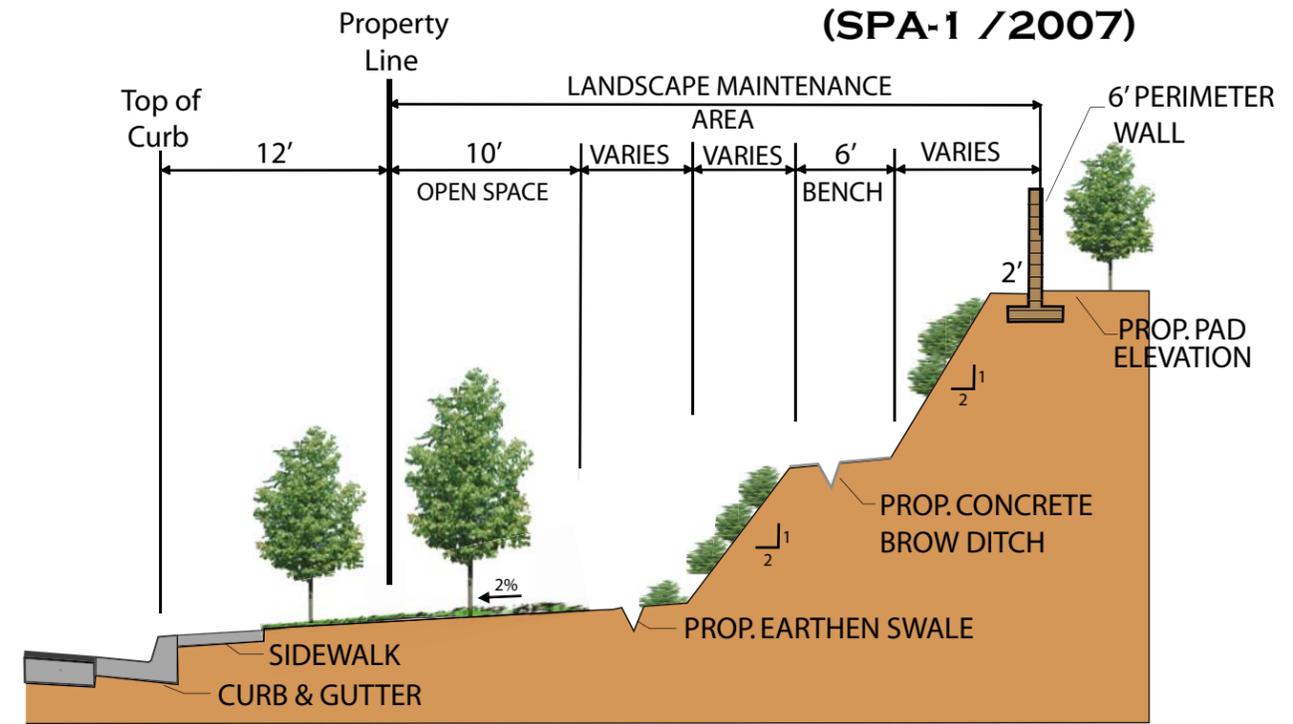


View Fence

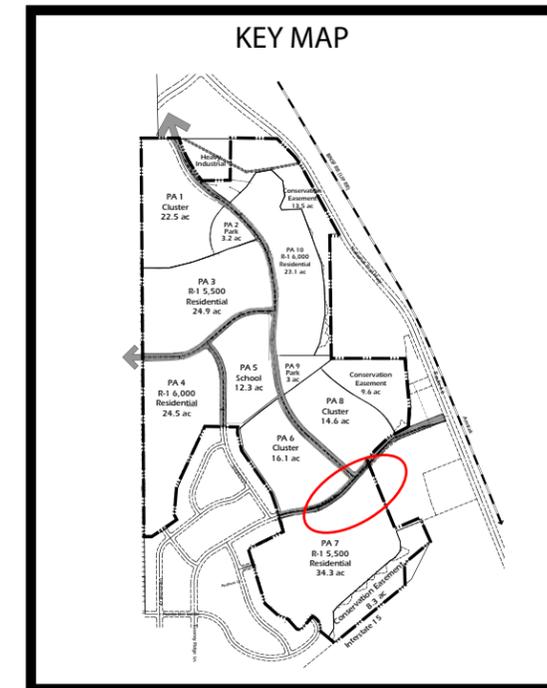
NOTE: THESE ARE THE TYPICAL SLOPES ALONG MAJOR ROADWAYS
SIMILAR SLOPE AREAS MAY BE REQUIRED AT OTHER LOCATIONS.



TYPICAL SLOPE MAINTENANCE AREAS
FIGURE 6-8
(SPA-1 / 2007)



SCALE: 1"=10'
"A"- "A"



- LEGEND:**
-  - LANDSCAPE MAINTENANCE BOUNDARY
 -  - SLOPE (2:1)

7. Implementation Plan

The Mojave Vistas Specific Plan serves as the General Plan implementation document for the project. The methods and procedures for implementation and administration of this Specific Plan document are as follows:

7.1 STATE REQUIREMENTS

Government Code Section 65453 (a) states that:

"A Specific Plan shall be prepared, adopted and amended in the same manner as a General Plan, except the Specific Plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body."

The Mojave Vistas Specific Plan will be adopted by Ordinance in accordance with City policy.

The Mojave Vistas Specific Plan has been developed as both a regulatory document and land use policy. The development standards have been structured in a format consistent with the City of Victorville's General Plan and Zoning ordinance, incorporating general provisions, permitted uses, development standards, project approval procedures and other zoning related provisions. The remaining sections of the Mojave Vistas Specific Plan are oriented to land use policies, include background and project information, planning policies, design guidelines, conceptual plans and infrastructure proposals.

7.2

IMPLEMENTATION

The Mojave Vistas community shall be implemented through the processing of tract maps, parcel maps, conditional use permits and site plans. The implementation process, as described below, provides the mechanism for reviewing precise plans and ensuring development consistency with the Specific Plan objectives.

- a. **Applicability**—All development within Mojave Vistas shall be subject to the implementation procedures herein. Whenever the provisions and development standards contained herein conflict with those contained in the City of Victorville's General Plan and Zoning ordinance, the provisions of the Mojave Vistas Specific Plan shall take precedence.
- b. **Development Review Process**—Conditional Use Permits, Tentative Tract/Parcel Maps, Development Plans and Site Plans for development within the Specific Plan area shall be submitted to the Director of Development for review and processing. Conditional Use Permits, Tentative Maps, Development Plans and Site Plans shall be prepared and submitted in accordance with City of Victorville's requirements and local codes. They will be reviewed by the City for consistency with the Land Use Plan Map and Development Standards that are set forth in this document.

c. Prior to the issuance of Building Permits the Builder will prepare and submit detailed architectural plans for City review and approval by the Planning Commission. The submittal will include but not be limited to the following:

- ∞ Floor plans, elevations
- ∞ Color and Materials board
- ∞ Landscape plans

d. Planning Area 9 shall be included in phase 1 and construction of the park shall be commenced with the issuance of the first permit in phase 1, and be completed prior to the issuance of the last permit in phase 1. Prior to completion of construction, an LMAD shall be established for maintenance and the park shall be granted in fee simple to the City of Victorville.

e. Planning Area 2 shall be included in phase 2 and construction of the park shall be commenced with the issuance of the first permit in phase 2, and be completed prior to the issuance of the last permit in phase 2. Prior to completion of construction, an LMAD shall be established for maintenance and the park shall be granted in fee simple to the City of Victorville.

f. If a school is not developed in Planning Area 5 a park shall be constructed. Prior to the recordation of the first tract map within the Specific Plan, the applicant/developer shall enter into a development agreement with the City regarding construction of the park. Prior to completion of construction, the park shall be granted in fee simple to the City of Victorville.

g. If Planning Area 5 becomes a

park Planning Area's 2 & 9 may be developed as R-1 5,500 Residential for a maximum of 5 DU/Ac per Section 3.2 Parks Overlay and Section 5.4 Parks Overlay Permitted Uses of this document.

7.3 PROCEDURES FOR REVIEW AND APPROVAL

The procedures for review and approval of Site Plans for individual planning areas are defined by the Victorville Zoning ordinance. Upon adoption of this Specific Plan document, the land use designations indicated on the Land Use Plan shall be applied and will attain the regulatory equivalence of zoning ordinances. Hearings may be given at the same time and in the same manner as specified for hearings for Site Plans, Conditional Use Permits, Tract Maps and Parcel Maps in the Zoning ordinance.

7.4 MINOR MODIFICATIONS

The following constitute minor modifications to the Specific Plan which do not require a Specific Plan Amendment and are subject to review and approval by the Director of Development. The Director of Development, however, shall have the discretion to refer any such request for modification to the Planning Commission.

- a. Final facility sizing and precise location of water, sewer and storm drainage improvements with recommendation of the City Engineer.
- b. Change in utility and/or infrastructure servicing agency.

- c. Arterial, collector or local road alignment revisions when the centerline moves by less than two hundred fifty feet (250') with approval of the City Engineer.
- d. Collector street alignments within individual planning area tracts with approval of the City Engineer.
- e. Alignment of pedestrian trails and off-street bike lanes.
- f. Decrease in project density.
- g. Adjustment of planning areas size or configuration so long as the total acreage of the planning area does not decrease or increase by more than fifteen percent (15%) of that stated within this Specific Plan.
- h. Minor changes to landscape, plant palette, wall material, wall alignment and streetscape design modifications which are consistent with the design guidelines contained in this document.
- i. Minor revisions to project graphics which do not substantially change the intent of the graphics within this Specific Plan.
- j. Transfer of units of ten percent (10%) or less only if the same land use.
- k. Minor modifications to architecture, plotting and unit size that have been previously reviewed and approved through the design review process.
- l. Specific modifications of a similar nature to those listed above, which are in keeping with the intent of the Specific Plan and which are in

conformance with the General Plan.

7.5 DENSITY TRANSFER

In order to allow for density flexibility and residential diversity, the transfer of dwelling units from one (1) residential category to another within the Specific Plan may be approved as part of the Tract map approval process. Transfers of density shall be based on evidence that the proposed transfer would substantially improve spatial or functional relationships or would materially increase the quality of the land use, circulation or conservation pattern thereof. An increase in the number of dwelling units must always be accompanied by a decrease in dwelling units in another Planning Area. The use of this transfer method shall not result in an increase of dwelling units by more than ten percent (10%) within the Planning Area receiving the transferred units. Should such a change be approved, applicable statistics and figures shall be revised by the builder/developer in an administrative manner with approval by the Director of Development without the necessity of a Specific Plan Amendment.

7.6 SEVERABILITY CLAUSE

Severability

If any provision of this Specific Plan or the application thereof to any person or circumstances is held invalid, such invalidity shall not effect other provisions or applications of this Specific Plan which can be given effect without the invalid provisions or application there, and to this end the provisions of this Specific Plan

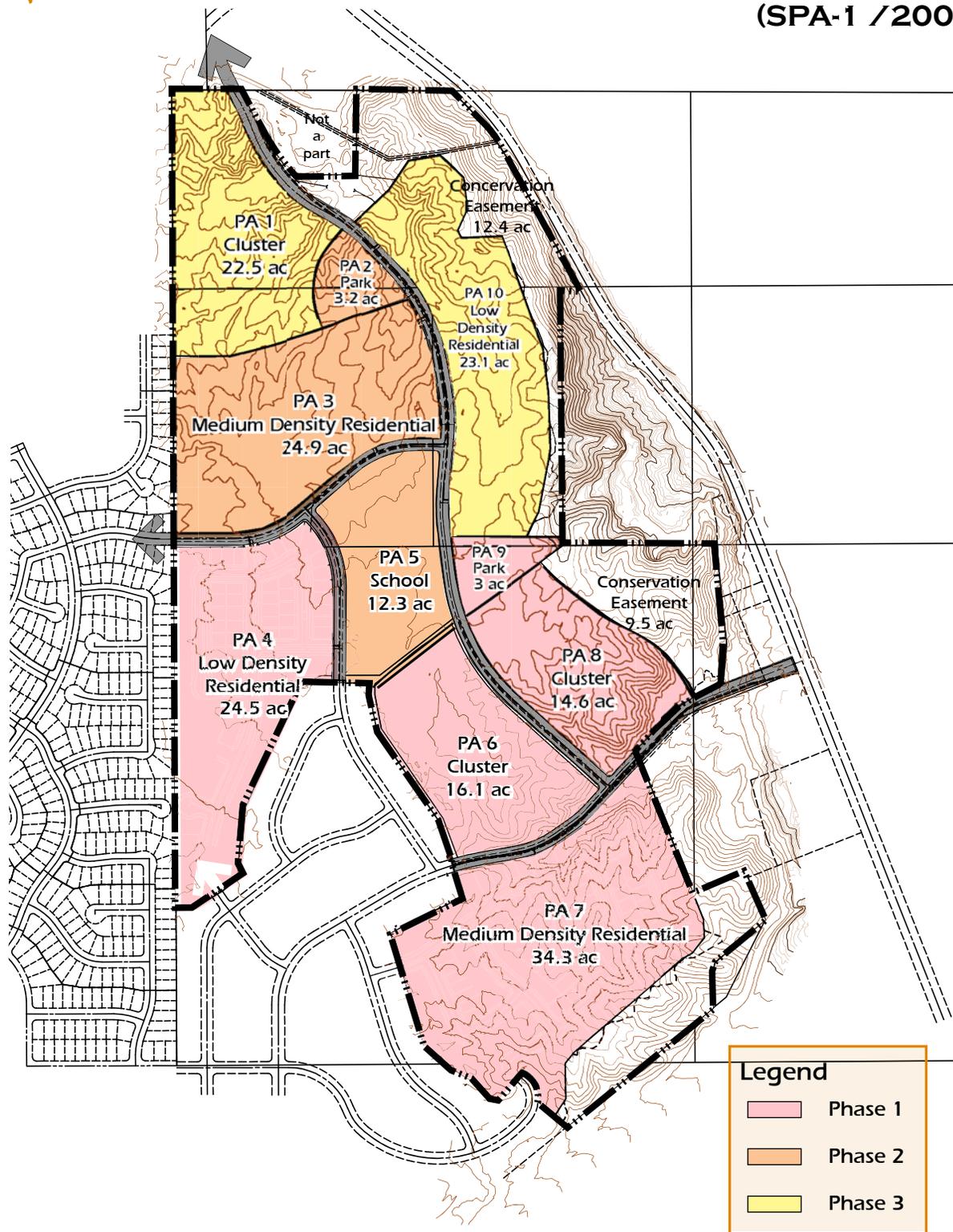
are severable.

7.7 PHASING

The primary intent of the phasing plan is to ensure that complete and adequate public facilities and services are in place and available to the future community residents and visitors.

Unless otherwise indicated in the Specific Plan, or in the conditions of approval of a subdivision of a phase of the Specific Plan, the construction, installation and/or extension of the infrastructure and public facilities necessary to serve each phase of development shall be operational prior to the issuance of the first Certificate of Occupancy of the Building Permit for the phase of development. The ultimate pace and phasing of the development is dependent on a number of internal and external factors. As other development occurs, various adjustments and revisions to the anticipated phasing program may occur. Upon review by the City of Victorville Director of Development confirming that the proposed revisions meet the intent of this Specific Plan, and also adequately serve the needs of the community, said revisions shall be permitted without an amendment to the Specific Plan.

PHASING PLAN
FIGURE 7-1
(SPA-1 / 2007)



7.8 FINANCING MECHANISMS

The timing of the development in the project vicinity will have a direct impact on the responsibilities associated with the financing and construction of the major community-wide infrastructure system such as water service, sewer service and circulation improvements.

The master-planned infrastructure and improvements to public facilities necessary to serve the Mojave Vistas community may include the following:

- a. Developer improvement with reimbursement agreement
- b. Developer improvement with credits against fees
- c. Special Assessment Districts
- d. Mello-Roos Community Facilities Act of 1982
- e. LMAD
- f. DFAD
- g. Public Enterprise Revenue bonds
- h. General obligation bonds
- i. Tax-increment financing
- j. City General Fund money
- k. Impact Fees and Exactions

The costs associated with making improvements to the internal infrastructure and facilities will be borne by the developer/builder. Development of the Specific Plan cannot proceed in advance of the installation of the master-planned facilities required by this project.

7.9 MAINTENANCE

The intent of the maintenance responsibility table is to establish responsibilities for the operation and maintenance of various facilities and community improvements for the Mojave Vistas Specific Plan.

MAINTENANCE RESPONSIBILITY				
TABLE 7-1				
	City of Victorville	Home Owners Association	LMAD/DFAD	Community Services Department (Parks)
Water/Sewer	X			
Street R/W	X			
Public Street	X			
Private Street		X		
Landscaping	X	X	X	
Entry Monumentation		X	X	
Paseos, and Enhances Parkways		X	X	
Parks		X	X	X (10 acres or more in size)
Open Space	X		X	X
Conservation Easements *		X		
Detention Basins			X	

* Refer to Section 5.5